

PUBLIC NOTICE OF MEETING

Pursuant to Section 19.84, Wis. Stats., notice is hereby given to the public that a regular meeting of the **Plan Commission** of the City of De Pere will be held on September 24, 2012 at 7:00 p.m. in the City Hall Council Chambers, 2nd floor of City Hall, 335 South Broadway, De Pere, WI 54115.

**** Items with an asterisk require City Council Approval***

AGENDA FOR SAID MEETING:

Roll call.

1. Approve the minutes of the regular meeting of the Plan Commission on August 27, 2012.
2. Review the Site Plan Request for a 48,428 square foot building for the corporate headquarters for Washworld Inc located at 2222 American Blvd, Parcel WD-1136-1. Agent: David O'Brien.
3. Review the CSM request for single lot by 500 Main Avenue. Surveyor: Mike Soleski. *
4. Future agenda items.
5. Adjournment.

Ken Pabich
Director of Planning and Economic Development

Notice is hereby given that a majority of the members of the Common Council of the City of De Pere may attend this meeting to gather information about a subject(s) over which they have decision-making responsibility.

Any person wishing to attend this meeting who, because of disability, requires special accommodation should contact the City Administrator at 339-4044.

AGENDA SENT TO:

PLAN COMMISSION MEMBERS
ALDERPERSONS
BULLETIN BOARDS
NEWS MEDIA
DACC
TOWN OF LEDGEVIEW
TOWN OF LAWRENCE
TOWN OF ROCKLAND

ITEM 2:

DAVID STOCK
DAVID O'Brien

WASHWORLD
BAYLAND BUILDERS

1775 E MATTHEW DR
PO BOX 13571

DE PERE, WI 54115
GREEN BAY, WI 54307

ITEM 3:

TRACY ONDIK
JERRY VAN DYN HOVEN

SOLETSKI SURVEYING

3225 FINGER RD
100 WOLF RIVER DR

GREEN BAY, WI 54311
FREMONT, WI 54940

ITEM 4: NONE

DRAFT

CITY PLAN COMMISSION
De Pere, Wisconsin – August 27, 2012

A meeting of the Plan Commission of the City of De Pere was held today at 7:00 p.m. in the Council Chambers of the De Pere City Hall.

Mayor Michael Walsh called the meeting to order at 7:00 p.m. Roll call was taken and the following members were present: Elizabeth Runge, James Kalny, Alderperson Larry Lueck, Alderperson James Boyd, and Mayor Walsh. Member(s) excused: Derek Beiderwieden. Also present: City Planning Director Kenneth Pabich, and members of the public.

1. Approve the minutes of the regular meeting of the Plan Commission on July 23, 2012. James Kalny moved, seconded by Mayor Walsh, to approve the minutes. Upon vote, motion carried unanimously.
2. Review the Site Plan Request for a 4,680 square foot expansion for De Pere Cabinet, 1745 East Mathew Drive, Parcel WD-D0048-2. Agent: Chris Heyrman. Mayor Walsh moved, seconded by James Kalny, to approve the Site Plan Request as recommended by staff. Upon vote, motion carried unanimously.
3. Review the Annexation Request for Parcel R-27. Owner Brian and Peggy Dorn. James Kalny moved, seconded by James Boyd, to approve the Annexation Request as recommended by staff. Upon vote, motion carried unanimously.
4. Review the Annexation Request for Parcel D-29-1. Owner: Mask LLC. Mayor Walsh moved, seconded by James Kalny, to approve the Annexation Request as recommended by staff. Upon vote, motion carried unanimously.
5. Review the CSM request for single lot by the City of De Pere. Surveyor: Steve Bieda. James Boyd moved, seconded by Elizabeth Runge, to approve the CSM as recommended by staff. Upon vote, motion carried unanimously.
6. Future Agenda Items. There was no discussion.
7. Adjournment. Mayor Walsh moved, seconded by James Boyd, the Plan Commission adjourned its meeting at 7:45 p.m. Upon vote, motion carried unanimously.

Respectfully submitted,
Lori Phillips, Recording Secretary

Item # 2: Review the Site Plan Request for a 48,428 square foot building for the corporate headquarters for Washworld Inc located at 2222 American Blvd, Parcel WD-1136-1. Agent: David O'Brien.

Overview	The project shows a proposed 48,428 sq. ft. (42,214 sq. ft. 1 st floor, 6,214 sq. ft. 2 nd floor) metal framed building used for office and manufacturing in an Industrial Business-2 District. The project also shows a proposed parking lot which would provide 43 full sized parking stalls and 2 handicap stalls. The building and surrounding lawn will be sprinklered. There are also two landscaping ponds in the front of the building on either side.
Public Works	Does the project meet the City Storm water regulations? ☒ Yes ☐ No ☐ NA Sewer properly connected? ☒ Yes ☐ No ☐ NA Water properly connected? ☒ Yes ☐ No ☐ NA Access properly designed (driveway and sidewalks)? ☒ Yes ☐ No ☐ NA Are there any issues with easements or right-of-ways? ☐ Yes ☒ No ☐ NA Are there other items that need to be addressed? ☐ Yes ☒ No ☐ NA <i>Required Actions:</i> Sanitary Sewer 1. Provide the location and size of the lateral connection to the existing sewer. Water Main 2. Provide the location and size of the connection to the existing water. 3. Provide a 15 foot utility easement on the westerly property line for the installation of water main. 4. Relocate the sprinkler in the northwest corner of the site to be out of the required easement. Storm Water Management. 5. Provide information on the storm sewer material and size. 6. Provide storm sewer invert elevations for the City to design the water main around. 7. Provide medium riprap with geotextile fabric at the storm sewer outfalls. 8. Regional storm water management will be provided from the City pond. Traffic/Vehicle Access: 9. Provide a concrete drive apron in the right-of-way. 10. The opening in the median for Wash World shall be mountable based on the development agreement. Other 11. Provide existing and proposed contours for the site.
Forestry & Parks	Does the project meet the City Landscaping Regulations? ☐ Yes ☐ No ☒ NA <i>Required Actions:</i> 1. The project will need to meet the requirements of the City Forester.
Fire	Does the project meet City Fire Codes? ☒ Yes ☐ No ☐ NA <i>Required Actions:</i> 1. Provide complete detailed plans for construction review; provide details of use for all areas of structure. 2. Separation of hazards/use may be required. Provide floor arrangement for inside structure. Detail any hazardous substances (and quantities expected) /operations anticipated within the structure. 3. Provide details for the means of egress throughout the structure. Provide exit/emergency lighting throughout the means of egress. Adequacy subject to field inspection. 4. No smoking and floor loading signage may be required 5. Provide fire extinguishers at maximum 75' travel distances, locate extinguishers towards the exits. 6. Provide fire sprinkler system drawings for approval prior to installation of the system. Include hydraulic calcs and cut sheets for any newer equipment. 7. Provide fire alarm system drawings for approval prior to installation of any system. Include battery calcs and cut sheets for any newer equipment. 8. Install key box for fire department access.
Plannin	Does the project meet the design regulations (exterior building elevations/materials)? ☐ Yes ☒ No ☐ NA Does the project meet the City setback requirements? ☒ Yes ☐ No ☐ NA Does the project meet the City parking requirements? ☒ Yes ☐ No ☐ NA Does the project meet the City lighting requirements? ☒ Yes ☐ No ☐ NA

	Is the refuse properly sited and screened?	☒ Yes ☐ No ☐ NA
	Does the signage meet the City code?	☒ Yes ☐ No ☐ NA
	Are there other items that need to be addressed?	☒ Yes ☐ No ☐ NA
	Required Actions:	
	1. The side and rear elevations meet code. For the front elevation, the project is proposing to use material that was presented to the Plan Commission which is a metal panel with an eifs finish. Staff is recommending that the material be approved by the Plan Commission.	
	2. Information on the berms must be provided to ensure vision triangle is not impacted by the height.	
	3. The refuse must be enclosed with a matching material. Nonmetal gates must also be used.	
	4. Outdoor lighting fixtures shall be night sky compliant. Lighting on the back of the building shall be properly shielded to block lighting to the residential area to the west.	
	5. A monument sign is shown; however detailed plans will need to be submitted and approved by staff. The sign shall be located a minimum of 15' off the property line.	

Recommendation

Staff in Planning, Zoning, Fire and Public Works Departments reviewed the site plan. Based on these reviews, planning staff would recommend the following:

1. Addressing and implementing any requirements submitted by Zoning, Forestry, Fire and Public Works Departments.
2. Meeting all other state and local regulations.



CITY OF DE PERE

APPLICATION FOR SITE PLAN REVIEW

Fee: \$ 245.00

Receipt #: 76311

Date: 9-24-2012

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: Washworld Inc
 Mailing Address: 2222 American Blvd
 Phone: _____
 Email: _____

I hereby appoint the following as my agent for purposes of this application:

Agent: Name: David O'Brien, Bayland Buildings
 Mailing Address: PO Box 13571, Green Bay, WI 54307
 Phone: _____
 Email: _____

B. Property Information

Address/Location of Property: 2222 American Blvd Parcel #: WD-1136-1 & -2
 Parcel Dimension: _____ Parcel Area: _____
 Legal Description: _____

A Site Plan Review is requested as authorized by the De Pere Zoning Code, Section(s): Article XIII, Section 14.60.

 Owner Signature

9-17-2012

 Date

 Agent Signature

9-17-2012

 Date

A plan consisting of all applicable information listed on the attached shall be submitted with this application. An AutoCAD drawing matching the state approved plans must be submitted in Brown County Coordinates before permits can be issued.

BROWN COUNTY, WISCONSIN

ATTENTION! DOWNLOADED PLANS ARE NOT SCALEABLE. NEITHER THE OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC. SHALL BE CONSIDERED TO BE SCALEABLE PLANS.

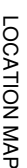


NOTE: EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES. WHETHER SHOWN OR NOT FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

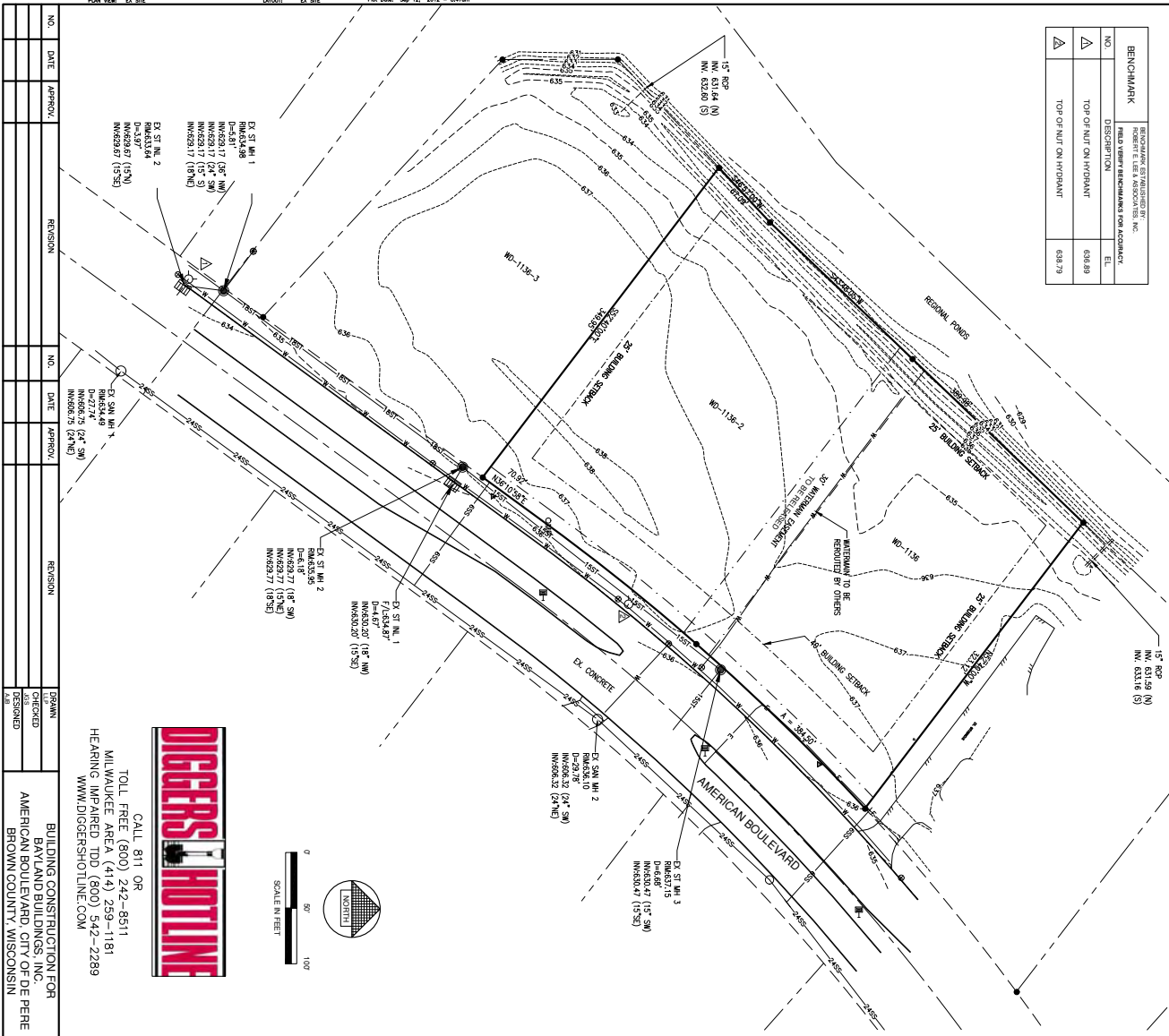
NOTE: ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL CONFORM TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION CONTROL AND TECHNICAL STANDARDS.

SHT. NO.

- 1 LOCATION MAPS & INDEX TO DRAWINGS
- 2 EXISTING SITE CONDITIONS
- 3 SITE PLAN
- 4 UTILITY PLAN
- 5 GRADING PLAN
- 6 EROSION CONTROL AND CONTOUR PLAN
- 7 DETAILS
- 8 DETAILS
- 9 EROSION CONTROL - INLET PROTECTION AND MISCELLANEOUS DETAILS
- 10 EROSION CONTROL - DITCH CHECK DETAILS
- 11 EROSION CONTROL - SHEET FLOW DETAILS

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DIGGERS HOTLINE

CALL 811 OR
TOLL FREE (800) 242-8511
MILWAUKEE AREA (414) 259-1181
HEARING IMPAIRED TDD (800) 542-2289
WWW.DIGGERSHOTLINE.COM

BUILDING CONSTRUCTION FOR
BAYLAND BUILDINGS, INC.
AMERICAN BOULEVARD, CITY OF DE PERE
BROWN COUNTY, WISCONSIN

UTILITY INFORMATION:

UTILITIES PRESENT:
CITY OF DE PERE DEPARTMENT OF PUBLIC WORKS, GROUND, TIME WARNER CABLE, WISCONSIN PUBLIC SERVICE, AND CENTRAL BROWN COUNTY WATER AUTHORITY.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGERS HOTLINE TICKET NUMBER 20122412575, DATED 6/20/12, VISIBLE OBSERVATION ON 6/20/12 AND RECORD UTILITY PLAN DOCUMENTS.

