



Plan Commission

Special Meeting

335 South Broadway
De Pere, WI 54115
<http://www.de-pere.org>

Agenda

Tuesday, November 1, 2016

5:30 PM

De Pere City Hall Council Chambers

Pursuant to Wisconsin Statutes 19.84, Notice is hereby given to the public that a meeting of the **Plan Commission** of the City of De Pere will be held on **November 1, 2016** at **5:30 PM** in the **De Pere City Hall Council Chambers, 335 S. Broadway Street, De Pere, WI 54115.**

This meeting can be viewed LIVE at www.depere.tv. This meeting is also rebroadcast on TW Cable Channel 4 and AT&T U-verse Channel 99 throughout the week and available on demand at www.depere.tv.

Call to Order

1. Roll Call
2. Approval of the minutes of the September 26, 2016 Plan Commission Meeting.
3. Preliminary review for River Watch, a multi-story, mixed-use redevelopment located at 132 S. Broadway (Parcel ED-790). Submitted by River Watch Development LLC. No action requested.
4. Recommendation regarding a rezoning request from R-2 to B-3 at 726 Main Avenue (Parcel WD-445). Submitted by Kwik Trip INC.*
5. Recommendation regarding a site plan for a parking lot expansion at 1745 E. Matthew Drive (Parcel WD-D0048-2). Submitted by R.E. Lee & Associates INC.
6. Recommendation regarding a street name change for the suffix of Innovation Court to change to Innovation Drive, located south from Southbridge Road. Submitted by City of De Pere.*

Adjournment

Any person wishing to attend this meeting who, because of disability, requires special accommodations should contact the City Planner's office at 339-4043 by Noon on the day of the meeting so that arrangements can be made.

Agenda Sent To:

Alderpersons
City Administrator
Mayor
Department Heads
TV, Newspapers & Radio Stations
Kress Family Library
De Pere Chamber of Commerce
Kontext Architects
Kelly Thompson
Tim Karl
River Watch Development LLC
Rich Susens
Kwik Trip Inc.
Bjorn Berg
Robert E. Lee & Associates

Jared Schmidt
Burkard Development LLC
Marianne Monson

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: November 1, 2016

DEPARTMENT: Planning

FROM: Kelly Barker

SUBJECT: Approval of the minutes of the September 26, 2016 Plan Commission Meeting.

ATTACHMENTS:

- PC_Sept2016_Minutes_Draft (PDF)



Plan Commission

Regular Meeting

335 South Broadway
De Pere, WI 54115
<http://www.de-pere.org>

Draft Minutes

Monday, September 26, 2016

7:00 PM

De Pere City Hall Council Chambers

Call to Order

The meeting was called to order at 7:00 PM by Mayor Michael J. Walsh

Attendee Name	Title	Status	Arrived
Michael J. Walsh	Mayor	Present	
James Boyd	Aldersperson	Present	
Larry Lueck	Aldersperson	Excused	
Derek Beiderwieden	Commissioner	Present	
Jim Kalny	Commissioner	Present	
Amy Kundingner	Commissioner	Present	
Steve Taylor	Commissioner	Present	

Also present: Planning Director Kim Flom and members of the public.

- Approval of the minutes of the August 22, 2016 Plan Commission meeting.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Boyd, Aldersperson
SECONDER:	Steve Taylor, Commissioner
AYES:	Walsh, Boyd, Beiderwieden, Kalny, Kundingner, Taylor
EXCUSED:	Larry Lueck

- Land Use Review requested for 1645 Fort Howard Avenue (B-2 General Business District). Applicant: Blue Car Technology, LLC.

Planning Director Kim Flom explained the land use interpretation request submitted by Blue Dolphin Car Care Products. Because the land does not clearly fall within any of the permitted or conditional land uses listed by the Zoning Code for a B-2 General Business District, the applicant made the request for a land use interpretation. Kim reported that many aspects of the land use align with permitted uses in both the B1 and B2 business districts. Blue Dolphin Car Wash Technology primarily offers business to business supplies, service, and installation of car washes. She reported that the land use aligns with parts of the following land uses, which are all permitted: business machine sales & service, offices, business & professional, and motor vehicle sales & service. She stated that she reviewed this request with Dave Hongisto, the building inspector and he agreed with this interpretation. Kim recommended that the Plan Commission interpret car wash service businesses, as described by Blue Dolphin Car Wash Technology, as similar and compatible uses in the B-2 General Business District. Derek Beiderwieden motioned, seconded by Jim Kalny, to approve the land use interpretation. Upon vote, motion carried unanimously.