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM SEWER:
DEPARTMENT OF PUBLIC WORKS
CITY OF DE PERE
2231 CLINTON ST.
GREEN BAY, WI 54302
DEFENSE: W 54155
(920) 331-9207

SANITARY SEWER:
GBMSD
2231 CLINTON ST.
GREEN BAY, WI 54302
DEFENSE: W 54155
(920) 331-9207

GAS & ELECTRIC:
WISCONSIN PUBLIC SERVICE CORP.
600 NORTH ADAMS ST.
GREEN BAY, WI 54307
DEFENSE: W 54155
(920) 433-1373

CABLE TV:
TIME WARNER CABLE
1001 KENNEDY AVE.
KILBURN, WI 54150
DEFENSE: W 54155
(920) 331-9207

OWNER INFORMATION:

WISCONSIN PUBLIC SERVICE CORP.
P.O. BOX 1357
GREEN BAY, WI 54307
DEFENSE: W 54155
(920) 331-9207

CONTACT: DAVID STOOK

CONTRACTOR INFORMATION:

BAYLAND BUILDINGS, INC.
P.O. BOX 1357
GREEN BAY, WI 54307
DEFENSE: W 54155
(920) 331-9207

CONTACT: DAVID O'BRIEN

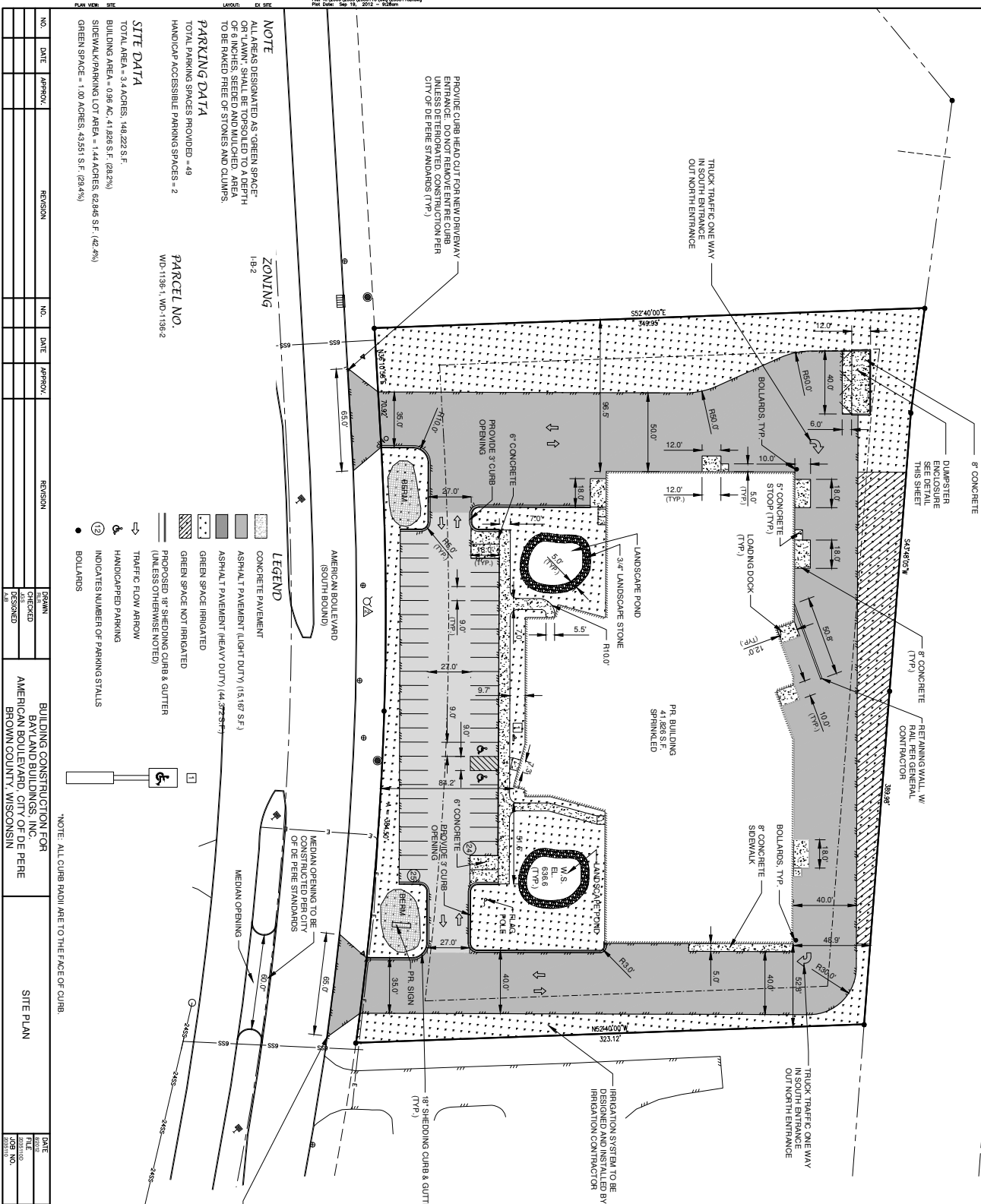
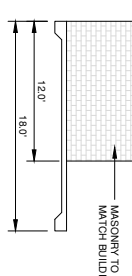
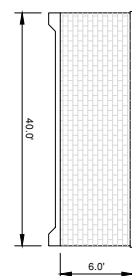
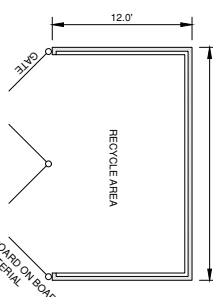
LEGEND

- POWER POLE
- POWER POLE W/OUT WIRE
- LIGHT POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE FEEDSTAL
- CABLE TV MANHOLE
- CABLE TV FEEDSTAL
- GAS VALVE
- GAS METER
- AIR RELIEF MANHOLE
- STORM MANHOLE
- OPEN STORM MANHOLE
- STORM INLET
- STORM INLET MANHOLE
- IRON PIPE/END
- PK NAL
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- RIP RAP
- SPOT ELEVATION
- EXISTING CULVERT
- CONCRETE
- WETLANDS
- HANDICAP PARKING
- EXISTING SANITARY SEWER (SIZE NOTED)
- EXISTING FORCEMAIN (SIZE NOTED)
- EXISTING STORM SEWER (SIZE NOTED)
- EXISTING WATERMAIN (SIZE NOTED)
- GAS LINE
- OVERHEAD TELEPHONE LINE
- UNDERGROUND TELEPHONE LINE
- OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE
- OVERHEAD CABLE TV LINE
- CABLE TV LINE
- PROPOSED LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE
- RIGHT OF WAY
- TOP OF CURB
- FLOW LINE
- PC (POINT OF CURVATURE)
- PT (POINT OF TANGENCY)
- R (RADIUS)
- EX (EXISTING)
- PR (PROPOSED)
- EOB (END OF RADIUS)
- BB (BACK TO BACK (OF CURB))
- WATER
- CENTRAL BROWN COUNTY WATER AUTHORITY
- COLLAPSED PUBLIC UTILITIES
- WISCONSIN PUBLIC SERVICE
- MANITOWOC, WI 54220
- DEFENSE: W 54155
(920) 433-4147
- TELEPHONE: SBC
203 S. JEFFERSON ST.
GREEN BAY, WI 54301
(920) 433-4147

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Robert E. Lee & Associates, Inc.
1000 N. JEFFERSON ST.
GREEN BAY, WI 54301
PHONE: (920) 662-9841
FAX: (920) 662-9141
WWW.RELEE.COM

BENCHMARK		BENCHMARK ESTABLISHED BY
NO.	DISCUSSION	ROBERT E. LEE & ASSOCIATES, INC.
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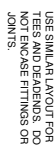


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Robert E. Lee & Associates, Inc.
 ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
 1000 N. W. 54150 P.O. BOX 1000
 MIAMI, FL 33150
 PHONE: (305) 662-2841
 INTERNET: www.rela.com FAX: (305) 662-9141

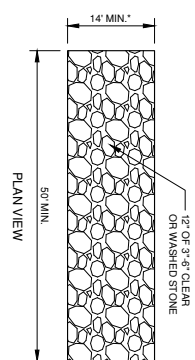


USE SIMILAR LAYOUT FOR TEES AND DEADENDS. DO NOT ENCASE FITTINGS OR JOINTS.



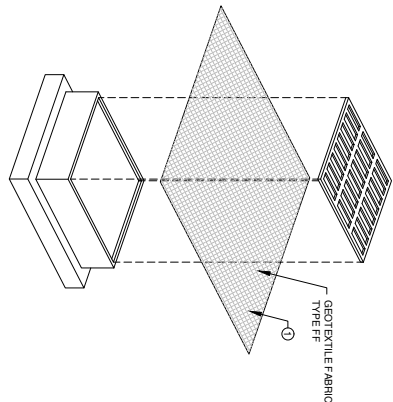
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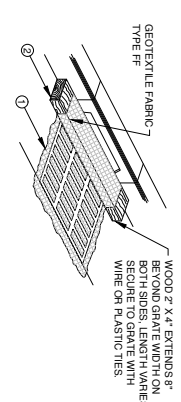


TRACKING PAD DETAIL
(IF APPLICABLE)

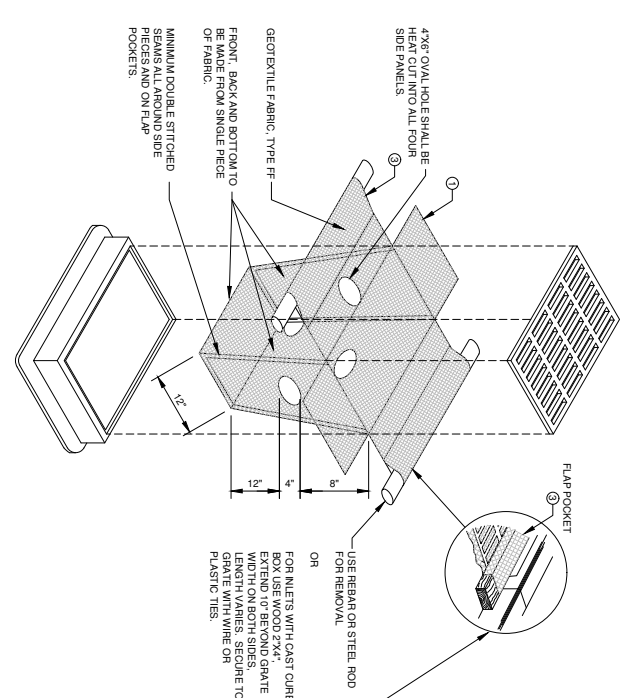
- INLET PROTECTION NOTES:**
- MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WOOL PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.
- WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.
1. FINISHED SIZE, INCLUDING FLAP POCKETS, SHALL BE 2' X 4'. THE GEOTEXTILE SHALL EXTEND TO A MINIMUM OF 12" BEYOND THE PERIMETER OF THE INLET TO FACILITATE MAINTENANCE OR REMOVAL.
 2. FOR INLET PROTECTION, TYPE C (WITH CURB) WITH STAPLES, THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
 3. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2' X 4'.
- INSTALLATION NOTES:**
- TYPE "B" & "C"
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE CONTRACTOR SHALL DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWING LAD, HAND HOUS OR OTHER TOOL, TO REMOVE SEDIMENT ACCUMULATED SEVERAL FEET FROM ENTERING THE INLET.
- TYPE "D"
- DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALL LOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.
- TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.
- THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE BETWEEN THE INLET WALLS AND THE BAGS OF 3". WHERE NECESSARY, THE CONTRACTOR SHALL SPLIT THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

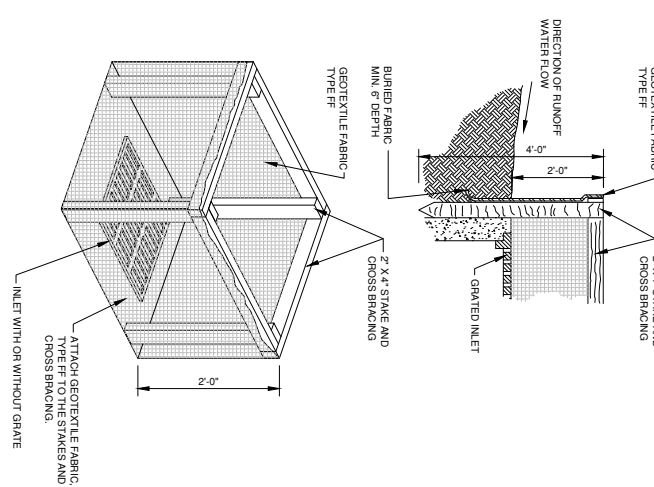


INLET PROTECTION, TYPE C
(WITH CURB BOX)



INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT CURB BOX AS PER NOTE 2)

INLET PROTECTION, TYPE A
(WITH OR WITHOUT GRATE)



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DESIGN	CHECKED	DESIGNED	BY	BUILDING CONSTRUCTION FOR	EROSION CONTROL	INLET PROTECTION AND	FILE	DATE	SHEET NO.
												AMERICAN BOULEVARD, CITY OF DE PERE	INLET PROTECTION AND	MISCELLANEOUS DETAILS	Robert E. Lee & Associates, Inc.	10/20/10	9
												BROWN COUNTY, WISCONSIN			ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES	10/20/10	
															10800 PARKWAY, SUITE 100, PARK CO. PHONE: (920) 692-9841		
															INTERNET: www.leeassoc.com FAX: (920) 692-9141		



PLAN VIEW

NOTES:

18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:

HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY INTO BAG OPENING

ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER SEWING YARN FOR STRENGTH AND DURABILITY

USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING GRADATION REQUIREMENTS



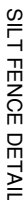
ROCK FILLED EROSION CONTROL BAGS TYPE B



Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
4664 GOLDEN POND PARK COURT
HOBART, WI 54155
PHONE: (920) 662-9664
FAX: (920) 662-9141
INTERNET: www.releeinc.com



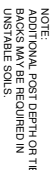
EROSION BALES FOR SHEET FLOW



JOINING TWO LENGTHS OF SILT FENCE



SILT FENCE TIE BACK



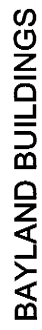
EROSION CONTROL SHEET FLOW NOTES:

1. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
2. A MINIMUM OF 1 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.
3. ALL WASTE AND UNUSED BUILDING MATERIALS INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTE TOWER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE REMOVED FROM THE SITE.
4. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY.
5. **FUSING SHALL NOT BE ALLOWED.**
6. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REZONE.
7. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING ZONE, THE EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 75% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE DNR.
8. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TICKENGAARD MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENTS/WATER RESOURCES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WORK CONSERVATION PRACTICE 11. UPON COMPLETION OF STORM INLET CONSTRUCTION, THE CONTRACTOR SHALL INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED IN THE FIRM FURNISHMENT ACCUMULATIONS SHALL BE CLEANED FROM STREET'S, PRIVATE DRIVE'S, OR PARKING AREAS BY MANUAL, OR MECHANICAL SWEEPING A MINIMUM OF ONCE PER WEEK AND BEFORE ALL MAJOR RAINS.
12. EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5 INCH OR MORE.

SILT FENCE NOTES

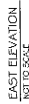
1. TECHNICAL CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WOMEN LABORATORY STANDARD.
2. CROSS BRACE WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.
3. MINIMUM 1" GULGE WHEN ENGAGED, FOLD D. FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS, 20" I.C.
4. EXCAVATE A TRENCH A MINIMUM OF 1" DEEP AS 3 FEET TO BURY AND ANCHOR THE GEO TEXTILE FABRIC. FOLD FABRIC MINIMUM 1" TO FIT TRENCH AND BACKFILL 2" COMPACT BRICKMAN WITH EXCAVATED SOIL.
5. WIRE SUPPORT TRENCH SHALL BE 14 GAUGE MINIMUM WIRE WIRE WITH A MINIMUM MESH SPACING OF 6" SECURE TOP OF GEO TEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" I.C. (TYPE B).
6. GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MINIMUM MESH SPACING OF 3" X 4" EQUAL, A HEAVY DUTY NYLON TO SUPPORT CORN OR EQUIVALENT IS REQUIRED. (TYPE C).
7. STEEL POSTS SHALL BE STUDIED, TEST OR TRY WITH A MINIMUM 1 1/2" DIA. POSTS WITH 1/2" DIA. WIRE. THE WIRE SHALL BE MINIMUM 14 GAUGE. SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE MINIMUM SIZE OF 1 1/8" X 1 1/8" OF CORN OR HICKORY.
8. CONSTRUCT 1/2" AT FENCE FACING A CONTINUOUS ROLL, IF POSSIBLE E, BY CUTTING LENGTHS TO VOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A. TWIN METHOD - NO JOINTS. B. HOOK METHOD - HOOK THE END OF EACH SPLICED LENGTH.
9. THE MAXIMUM SPACING OF POSTS FOR WOMEN LABORATORY 3 FEET. SHALL BE 8 FEET AND FOR NONWOMEN LABORATORY, 3 FEET.

[illegible]



DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:



NOT TO SCALE



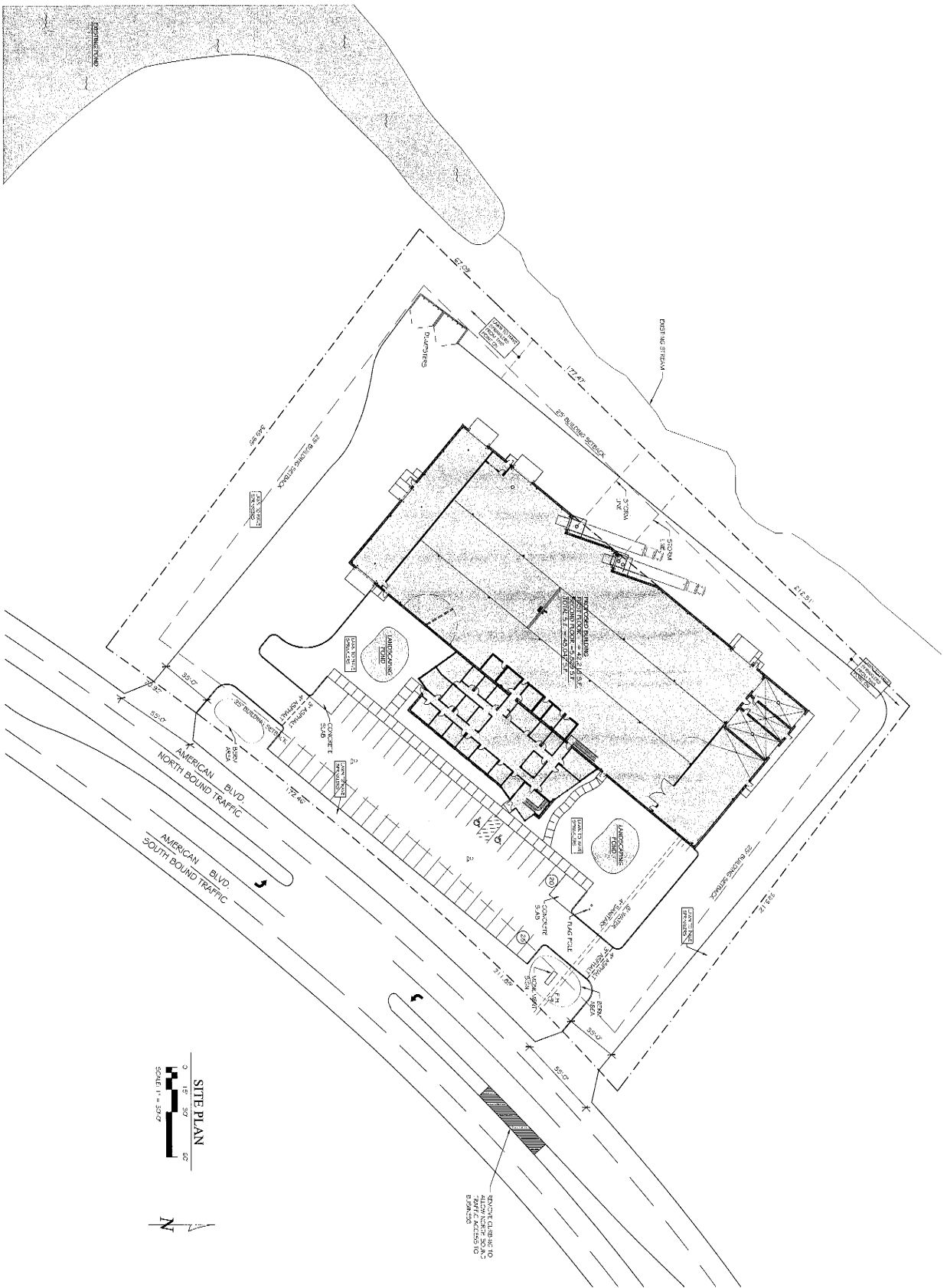
DESIGN & BUILD GENERAL CONTRACTORS



Project consists of a metal frame building for

County of Brown

007 = jenkins



SITE PLAN
 0 10' 20' 30' 40'
 SCALE 1" = 20'-0"



PROPOSED BUILDING FOR:
WASH WORLD
 DEPERE, WISCONSIN; BROWN COUNTY

SCALE VERIFICATION
 THIS SCALE VERIFICATION IS FOR INFORMATIONAL PURPOSES ONLY. IT IS NOT A CONTRACT DOCUMENT. THE SCALE VERIFICATION IS NOT A SUBSTITUTE FOR A PROFESSIONAL ENGINEER'S SCALE VERIFICATION.

JOB NUMBER: 12-1850
SALES REP: LANCE WANDEN HEVEL
 (920) 371-8167
DRAWN BY: AME
DATE: 6-1-12
REVISIONS:
 6/17/12 DMD
 6/30/12 DMD
 8/31/12 DMD
 8/31/12 DMD
ISSUED FOR: PRELIMINARY
 BID SET
 CONSTRUCTION

SHEET
C1.0

BAYLAND
 BAYLAND BUILDINGS
 1000 W. WISCONSIN AVE.
 DEPERE, WI 54631
 (920) 468-0000 FAX (920) 468-0033
 www.baylandbuildings.com
 DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
WASH WORLD
DEPERE, WISCONSIN; BROWN COUNTY

SCALE VERIFICATION
BY: [Signature]
DATE: 12-18-20

SCALE VERIFICATION
BY: [Signature]
DATE: 12-18-20

LOG NUMBER: 12-1850
SALES REP: LANCE VANDEN HEUVEL
(920) 371-8167
DRAWN BY: AME
DATE: 5-1-12

REVISIONS:
Δ 9/7/12 DMD
Δ 9/20/12 DMD
Δ 9/5/12 DMD
SEP 8 3 2012

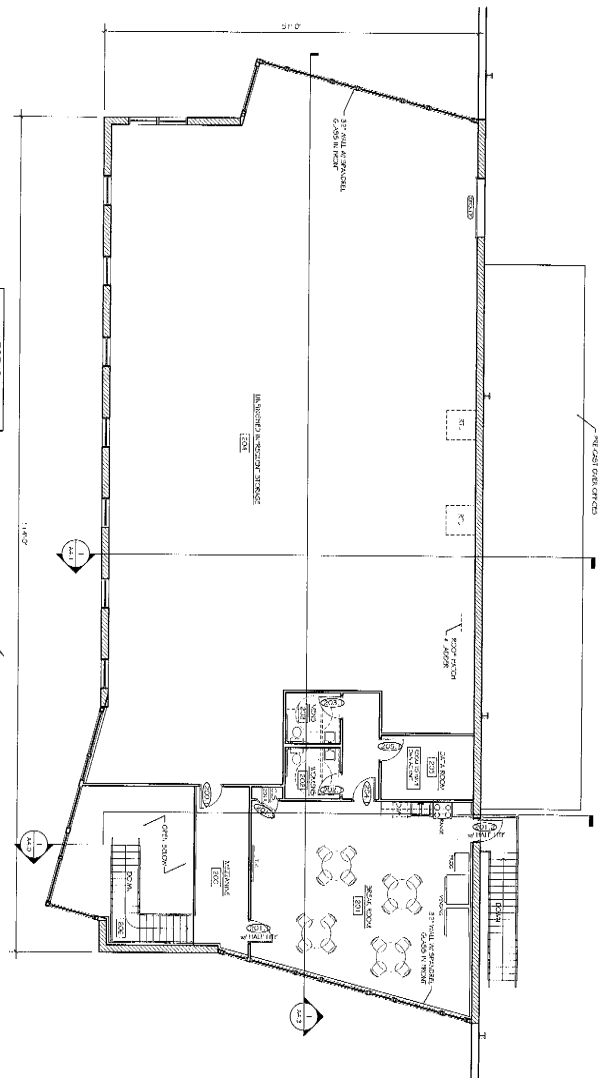
ISSUED FOR:
☐ PRELIMINARY
☐ BID SET
☐ CONSTRUCTION

SHEET

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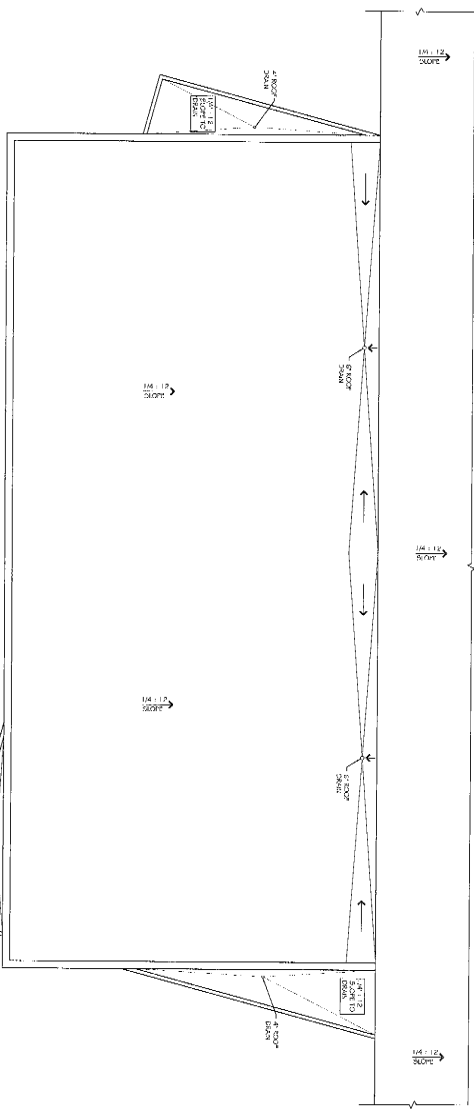
GENERAL PLAN NOTES	
1. THIS DRAWING IS A PART OF THE PROJECT AND SHALL BE USED IN CONJUNCTION WITH THE OTHER DRAWINGS AND SPECIFICATIONS.	2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.	4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
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BUILDING KEY
12-1850



LEGEND
STEEL STRUCTURE
WOOD FLOOR
CONCRETE FLOOR
FLOOR FINISH
FLOOR FINISH

SECOND FLOOR
SCALE 1/8" = 1'-0"

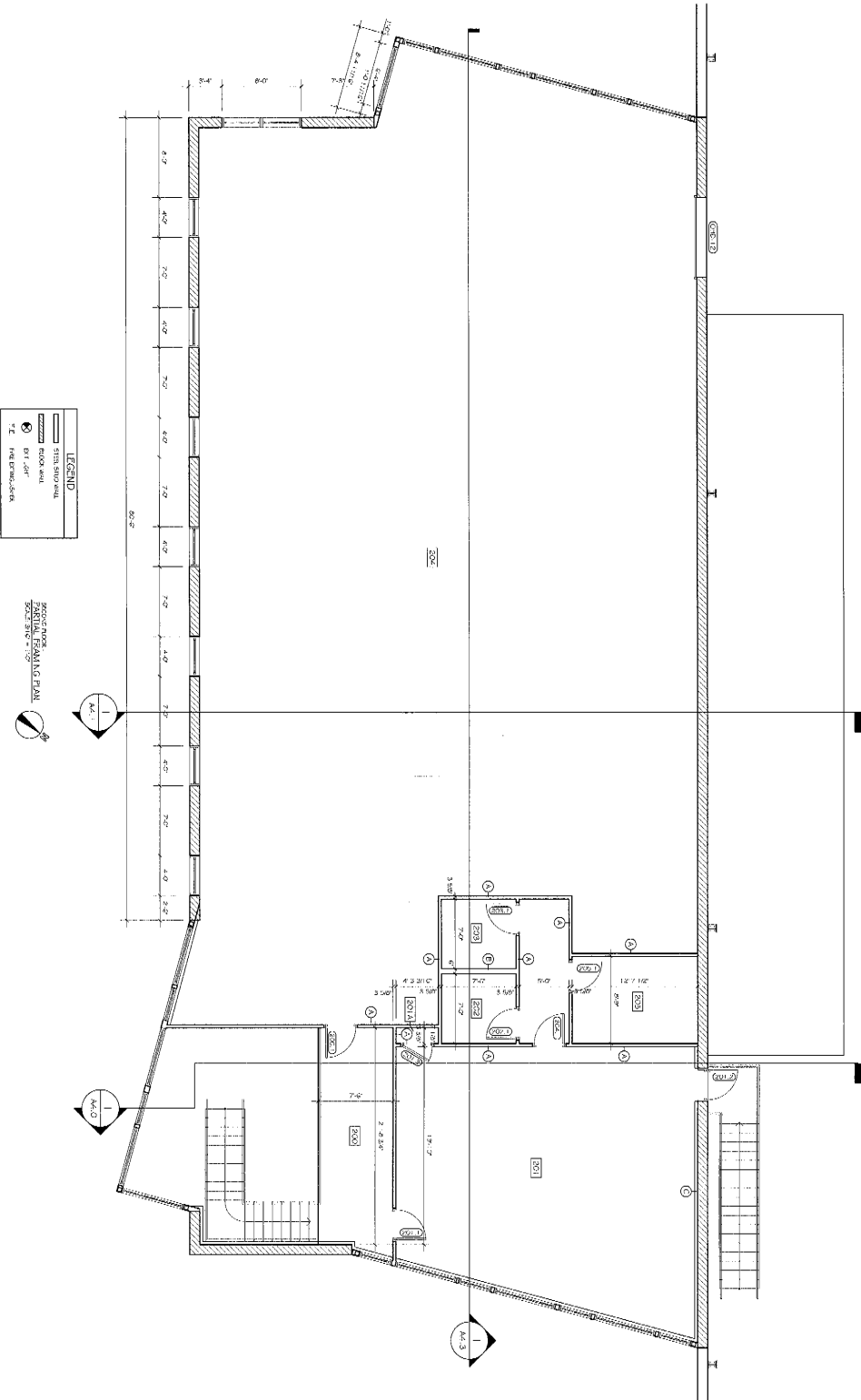
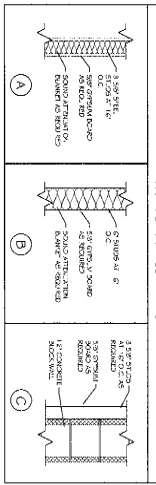


PARTIAL ROOF PLAN
SCALE 1/8" = 1'-0"

APPROVED
DATE: 12-18-20
BY: [Signature]

DESIGN & BUILD GENERAL CONTRACTOR

INTERIOR WALL TYPES



LEGEND	
	STEEL STUD WALL
	ROCK WALL
	PRECAST CONCRETE WALL

SECTION LINE
SECTION 1-1
SECTION 2-2



SEE PLAN
TOP OF SHEET



BAYLAND

BAYLAND BUILDINGS
P.O. BOX 13871 GREEN BAY, WI 54307
(920) 498-5500 FAX (920) 498-5533
DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:

WASH WORLD

DEPERE, WISCONSIN; BROWN COUNTY

SCALE VERIFICATION
1" = 10'-0"

DATE OF CONSTRUCTION: 7/15/12
DRAWN BY: DMD
CHECKED BY: DMD
APPROVED BY: DMD
SALES REP: LANCE VANDENHEUVEL
(920) 371-8157
JOB NUMBER: 12-1550

REVISIONS	DATE	BY
△ DMD 8/6/12	7/15/12	
△ DMD 8/23/12		
△ DMD 8/20/12		
△ DMD 9/5/12		

ISSUED FOR:
☐ PRELIMINARY
☐ BID SET
☒ CONSTRUCTION

A1.3



BAYLAND BUILDINGS
P.O. BOX 13371 GREEN BAY, WI 54307
(920) 486-8200 FAX (920) 486-5033
DESIGN & BUILD GENERAL CONTRACTOR

PROPOSED BUILDING FOR:
WASH WORLD
DEPERE, WISCONSIN; BROWN COUNTY

SCALE VERIFICATION
1" = 16'-0"
1/8" = 1'-0"

NOTES:
1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.
2. ALL WALLS ARE TO BE CONCRETE BLOCK WITH 1/2" GYPSUM BOARD.
3. ALL FLOORS ARE TO BE 4" CONCRETE ON 6" GRAVEL.
4. ALL ROOFS ARE TO BE 12" INSULATION WITH 1/2" GYPSUM BOARD.
5. ALL EXTERIOR WALLS ARE TO BE 16" CONCRETE BLOCK WITH 1/2" GYPSUM BOARD.
6. ALL EXTERIOR ROOFS ARE TO BE 12" INSULATION WITH 1/2" GYPSUM BOARD.
7. ALL INTERIOR WALLS ARE TO BE 8" CONCRETE BLOCK WITH 1/2" GYPSUM BOARD.
8. ALL INTERIOR FLOORS ARE TO BE 4" CONCRETE ON 6" GRAVEL.
9. ALL INTERIOR ROOFS ARE TO BE 12" INSULATION WITH 1/2" GYPSUM BOARD.
10. ALL EXTERIOR DOORS ARE TO BE 36" X 80" SLIP STREAM DOORS.
11. ALL INTERIOR DOORS ARE TO BE 36" X 80" SLIP STREAM DOORS.
12. ALL WINDOWS ARE TO BE 36" X 80" SLIP STREAM WINDOWS.
13. ALL ROOFING IS TO BE 1/2" ALUMINUM PANELS.
14. ALL Siding IS TO BE 1/2" VINYL SIDING.
15. ALL PAINT IS TO BE 1/2" VINYL PAINT.
16. ALL FLOORING IS TO BE 1/2" VINYL FLOORING.
17. ALL CEILING IS TO BE 1/2" VINYL CEILING.
18. ALL LIGHTING IS TO BE 1/2" VINYL LIGHTING.
19. ALL VENTILATION IS TO BE 1/2" VINYL VENTILATION.
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27. ALL GAS IS TO BE 1/2" VINYL GAS.
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29. ALL SEWER IS TO BE 1/2" VINYL SEWER.
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SALES REP
LANCE VANDEN HEUVEL
(920) 374-8167

DRAWN BY
DMD

DATE
8/23/12

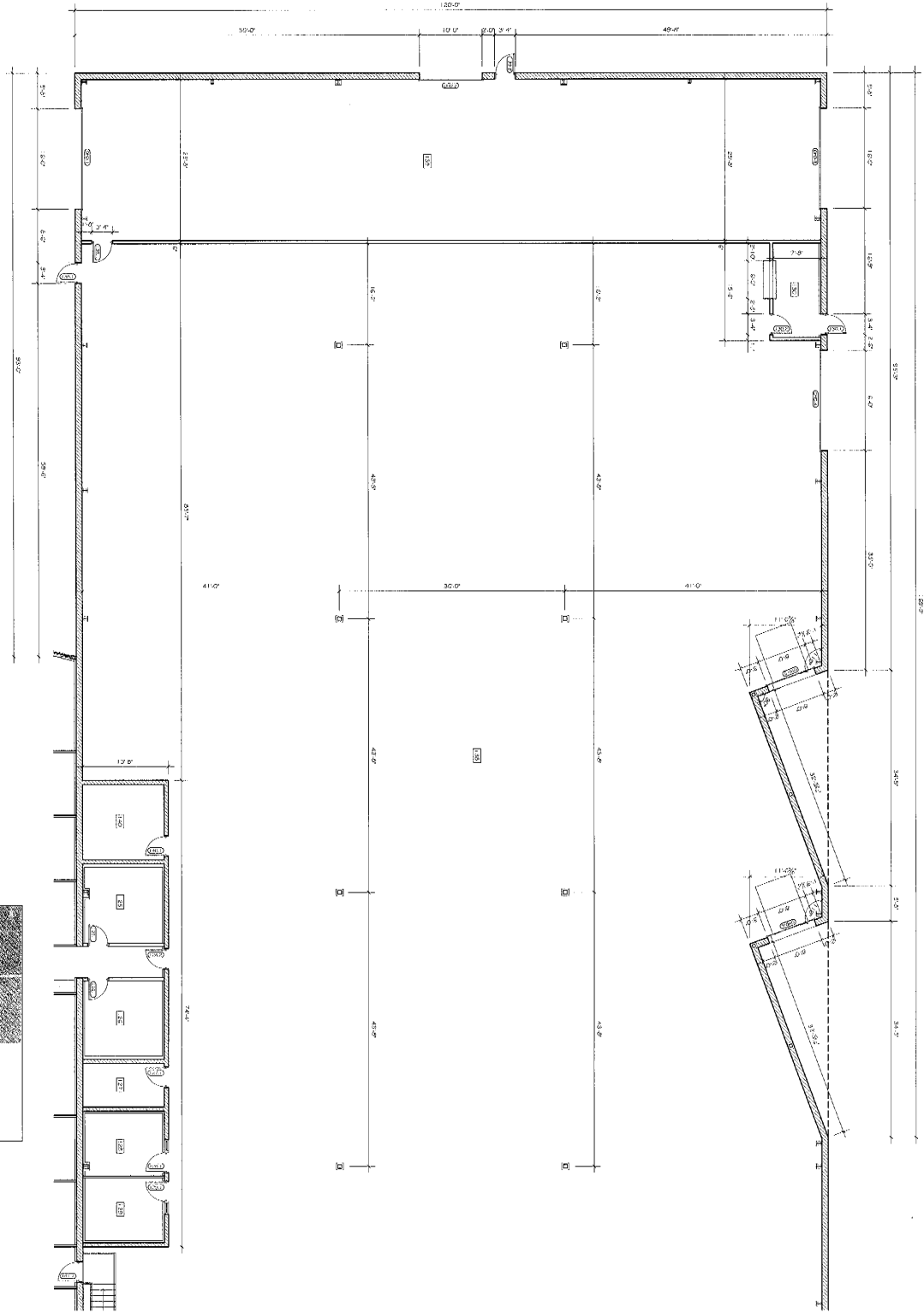
REVISIONS
DMD 9/6/12

SEP 6 5 2012

ISSUED FOR
PRELIMINARY
BID SET
CONSTRUCTION

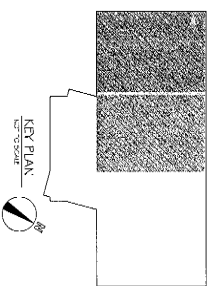
SHEET

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LEGEND
WASH WORLD BUILD
WASH WORLD
WASH WORLD
WASH WORLD

UNIVERSITY
DIMENSION PLAN
SCALE 1/8" = 1'-0"



PROPOSED BUILDING FOR:

WASH WORLD

DE PERE, WISCONSIN; BROWN COUNTY

SCALE VERIFICATION
THIS BAR REFLECTS A 1" ON 0.001 INL.
ADJUST SCALE ACCORDINGLY.

JOB NUMBER: 12-1850

SALES REP:
LANCE VANDEN HEUVEL

(920) 371-8167

DRAWN BY: DMD

DATE: 8/27/12

REVISIONS:

△ DMD 9/5/12

SEP 05 2017

25

[illegible]

ISSUED FOR: ☐ PRELIMINARY

☐ BID SET

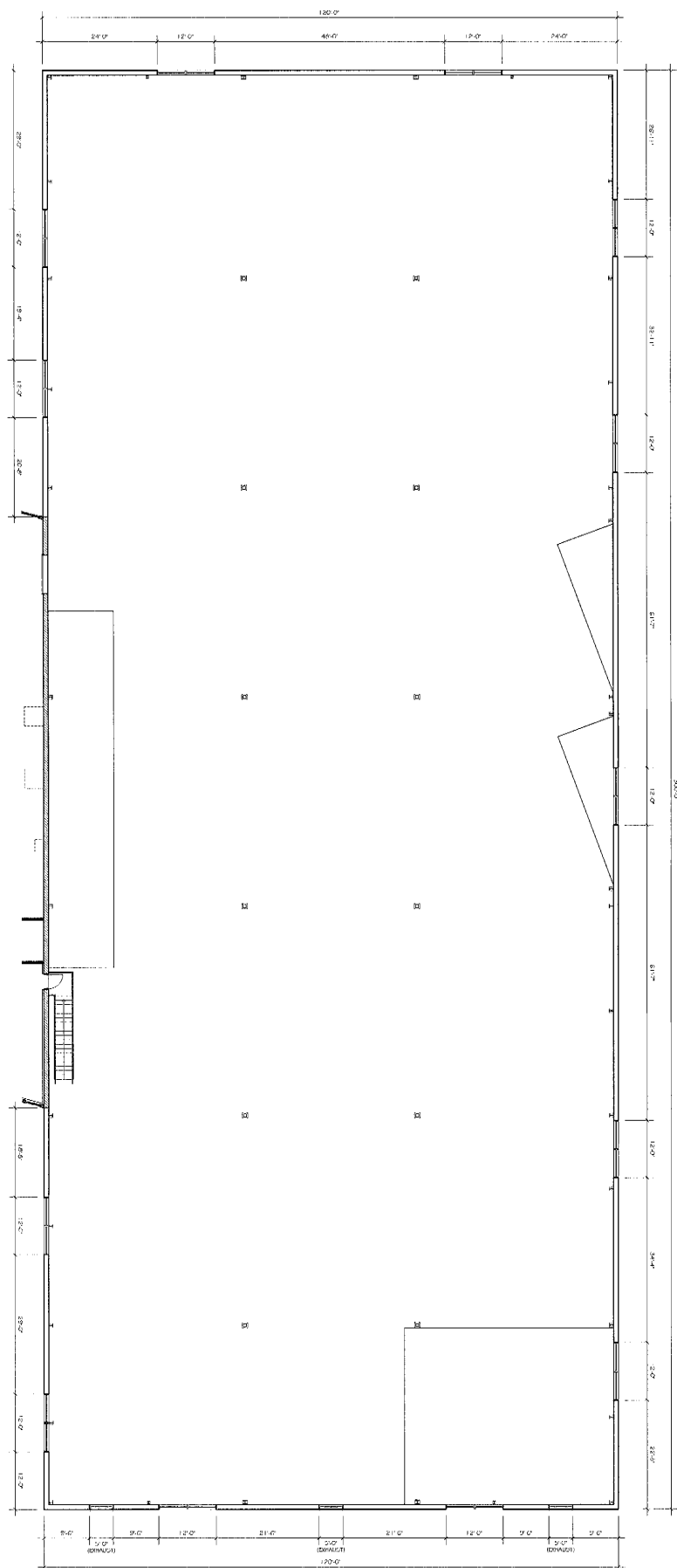
☐ CONSTRUCTION

SHEET

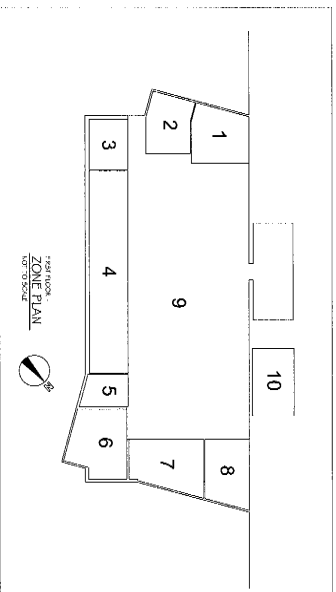
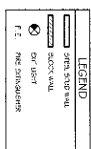
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Al.ö.

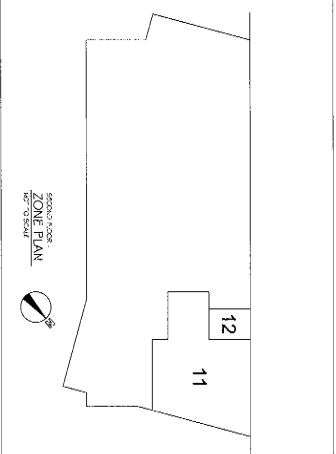
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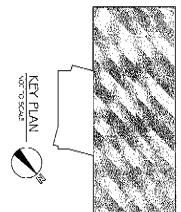
UPPER 300, FACTORS =
DIMENSIONED PLAN!
SCALE: 3/32" = 1'-0"



2nd FLOOR -
ZONE PLAN
NOT TO SCALE



SECOND FLOOR -
ZONE PLAN
NOT TO SCALE



KEY PLAN
NOT TO SCALE

APPROVED

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DATE _____

1. **Introduction** 2. **Method** 3. **Results** 4. **Discussion** 5. **Conclusion** 6. **References** 7. **Appendix** 8. **Tables** 9. **Figures** 10. **Supplementary Materials** 11. **Notes** 12. **References** 13. **Appendix** 14. **Tables** 15. **Figures** 16. **Supplementary Materials** 17. **Notes** 18. **References** 19. **Appendix** 20. **Tables** 21. **Figures** 22. **Supplementary Materials** 23. **Notes** 24. **References** 25. **Appendix** 26. **Tables** 27. **Figures** 28. **Supplementary Materials** 29. **Notes** 30. **References** 31. **Appendix** 32. **Tables** 33. **Figures** 34. **Supplementary Materials** 35. **Notes** 36. **References** 37. **Appendix** 38. **Tables** 39. **Figures** 40. **Supplementary Materials** 41. **Notes** 42. **References** 43. **Appendix** 44. **Tables** 45. **Figures** 46. **Supplementary Materials** 47. **Notes** 48. **References** 49. **Appendix** 50. **Tables** 51. **Figures** 52. **Supplementary Materials** 53. **Notes** 54. **References** 55. **Appendix** 56. **Tables** 57. **Figures** 58. **Supplementary Materials** 59. **Notes** 60. **References** 61. **Appendix** 62. **Tables** 63. **Figures** 64. **Supplementary Materials** 65. **Notes** 66. **References** 67. **Appendix** 68. **Tables** 69. **Figures** 70. **Supplementary Materials** 71. **Notes** 72. **References** 73. **Appendix** 74. **Tables** 75. **Figures** 76. **Supplementary Materials** 77. **Notes** 78. **References** 79. **Appendix** 80. **Tables** 81. **Figures** 82. **Supplementary Materials** 83. **Notes** 84. **References** 85. **Appendix** 86. **Tables** 87. **Figures** 88. **Supplementary Materials** 89. **Notes** 90. **References** 91. **Appendix** 92. **Tables** 93. **Figures** 94. **Supplementary Materials** 95. **Notes** 96. **References** 97. **Appendix** 98. **Tables** 99. **Figures** 100. **Supplementary Materials** 101. **Notes** 102. **References** 103. **Appendix** 104. **Tables** 105. **Figures** 106. **Supplementary 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A1.6

Figure 10 consists of six diagrams (a-f) illustrating typical reinforcement details for a slab edge. Each diagram shows a cross-section of a slab with a 45° slope and various reinforcement details. The diagrams are labeled as follows:

- (a) Slab edge with 45° slope, 12 mm diameter bars, and a 27 mm gap. The reinforcement is labeled as 12 mm dia. bars @ 100 mm c/c.
- (b) Slab edge with 45° slope, 12 mm diameter bars, and a 27 mm gap. The reinforcement is labeled as 12 mm dia. bars @ 100 mm c/c.
- (c) Slab edge with 45° slope, 12 mm diameter bars, and a 27 mm gap. The reinforcement is labeled as 12 mm dia. bars @ 100 mm c/c.
- (d) Slab edge with 45° slope, 12 mm diameter bars, and a 27 mm gap. The reinforcement is labeled as 12 mm dia. bars @ 100 mm c/c.
- (e) Slab edge with 45° slope, 12 mm diameter bars, and a 27 mm gap. The reinforcement is labeled as 12 mm dia. bars @ 100 mm c/c.
- (f) Slab edge with 45° slope, 12 mm diameter bars, and a 27 mm gap. The reinforcement is labeled as 12 mm dia. bars @ 100 mm c/c.

Figure 1: Clearances for wheelchair use. The figure consists of five diagrams labeled (a) through (e), each showing a wheelchair user in a specific situation with required clearances. (a) Clearances for a person standing at a counter: 36 inches (914 mm) for the person's height, 36 inches (914 mm) for the counter height, 36 inches (914 mm) for the counter depth, 36 inches (914 mm) for the counter width, and 36 inches (914 mm) for the counter length. (b) Clearances for a person seated at a counter: 36 inches (914 mm) for the person's height, 36 inches (914 mm) for the counter height, 36 inches (914 mm) for the counter depth, 36 inches (914 mm) for the counter width, and 36 inches (914 mm) for the counter length. (c) Clearances for a person seated at a counter with a control panel: 36 inches (914 mm) for the person's height, 36 inches (914 mm) for the counter height, 36 inches (914 mm) for the counter depth, 36 inches (914 mm) for the counter width, and 36 inches (914 mm) for the counter length. (d) Clearances for a person seated at a counter with a control panel and a storage cabinet: 36 inches (914 mm) for the person's height, 36 inches (914 mm) for the counter height, 36 inches (914 mm) for the counter depth, 36 inches (914 mm) for the counter width, and 36 inches (914 mm) for the counter length. (e) Clearances for a person seated at a counter with a control panel and a storage cabinet, showing the wheelchair's position relative to the counter and the storage cabinet.

[illegible][illegible]

APPROVED	
ON-CHS 350A/B/C/E	DATE: _____
SALES REP: _____	DATE: _____

DEPERE, WISCONSIN; BROWN COUNTY

SCALE VERIFICATION
THIS BAR MEASURES "X" ON ORIGINAL
ADJUST SCALE ACCORDINGLY.

[illegible]

SHEET

A2.1

P.O. BOX 13571 GREEN BAY, WI 54307
(920) 498-9300 FAX (920) 498-3033
www.baylandbuildings.com

DEPERE, WISCONSIN; BROWN COUNTY

THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

JOB NUMBER: 12-1850

12-1850

LANCE VANDEN

DRUGS IN BRIEF:

6-1-1

Δ 0110 210042

$$\frac{\Delta \text{molecular mass}}{\Delta \text{time}}$$

SEP 2

ISSUED FOR:

☐ BID SET

1

A4.0



OFFICE SECTION

PROPOSED BUILDING FOR:
WASH WORLD
DEPERE, WISCONSIN; BROWN COUNTY

SCALE VERIFICATION
1" = 1'-0"

NOTES:
1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.

ASB NUMBER: 12-1850

SALES REP: LANCE VANDENHEVEL

PHONE: (920) 371-8167

DRAWN BY: ANE

DATE: 8-1-12

REVISIONS:

△ DMD 7/20/12

△ DMD 8/7/12

△ DMD 8/29/12

SEP 0 5 2012

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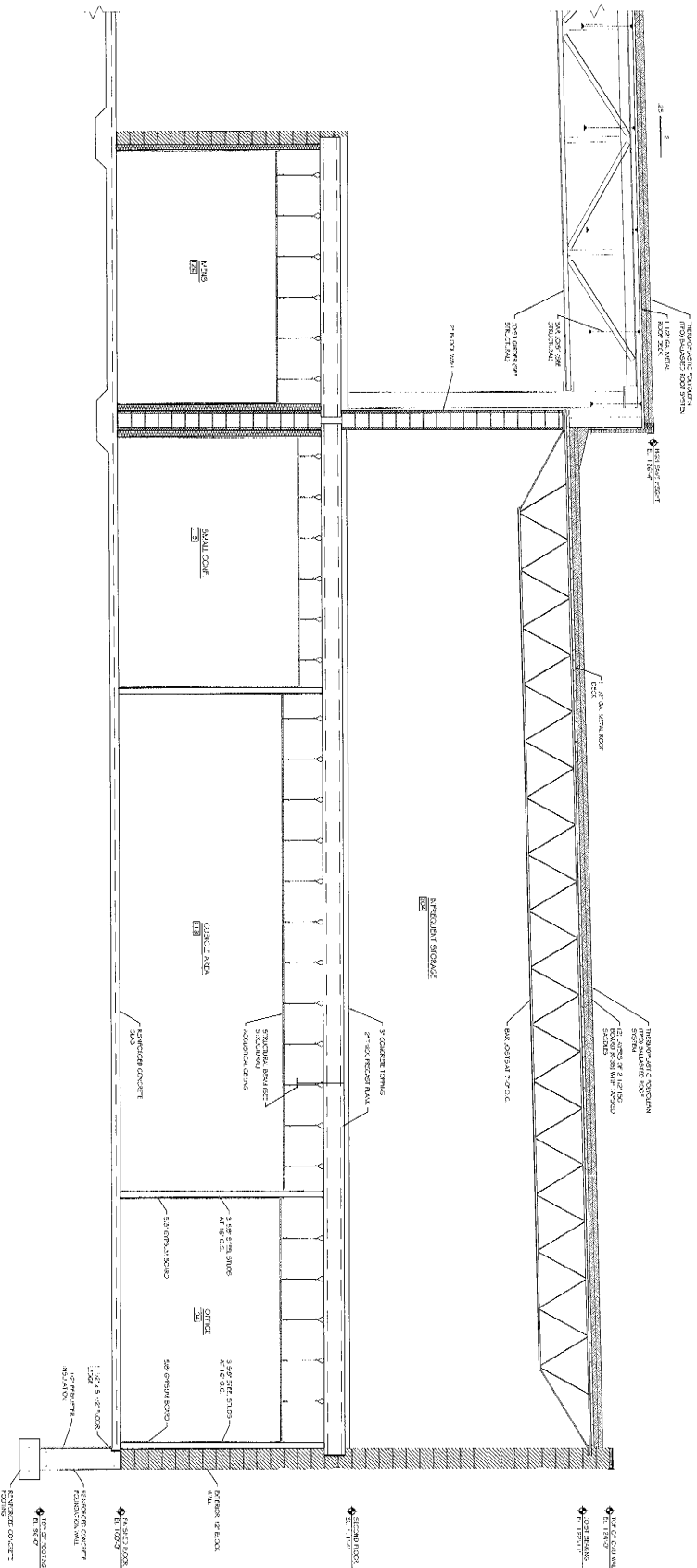
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BID SET

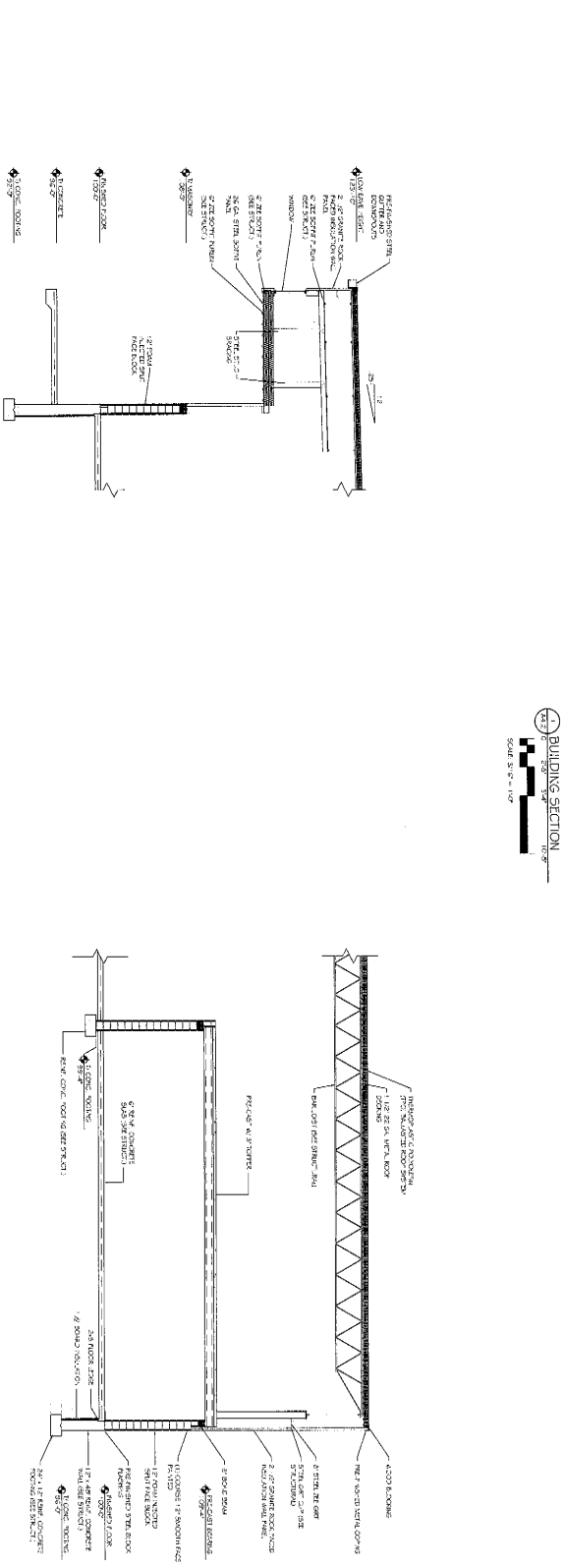
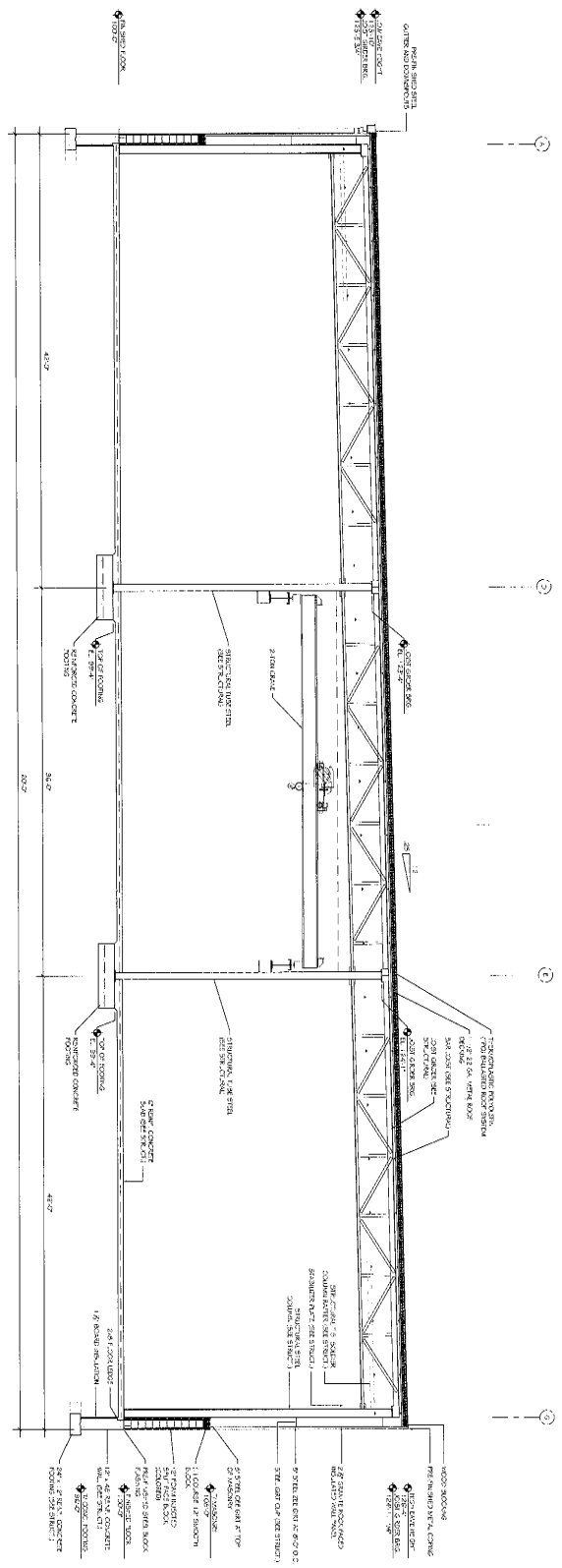
CONSTRUCTION

SHEET

A4.1



OFFICE SECTION
SCALE: 3/8\"/>



PROPOSED BUILDING FOR:
WASHWORLD
DEPERE, WISCONSIN; BROWN COUNTY

SCALE VERIFICATION
1" = 1'-0"

NOTES:
1. ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND STANDARDS.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS.
3. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AT ALL TIMES.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES.
5. THE CONTRACTOR SHALL MAINTAIN A SAFE WORKING ENVIRONMENT AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE COVERAGE.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY BONDS.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.
10. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY REFERENCES.

JOB NUMBER: 12-1850
SALES REP: LANCE VANDEN HEUVEL (920) 374-8167
DRAWN BY: DMD
DATE: 7/11/12

REVISIONS:
Δ DMD 7/11/12
Δ DMD 8/8/12
Δ DMD 8/28/12
SEP 8 5 2012

ISSUED FOR:
☐ PRELIMINARY
☐ BID SET
☐ CONSTRUCTION

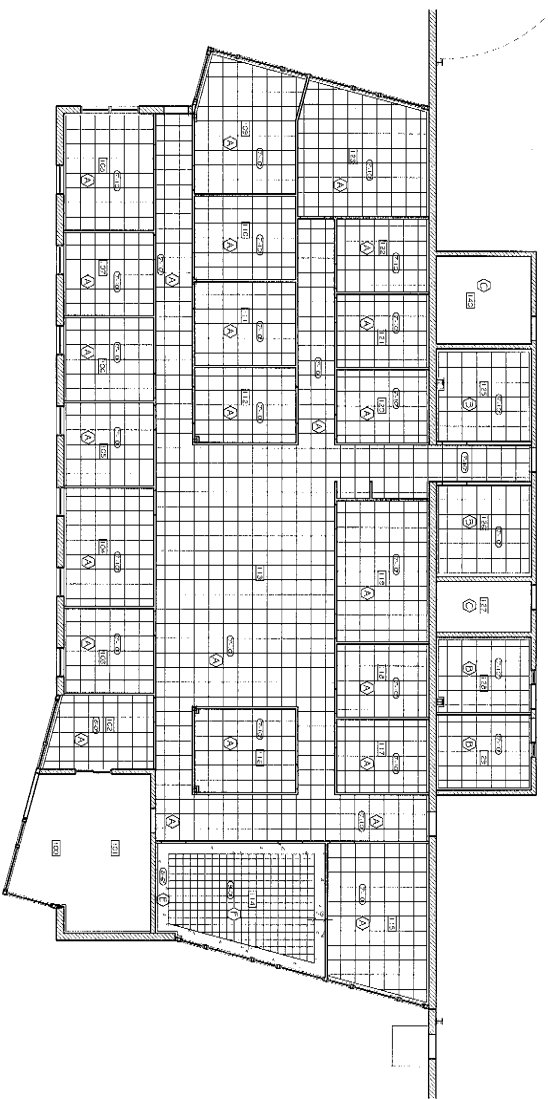
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A5.0

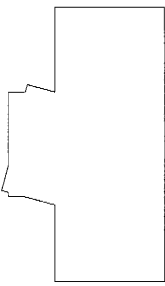
0 5 10
SCALE: 1/8" = 1'-0"

CEILING NOTES
1. ALL CEILING SHALL BE 2' X 4' GRID WITH 2' X 2' ACoustical Tiles.
2. ALL CEILING SHALL BE 2' X 4' GRID WITH 2' X 2' ACoustical Tiles.
3. ALL CEILING SHALL BE 2' X 4' GRID WITH 2' X 2' ACoustical Tiles.
4. ALL CEILING SHALL BE 2' X 4' GRID WITH 2' X 2' ACoustical Tiles.
5. ALL CEILING SHALL BE 2' X 4' GRID WITH 2' X 2' ACoustical Tiles.
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8. ALL CEILING SHALL BE 2' X 4' GRID WITH 2' X 2' ACoustical Tiles.
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10. ALL CEILING SHALL BE 2' X 4' GRID WITH 2' X 2' ACoustical Tiles.

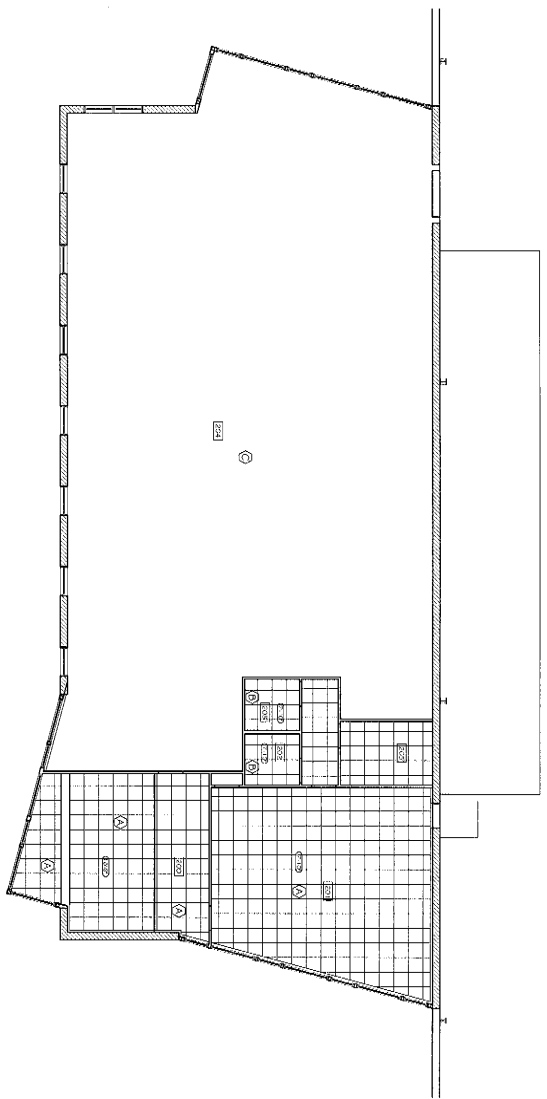
1ST FLOOR
REFLECTED CEILING PLAN
SCALE: 3/8" = 1'-0"



KEY PLAN
NOT TO SCALE



2ND FLOOR
REFLECTED CEILING PLAN
SCALE: 3/8" = 1'-0"



APPROVED
DATE: 7/11/12
BY: [Signature]
PROJECT: WASHWORLD
SHEET: A5.0

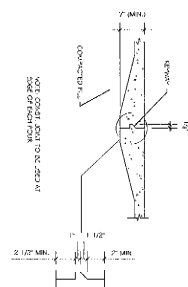
PROPOSED BUILDING FOR:
WASH WORLD
DE PERE, WISCONSIN; COUNTY OF: BROWN

SCALE VERIFICATION
THIS DRAWING IS TO BE USED FOR CONSTRUCTION
AND NOT FOR BIDDING PURPOSES

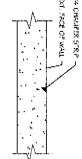
DATE: 11-18-80
DRAWN BY: LANCE VANDEHEUVEL
CHECKED BY: ANE
DESIGNED BY: LANCE VANDEHEUVEL
CONSTRUCTION: SEP 0 5 2017

REVISIONS:
1. PRELIMINARY
2. BID SET
3. CONSTRUCTION
SHEET

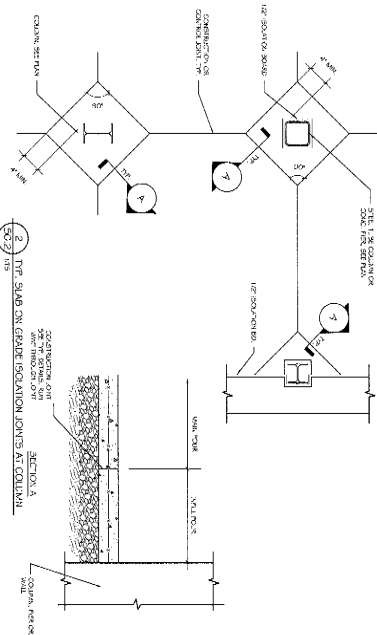
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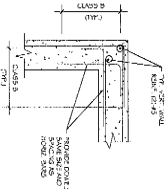
1. TOP SECTION OF CONTROL JOINT (C.S. 1)



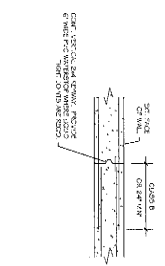
2. SIDE SECTION OF CONTROL JOINT (C.S. 2)



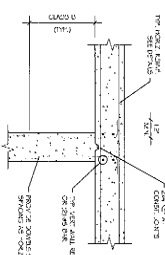
3. TOP SECTION OF CONTROL JOINT (C.S. 3)



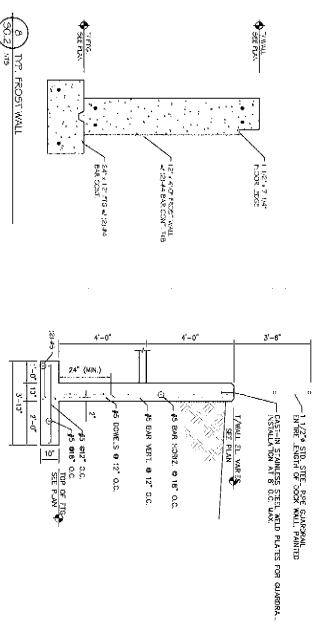
4. TYPICAL CORNER REINFORCEMENT (C.S. 4)



5. VERTICAL CONTROL JOINT (C.S. 5)

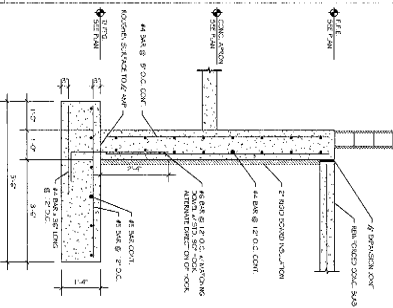


6. WALL INTERSECTION DETAIL (C.S. 6)

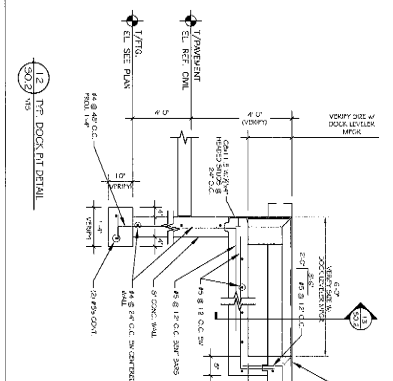


7. TYPICAL FROST WALL (C.S. 7)

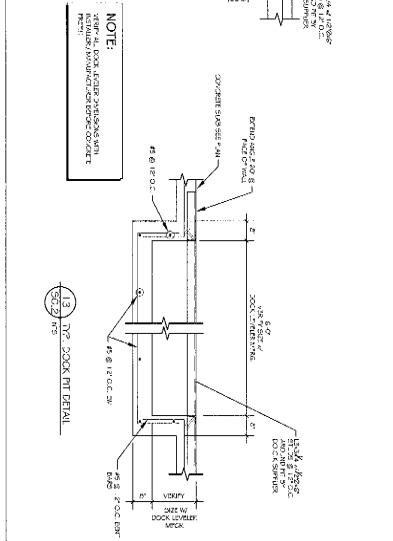
8. TYPICAL RETAINING WALL (C.S. 8)



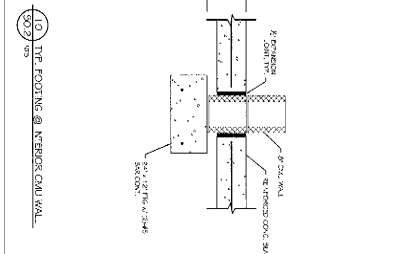
9. TYPICAL FROST WALL @ LOADING DOCK (C.S. 9)



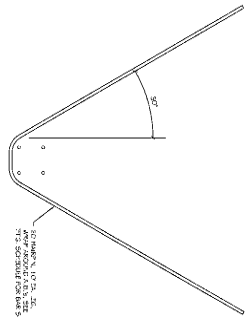
10. DOCK PIT DETAIL (C.S. 10)



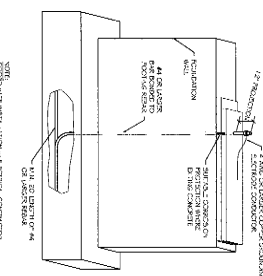
11. DOCK PIT DETAIL (C.S. 11)



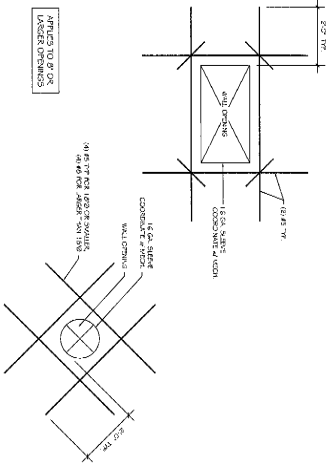
12. TYPICAL FOOTING @ INTERIOR WALL (C.S. 12)



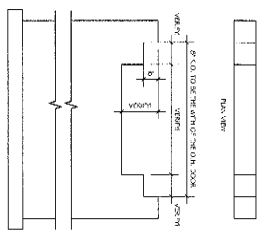
4 HAFEN - 1871



3 CONCRETE ENCASED ELECTRODE

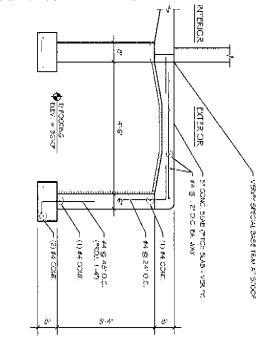


2 1" WALL OPENING REIN.

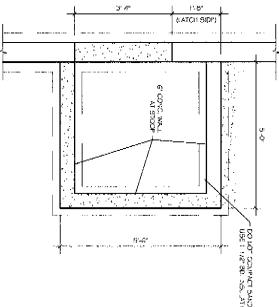


1 1" FROST WALL NOTCH OUT AT DOCK DOORS

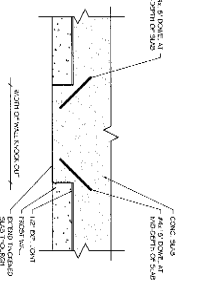
NOTE:
VERIFY ALL DOCK LATCHES & DRAWING SET
WITH ARCHITECT & GENERAL CONTRACTOR



9 1" STICP ENTRY OVER @ SERVICE DOOR



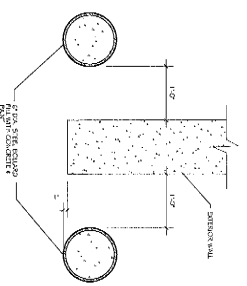
8 1" STICP DIMENSIONS @ SERVICE DOOR



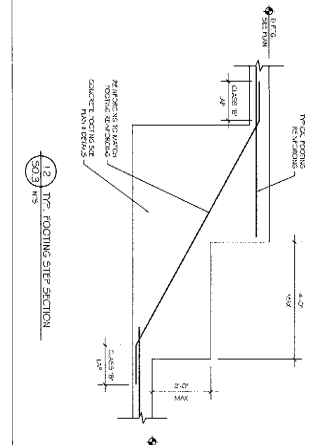
7 BREAK AT DOOR OPENINGS



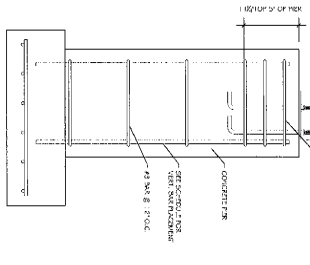
6 3/4" THICKNESS CHANGE DETAIL



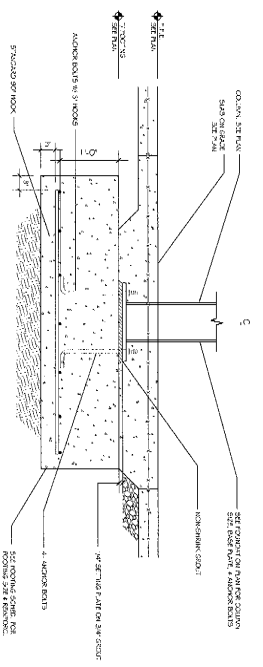
5 ROUNDED PLAS DETAIL



12 1" FOOTING STEP SECTION



11 BREAK CRB DETAIL



10 COLUMN FOOTING

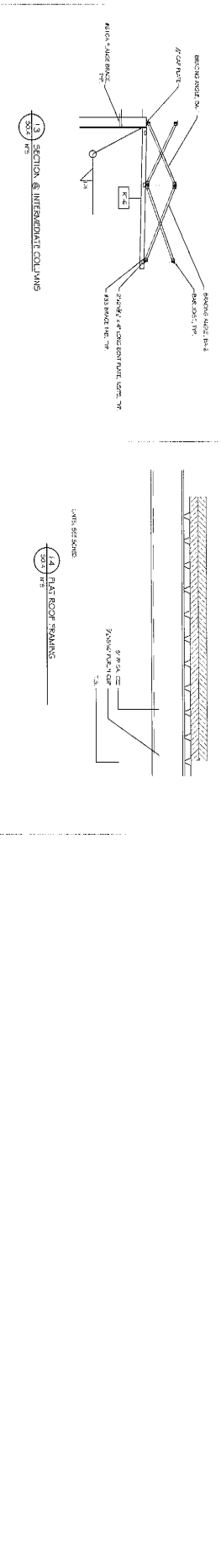
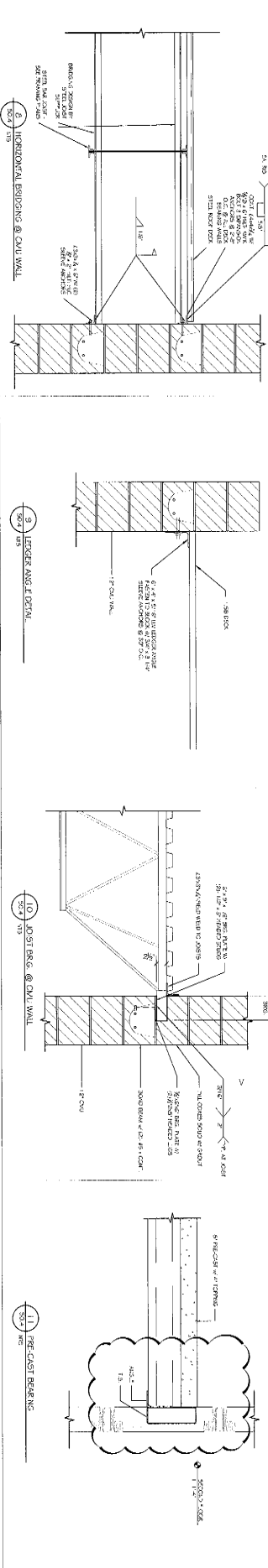
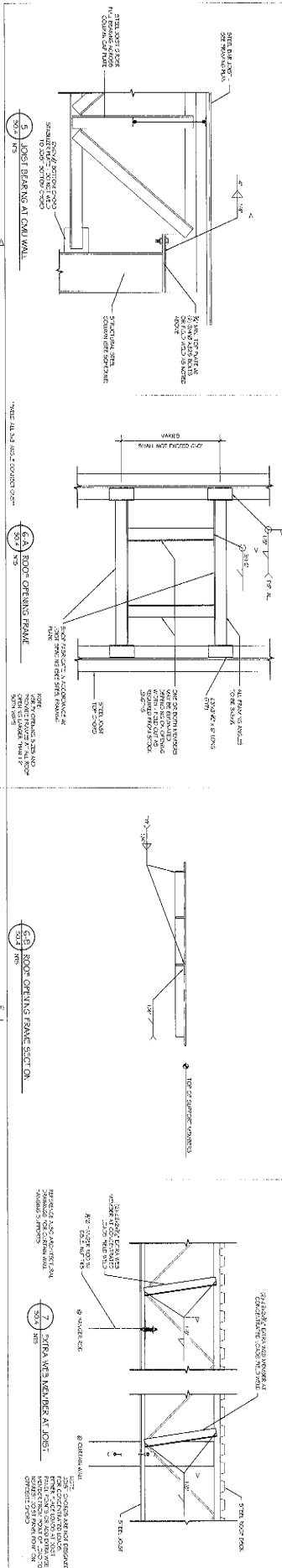
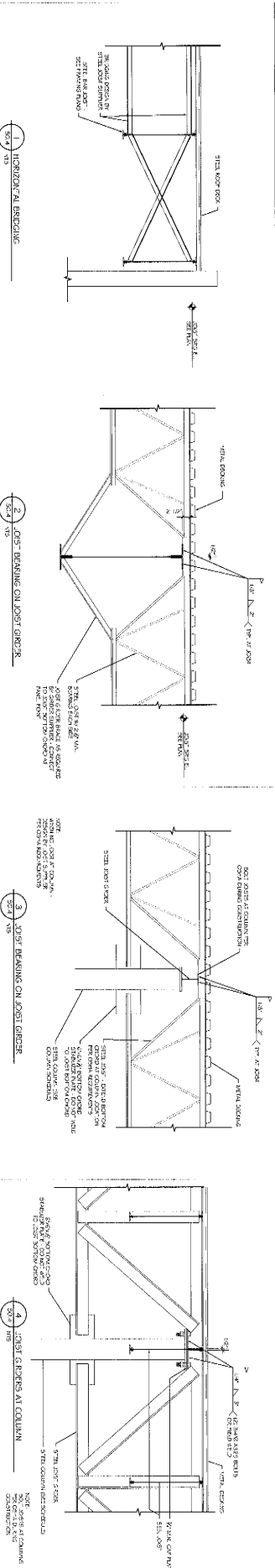
PROPOSED BUILDING FOR:
WASH WORLD
DE PERE, WISCONSIN; COUNTY OF: BROWN

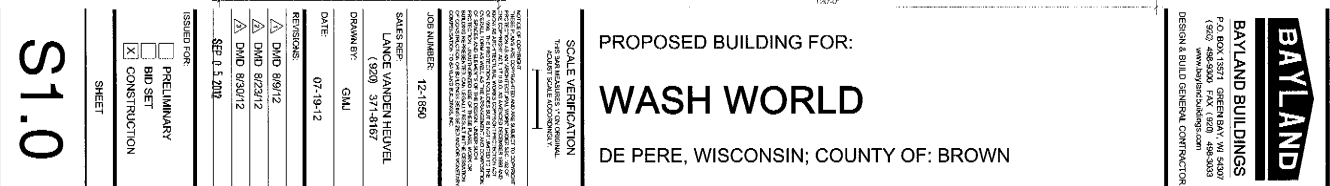
SCALE VERIFICATION
WASH WORLD BUILDING

DATE: SEP 5 2007
DRAWN BY: AME
SALES REP: LANCE VANDENHEUVEL
(920) 371-8187
JOB NUMBER: 11-1850

ISSUED FOR:
☐ PRELIMINARY
☐ BID SET
☒ CONSTRUCTION
SHEET

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PROPOSED BUILDING FOR:
WASH WORLD
DE PERE, WISCONSIN; COUNTY OF: BROWN

SCALE VERIFICATION
1" = 10'-0"
1/8" = 1'-0"
1/16" = 1'-0"

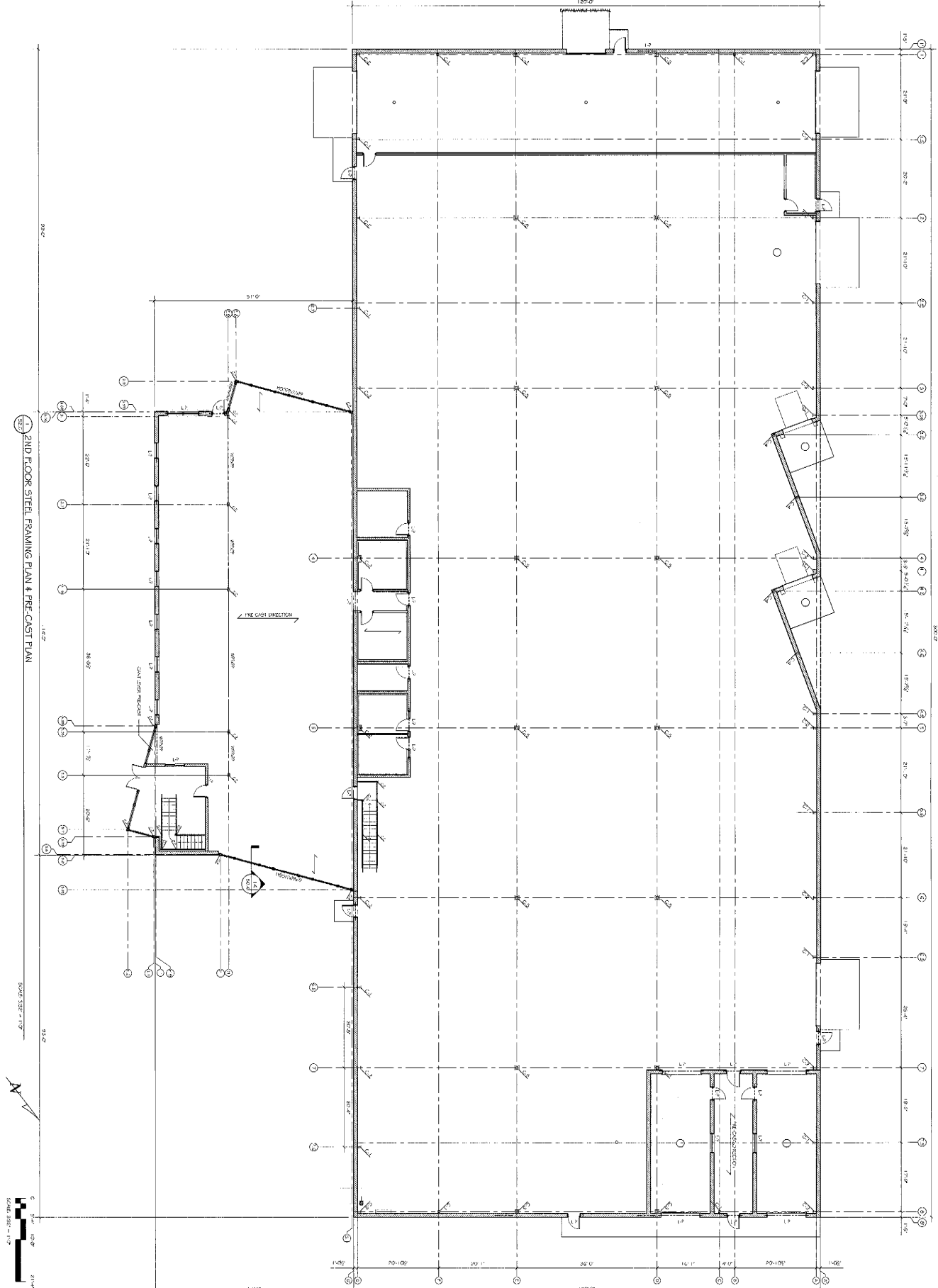
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2. DIMENSIONS TO FACE OF WALLS AND PARTITIONS ARE TO BE VERIFIED BY THE CONTRACTOR.
3. DIMENSIONS TO FACE OF ROOFING ARE TO BE VERIFIED BY THE CONTRACTOR.
4. DIMENSIONS TO FACE OF FLOORING ARE TO BE VERIFIED BY THE CONTRACTOR.
5. DIMENSIONS TO FACE OF CEILING ARE TO BE VERIFIED BY THE CONTRACTOR.
6. DIMENSIONS TO FACE OF DOORS AND WINDOWS ARE TO BE VERIFIED BY THE CONTRACTOR.
7. DIMENSIONS TO FACE OF STAIRS ARE TO BE VERIFIED BY THE CONTRACTOR.
8. DIMENSIONS TO FACE OF ELEVATORS ARE TO BE VERIFIED BY THE CONTRACTOR.
9. DIMENSIONS TO FACE OF MECHANICAL EQUIPMENT ARE TO BE VERIFIED BY THE CONTRACTOR.
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11. DIMENSIONS TO FACE OF PIPING ARE TO BE VERIFIED BY THE CONTRACTOR.
12. DIMENSIONS TO FACE OF VENTILATION ARE TO BE VERIFIED BY THE CONTRACTOR.
13. DIMENSIONS TO FACE OF EXTERIOR FINISHES ARE TO BE VERIFIED BY THE CONTRACTOR.
14. DIMENSIONS TO FACE OF INTERIOR FINISHES ARE TO BE VERIFIED BY THE CONTRACTOR.
15. DIMENSIONS TO FACE OF PAINT ARE TO BE VERIFIED BY THE CONTRACTOR.
16. DIMENSIONS TO FACE OF GLASS ARE TO BE VERIFIED BY THE CONTRACTOR.
17. DIMENSIONS TO FACE OF METAL ARE TO BE VERIFIED BY THE CONTRACTOR.
18. DIMENSIONS TO FACE OF WOOD ARE TO BE VERIFIED BY THE CONTRACTOR.
19. DIMENSIONS TO FACE OF CONCRETE ARE TO BE VERIFIED BY THE CONTRACTOR.
20. DIMENSIONS TO FACE OF BRICK ARE TO BE VERIFIED BY THE CONTRACTOR.
21. DIMENSIONS TO FACE OF STONE ARE TO BE VERIFIED BY THE CONTRACTOR.
22. DIMENSIONS TO FACE OF TERRAZZO ARE TO BE VERIFIED BY THE CONTRACTOR.
23. DIMENSIONS TO FACE OF MARBLE ARE TO BE VERIFIED BY THE CONTRACTOR.
24. DIMENSIONS TO FACE OF GRANITE ARE TO BE VERIFIED BY THE CONTRACTOR.
25. DIMENSIONS TO FACE OF SLATE ARE TO BE VERIFIED BY THE CONTRACTOR.
26. DIMENSIONS TO FACE OF SCHIST ARE TO BE VERIFIED BY THE CONTRACTOR.
27. DIMENSIONS TO FACE OF GNEISS ARE TO BE VERIFIED BY THE CONTRACTOR.
28. DIMENSIONS TO FACE OF QUARTZITE ARE TO BE VERIFIED BY THE CONTRACTOR.
29. DIMENSIONS TO FACE OF METAMORPHIC ROCKS ARE TO BE VERIFIED BY THE CONTRACTOR.
30. DIMENSIONS TO FACE OF Igneous Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
31. DIMENSIONS TO FACE OF Sedimentary Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
32. DIMENSIONS TO FACE OF Metasedimentary Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
33. DIMENSIONS TO FACE OF Metavolcanic Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
34. DIMENSIONS TO FACE OF Volcanic Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
35. DIMENSIONS TO FACE OF Plutonic Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
36. DIMENSIONS TO FACE OF Metaplutonic Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
37. DIMENSIONS TO FACE OF Metamorphic Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
38. DIMENSIONS TO FACE OF Igneous Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
39. DIMENSIONS TO FACE OF Sedimentary Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
40. DIMENSIONS TO FACE OF Metasedimentary Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
41. DIMENSIONS TO FACE OF Metavolcanic Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
42. DIMENSIONS TO FACE OF Volcanic Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
43. DIMENSIONS TO FACE OF Plutonic Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
44. DIMENSIONS TO FACE OF Metaplutonic Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.
45. DIMENSIONS TO FACE OF Metamorphic Rocks ARE TO BE VERIFIED BY THE CONTRACTOR.

JOB NUMBER: 12-1850
SALES REP: LANCE VANDEN HEUVEL
(920) 371-3167
DRAWN BY: GJH
DATE: 07-19-12

REVISIONS:
DND 8/9/12
DND 8/30/12
SPR 9-1-2012

ISSUED FOR:
PRELIMINARY
BID SET
CONSTRUCTION
SHEET

S2.0



2ND FLOOR STEEL FRAMING PLAN & PRE-CAST PLAN

PROPOSED BUILDING FOR:
WASH WORLD
DE PERE, WISCONSIN; COUNTY OF: BROWN

SCALE VERIFICATION
THESE SCALE REQUIREMENTS
SHALL BE FOLLOWED:

NOTE: ALL DIMENSIONS SHALL BE IN FEET AND INCHES. DIMENSIONS SHALL BE GIVEN TO THE NEAREST 1/8" OR 1/16" AS APPLICABLE. DIMENSIONS SHALL BE GIVEN TO THE NEAREST 1/8" OR 1/16" AS APPLICABLE. DIMENSIONS SHALL BE GIVEN TO THE NEAREST 1/8" OR 1/16" AS APPLICABLE.

JOB NUMBER: 12-1850

SALES REP:
LANCE VANDEN HEUVEL
(920) 371-6167

DRAWN BY: GML

DATE: 07-20-12

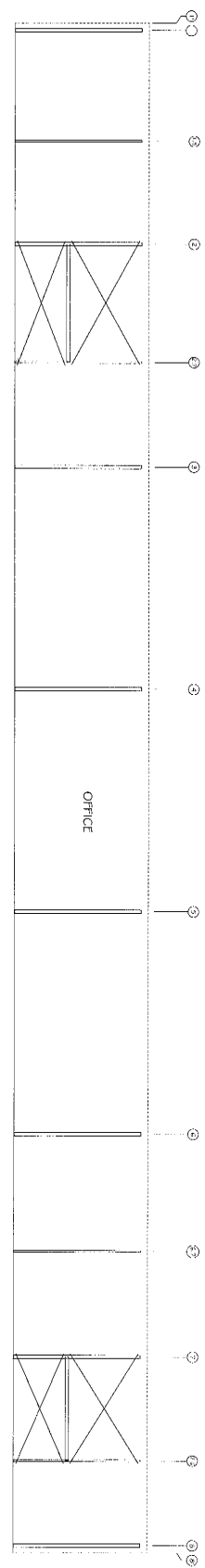
REVISIONS:
SEP 8 5 2012

ISSUED FOR:

☐ PRELIMINARY
☒ BID SET
☐ CONSTRUCTION

SHEET

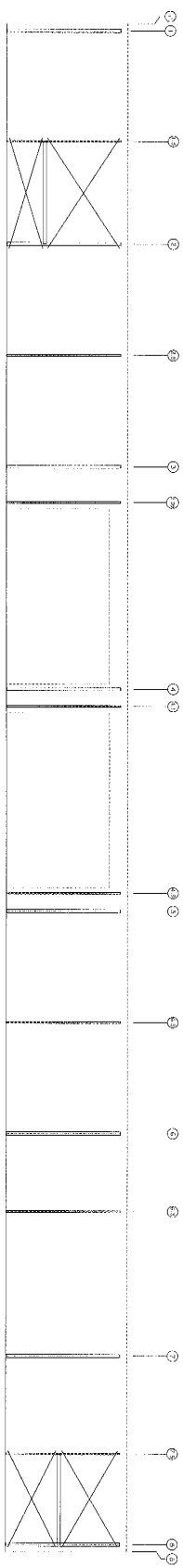
S2.2



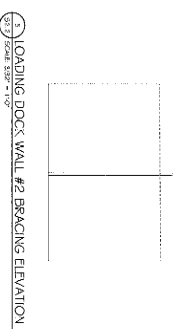
1 EAST SHOP WALL BRACING ELEVATION
SCALE: 3/8" = 1'-0"



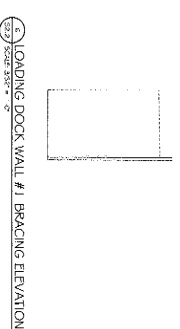
2 NORTH SHOP WALL BRACING ELEVATION
SCALE: 3/8" = 1'-0"



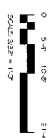
3 WEST SHOP WALL BRACING ELEVATION
SCALE: 3/8" = 1'-0"



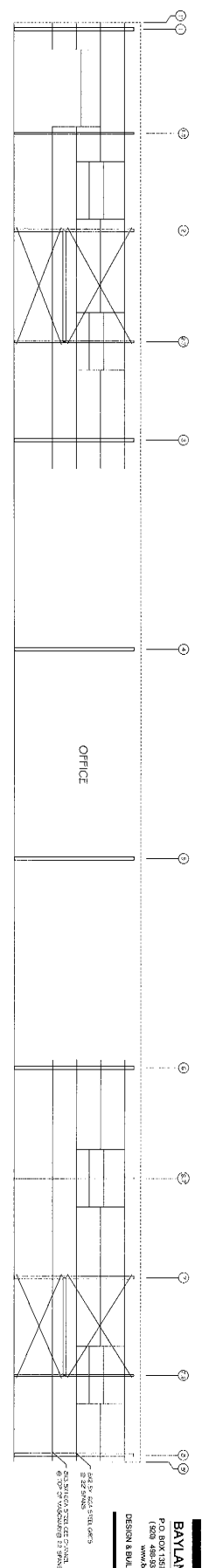
4 LOADING DOCK WALL #2 BRACING ELEVATION
SCALE: 3/8" = 1'-0"



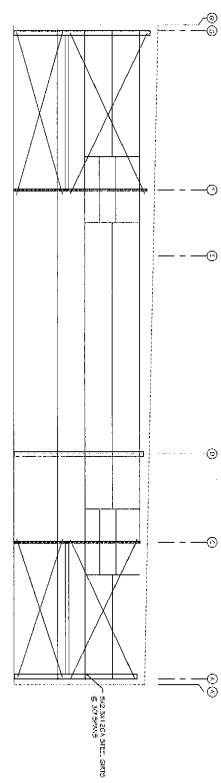
5 LOADING DOCK WALL #1 BRACING ELEVATION
SCALE: 3/8" = 1'-0"



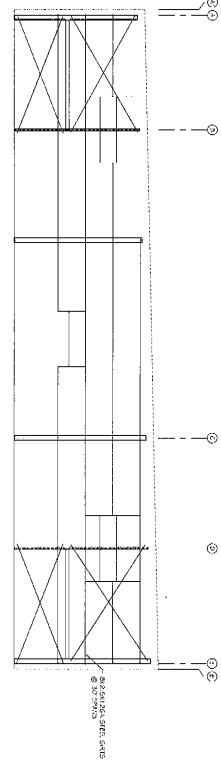
APPROVED
OWNER SIGNATURE: _____ DATE: _____
SEAL & EXPIRATION DATE: _____



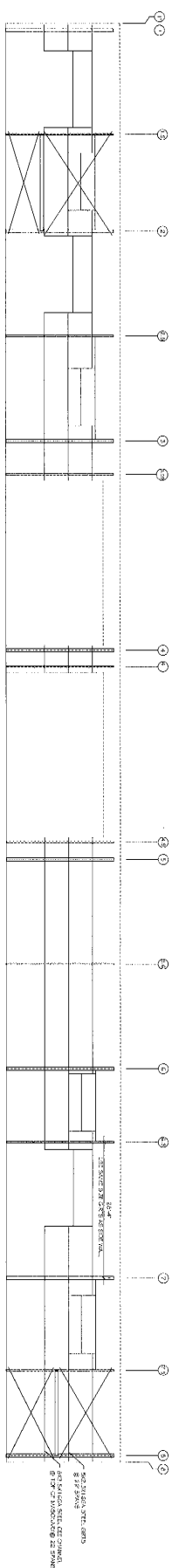
2.1 EAST SHOP WALL FRAMING ELEVATION
Scale: 3/8" = 1'-0"



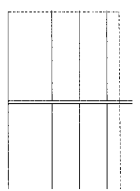
2.2 NORTH SHOP WALL FRAMING ELEVATION
Scale: 3/8" = 1'-0"



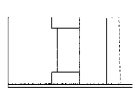
2.3 SOUTH SHOP WALL FRAMING ELEVATION
Scale: 3/8" = 1'-0"



2.4 WEST SHOP WALL FRAMING ELEVATION
Scale: 3/8" = 1'-0"



2.5 LOADING DOCK WALL #2 FRAMING ELEVATION
Scale: 3/8" = 1'-0"



2.6 LOADING DOCK WALL #1 FRAMING ELEVATION
Scale: 3/8" = 1'-0"

APPROVED

OWNER: WASH WORLD
DATE: 07/15/12
DRAWN BY: GML



- PLAN NOTES**
- 1. ALL STRUCTURAL STEEL SHALL BE AISC 360, 50 ksi, 14.7 ksi, 14.7 ksi.
 - 2. ALL STRUCTURAL STEEL SHALL BE AISC 360, 50 ksi, 14.7 ksi, 14.7 ksi.
 - 3. ALL STRUCTURAL STEEL SHALL BE AISC 360, 50 ksi, 14.7 ksi, 14.7 ksi.

PROPOSED BUILDING FOR:
WASH WORLD
DE PERE, WISCONSIN; COUNTY OF: BROWN

SCALE VERIFICATION
1" = 1'-0"

JOBS NUMBER: 12-1850
SALES REP: LANCE VANDEN HEUVEL
(920) 371-8167
DRAWN BY: GML
DATE: 07/15/12
REVISIONS:
1. DMD 06/12
2. 07/15/12

ISSUED FOR:
☐ PRELIMINARY
☒ BID SET
☐ CONSTRUCTION
SHEET
S2.3

Item #2: Review the CSM request for single lot by 500 Main Avenue. Surveyor: Mike Soleski.*

Mike Soleski has submitted a one (1) lot CSM request. The single lot is .5 acres (21,898 square feet). The CSM combines parcels WD-389-2-1, WD-389-2 plus the area that was vacated by the City on 5th Street.

Recommendation:

Staff would recommend approval of the CSM, and that the CSM be forwarded to the Common Council for approval.



CITY OF DE PERE

APPLICATION FOR CSM REVIEW

Fee: \$ 300.00

Receipt #: 76310

Date: 9-24-2012

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: Jerry Van Dyn Hoven
Mailing Address: PO BOX 526 Fremont, WI 54940
Phone: _____ Fax #: _____
Email: _____

I hereby appoint the following as my agent for purposes of this application:

Agent: Name: na
Mailing Address: _____
Phone: _____ Fax #: _____
Email: _____

B. Property Information

Address/Location of Property: 500 Main Ave

Parcel #: WD-389-2-1

NOTE: Please submit 1 hard copy and 1 PDF copy of the CSM if the property is located within the City or if the property is located within the extraterritorial jurisdiction.

A CSM Review is requested as authorized by the De Pere Municipal Code, Chapter 46.

Jerry Van Dyn Hoven
Owner Signature

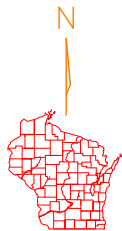
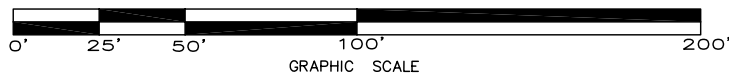
9-24-2012
Date

Agent Signature

Date

CERTIFIED SURVEY MAP

PART OF LOTS 2-10 OF BLOCK 8, PART OF LOTS 1-3 OF BLOCK 10, AND PART OF THE VACATED WESTERLY RIGHT OF WAY OF FIFTH AVENUE DOCUMENT 2585146, ALL ACCORDING TO THE RECORDED PLAT OF ADDITIONS TO THE VILLAGE OF WEST DE PERE BY THE DE PERE AND NEW YORK IRON COMPANY, LOCATED IN THE CITY OF DE PERE, WEST SIDE OF FOX RIVER, BROWN COUNTY, WISCONSIN, MORE FULLY DESCRIBED ON SHEET TWO.



SCALE 1" = 50'

BEARINGS REFERENCED TO THE NORTH LINE
OF MAIN AVENUE, ASSUMED
BEARING N82°28'24"W

LEGEND

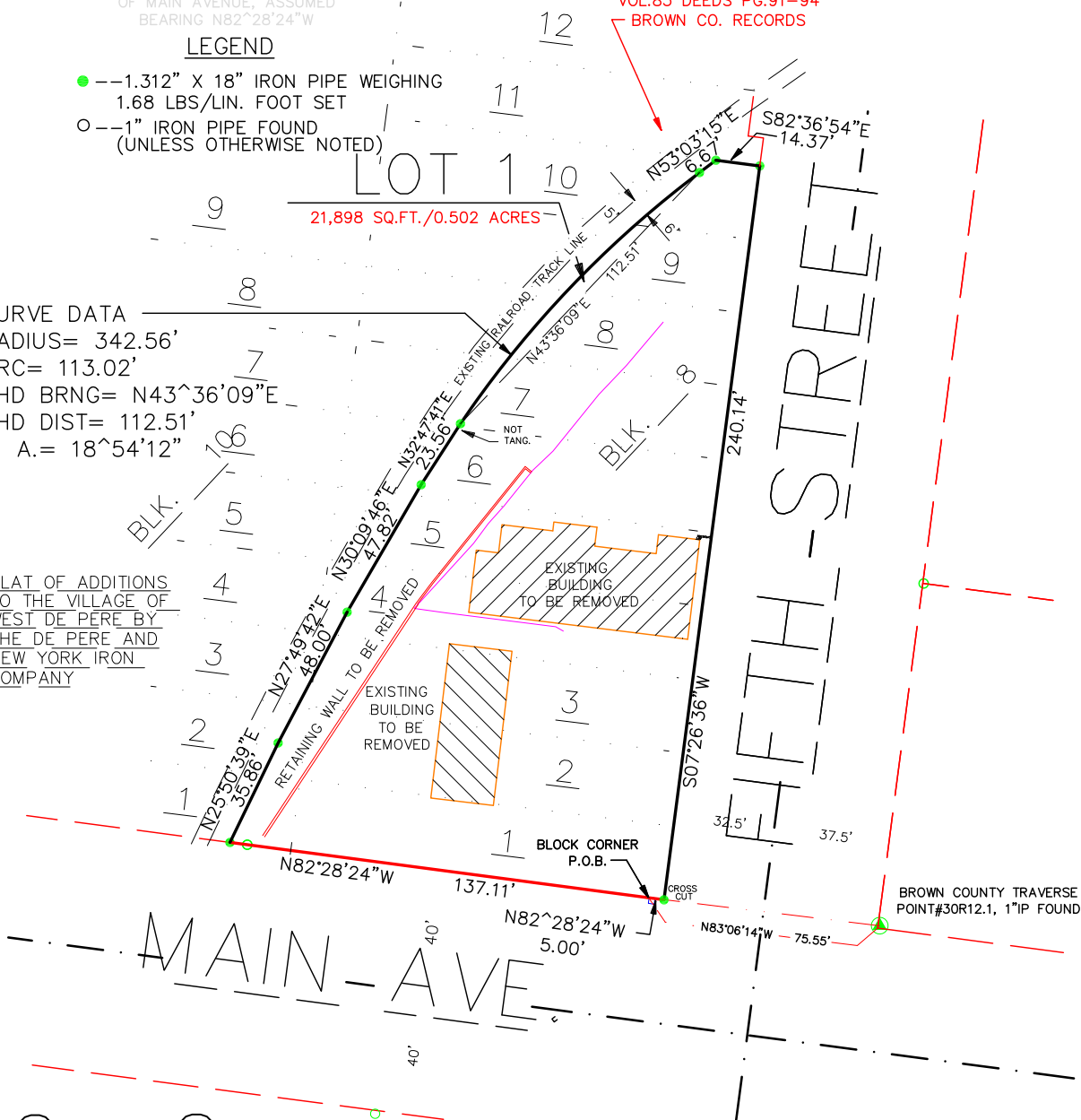
- --1.312" X 18" IRON PIPE WEIGHING
1.68 LBS/LIN. FOOT SET
- --1" IRON PIPE FOUND
(UNLESS OTHERWISE NOTED)

PLAT OF ADDITIONS
TO THE VILLAGE OF
WEST DE PERE BY
THE DE PERE AND
NEW YORK IRON
COMPANY

RAILROAD EASEMENT
VOL. 85 DEEDS PG. 91-94
BROWN CO. RECORDS

CURVE DATA
RADIUS= 342.56'
ARC= 113.02'
CHD BRNG= N43°36'09"E
CHD DIST= 112.51'
C. A.= 18°54'12"

PLAT OF ADDITIONS
TO THE VILLAGE OF
WEST DE PERE BY
THE DE PERE AND
NEW YORK IRON
COMPANY



Soletski Surveying, LLC

Cadd Drawings, Contract Services & Land Planning
1631 Brookfield Ave., Suite A-1
Green Bay, WI 54313
(920)965-0040 Fax (920)965-0041

CERTIFIED SURVEY MAP

SURVEYOR'S CERTIFICATE:

I, MICHAEL M. SOLETSKI, REGISTERED LAND SURVEYOR, DO HEREBY CERTIFY THAT I HAVE SURVEYED AND MAPPED PART OF LOTS 2-10 OF BLOCK 8, PART OF LOTS 1-3 OF BLOCK 10, AND PART OF THE VACATED WESTERLY RIGHT OF WAY OF FIFTH AVENUE DOCUMENT 2585146, ALL ACCORDING TO THE RECORDED PLAT OF ADDITIONS TO THE VILLAGE OF WEST DE PERE BY THE DE PERE AND NEW YORK IRON COMPANY, LOCATED IN THE CITY OF DE PERE, WEST SIDE OF FOX RIVER, BROWN COUNTY, WISCONSIN, MORE FULLY DESCRIBED BELOW. THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE DIVISION THEREOF. THAT I HAVE MADE SUCH A SURVEY, LAND DIVISION AND PLAT BY THE DIRECTION OF THE OWNER LISTED HEREON. THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236, SECTION 236.34 OF THE WISCONSIN STATUTES, THE CITY OF DE PERE IN SURVEYING AND MAPPING THE SAME.

DESCRIPTION: PART OF LOTS 2-10 OF BLOCK 8, PART OF LOTS 1-3 OF BLOCK 10, AND PART OF THE VACATED WESTERLY RIGHT OF WAY OF FIFTH AVENUE DOCUMENT 2585146, ALL ACCORDING TO THE RECORDED PLAT OF ADDITIONS TO THE VILLAGE OF WEST DE PERE BY THE DE PERE AND NEW YORK IRON COMPANY, LOCATED IN THE CITY OF DE PERE, WEST SIDE OF FOX RIVER, BROWN COUNTY, WISCONSIN, MORE FULLY DESCRIBED AS.

BEGINNING AT THE SOUTHEAST CORNER OF BLOCK 8 OF THE RECORDED PLAT OF ADDITIONS TO THE VILLAGE OF WEST DE PERE BY THE DE PERE AND NEW YORK IRON COMPANY; THENCE N82°28'24"W, 137.11 FEET ALONG THE NORTHERLY RIGHT OF WAY OF MAIN AVENUE; THENCE THENCE N25°50'39"E, 35.86 FEET; THENCE N27°49'42"E, 48.00 FEET; THENCE N30°09'46"E, 47.82 FEET; THENCE N32°47'41"E, 23.56 FEET; THENCE 113.02 FEET ALONG THE ARC OF 342.56 FOOT RADIUS CURVE TO THE RIGHT, WHOSE LONG CHORD BEARS N43°36'09"E, 112.51 FEET; THENCE N53°03'15"E, 6.67 FEET; THENCE S82°36'54"E, 14.37 FEET ALONG THE NORTH LINE OF LOT 10, SAID BLOCK 8 TO THE WESTERLY RIGHT OF WAY OF FIFTH STREET; THENCE S07°26'36"W, 240.14 FEET ALONG THE WESTERLY RIGHT OF WAY OF FIFTH STREET TO THE NORTHERLY RIGHT OF WAY LINE OF MAIN AVENUE; THENCE N82°28'24"W, 5.00 FEET ALONG THE NORTHERLY RIGHT OF WAY TO THE POINT OF BEGINNING.

SAID LOT-1 CONTAINS 21,898 SQ.FT./0.502 ACRES MORE OR LESS.

MICHAEL M. SOLETSKI S-1774
DATE: _____

OWNER'S CERTIFICATE

AS OWNER, GERALD G. VAN DYN HOVEN, HEREBY CERTIFIES THAT HE HAS CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED AND MAPPED AS REPRESENTED ON THIS CERTIFIED SURVEY MAP. HE ALSO CERTIFIES THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S 236.10 OR S 236.12 TO BE SUBMITTED TO THE CITY OF DE PERE FOR APPROVAL OR OBJECTION.

GERALD G. VAN DYN HOVEN
OWNER

STATE OF WISCONSIN }
COUNTY OF _____ } SS

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 2012, THE ABOVE NAMED MEMBERS, TO ME KNOWN TO BE THE PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

NOTARY PUBLIC
BROWN COUNTY, WISCONSIN

MY COMMISSION EXPIRES _____

CERTIFIED SURVEY MAP

CONSENT OF CORPORATE MORTGAGEE

A CORPORATION DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, MORTGAGEE OF THE ABOVE DESCRIBED LAND, DOES HEREBY CONSENT TO THE SURVEYING, DIVIDING, MAPPING, AND DEDICATION OF THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP, AND DOES HEREBY CONSENT TO THE ABOVE CERTIFICATE OF GERALD G. VAN DYN HOVEN, OWNER. IN WITNESS WHEREOF, THE SAID _____ HAS CAUSED THESE PRESENTS TO BE SIGNED BY

_____, IT'S _____ AND BY
_____, IT'S _____, AT _____, WISCONSIN,
AND IT'S CORPORATE SEAL TO BE HEREUNTO AFFIXED THIS _____ DAY _____, 20____.

STATE OF WISCONSIN }
COUNTY OF _____ } SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 20____, THE ABOVE NAMED OWNER, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED THE SAME

NOTARY PUBLIC, _____ MY COMMISSION EXPIRES _____
COUNTY, WISCONSIN

CERTIFICATE OF THE CITY OF DE PERE

APPROVED FOR THE CITY OF DE PERE THIS _____ DAY OF _____, 2012

KEN PABICH
DIRECTOR OF PLANNING

TREASURER'S CERTIFICATE

WE, DAVID G. MINTEN AND KERRY M. BLANEY, BEING DULY ELECTED AND ACTING TREASURERS OF THE CITY OF DE PERE AND BROWN COUNTY, WISCONSIN, RESPECTIVELY, DO HEREBY CERTIFY THAT ACCORDING TO THE RECORDS IN OUR OFFICES, THERE ARE NO UNPAID TAXES, NO UNREDEEMED TAX SALES AND NO UNPAID SPECIAL ASSESSMENTS AFFECTING ANY OF THE LANDS INCLUDED IN "ATRIUM ESTATES," AS OF THE DATES BELOW.

DAVID G. MINTEN,
CITY OF DE PERE – TREASURER

DATED THIS _____ DAY OF _____, 20____

KERRY M. BLANEY,
BROWN COUNTY – TREASURER

DATED THIS _____ DAY OF _____, 20____

RESTRICTIVE COVENANTS

1. THE LAND ON ALL SIDE AND REAR LOT LINES OF ALL LOTS SHALL BE GRADED BY THE OWNER AND MAINTAINED BY THE ABUTTING PROPERTY OWNERS TO PROVIDE FOR ADEQUATE DRAINAGE OF SURFACE WATER.
2. EACH LOT OWNER SHALL GRADE THE PROPERTY ABUTTING A STREET TO CONFORM TO THE ADOPTED SIDEWALK GRADE ELEVATION AND MAINTAIN SAID ELEVATION FOR FUTURE SIDEWALKS.
3. NO POLES, PEDESTALS OR BURIED CABLE ARE TO BE PLACED AS TO DISTURB ANY SURVEY STAKE OR OBSTRUCT VISION ALONG ANY LOT LINE. A DISTURBANCE OF A SURVEY STAKE BY ANYONE IS A VIOLATION OF SECTION 236.32 OF THE WISCONSIN STATUTES.