Attachment: PC_Sep2016_Minutes_Draft (5231 : Minutes)

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Derek Beiderwieden, Commissioner
SECONDER:	Jim Kalny, Commissioner
AYES:	Walsh, Boyd, Beiderwieden, Kalny, Kunding, Taylor
EXCUSED:	Larry Lueck

4. Review and Recommendation for a Site Plan request at 335 Marsh Street in De Pere for a St. Norbert College new parking lot (Parcels WD-220, WD-220-1, WD-221, WD-841, WD-844, WD-845, WD-846, and WD-846-1). Applicant: Mau & Associates LLP

Planning Director Kim Flom reviewed the site plan request for a new St. Norbert parking lot at 335 Marsh Street. The lot consists of 148 parking spaces which would help with overall parking at the college and also to alleviate some of the parking that was lost due to the addition of the Schuldes Sports Center. Kim stated that there are some outstanding stormwater issues staff is still working on but the applicant has a strong desire to complete the parking lot yet this year and from a code perspective and a planning perspective, there are no issues. She included a recommendation of a few items that the petitioner may want to consider, primarily landscape islands. She stated that they are not required in an R-2 district but are best practice; they add shade and break up the large expanse of concrete, Also recommended are walkways to connect the parking lots to parts of the campus. In the future, they may also want to consider combining lot lines. Amy Kunding asked how many properties in this area are rental. Kim replied that the college owns all surrounding properties except for one and they are all student housing. Amy then asked if the parking lot will be lit and Kim replied yes. Jim Kalny asked if there were any shielding requirements to shield the lights away from the residential area. Kim replied that there is no such requirement in this part of the code for a B-2 district since parking lots are usually not included in a B-2 district. Mayor Walsh mentioned that there are proposed landscape islands in the site plan for the College Avenue parking lot and questioned why this site plan did not include any landscape islands. Mayor Walsh motioned, seconded by Jim Kalny, to open the meeting to the public. Upon vote, motion carried unanimously. Patrick Wrenn, the facilities director for St. Norbert College, addressed the board. He stated that the reason why there are islands in the College Avenue lot is to continue the design since there are already islands in the existing lot. The reason why there are no islands in this lot is to maximize the amount of parking spaces and also as a cost savings measure. Mayor Walsh stated that landscape islands break up the concrete expanse and improve the appearance of parking lots, especially in bigger lots. Pat stated that he is still working through the details of the site plan due to timing and trying to get the parking lot completed before winter. Mayor Walsh stated that he would like to see trees and landscaping included in this parking lot. Pat explained that eight existing trees will be preserved to provide some landscaping. James Boyd agreed with Mayor Walsh and asked if it would be possible to approve the site plan with the condition that islands be added. He also questioned the lack of any handicap stalls. Pat stated that the lack of handicap stalls was a design oversight and they will be added to the northeast corner of the parking lot. Steve Taylor asked how many parking spaces would be given up if an island is added. The answer is that two parking stalls would be lost per island. Mayor Walsh moved, seconded by Jim Kalny, to go back to regular order. Upon vote, motion carried unanimously. Mayor Walsh motioned, seconded by James Boyd, to approve the site plan contingent on both parties working together to come up with a solution to include the landscape islands.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Michael J. Walsh, Mayor
SECONDER:	James Boyd, Alderperson
AYES:	Walsh, Boyd, Beiderwieden, Kalny, Kunding, Taylor
EXCUSED:	Larry Lueck

5. Review and Recommendation for a Site Plan request at 324 College Avenue in De Pere for a St. Norbert College parking lot addition (Parcel WD-672). Applicant: Mau & Associates LLP

Planning Director Kim Flom reported on the site plan request for a parking lot expansion at the existing visitor center located on the St. Norbert campus. This expansion would be for 31 parking spaces. This parking lot already has curb & gutter and an island and the expansion includes the same. Mayor Walsh motioned, seconded by Jim Kalny, to approve the site plan request. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Michael J. Walsh, Mayor
SECONDER:	Jim Kalny, Commissioner
AYES:	Walsh, Boyd, Beiderwieden, Kalny, Kunding, Taylor
EXCUSED:	Larry Lueck

6. Review and recommendation for a Proposed Extraterritorial Two-Lot Certified Survey Map at 3975 Creamery Road in Ledgeview (Parcel ED-F0081-2). Submitted by Richard A. Huxford, PLS.*

Planning Director Kim Flom reviewed the proposed two-lot extraterritorial CSM located at the corner of Creamery Road and Ledgeview Road in the Town of Ledgeview. The applicant is proposing dividing it into two lots. Right now, there is a single family home and a large detached accessory building located on the property. Staff recommended approval of the CSM. Derek Beiderwieden moved, seconded by Steve Taylor, to approve the CSM. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Derek Beiderwieden, Commissioner
SECONDER:	Steve Taylor, Commissioner
AYES:	Walsh, Boyd, Beiderwieden, Kalny, Kunding, Taylor
EXCUSED:	Larry Lueck

7. Review and recommendation for a Proposed Four-Lot Certified Survey Map at 2100 BLK Richco Road in De Pere (Parcels WD-L178-1-1, WD-L179, WD-L179-3, WD-L179-4). Submitted by City of De Pere.*

Planning Director Kim Flom explained that the next three items were all submitted by the City of De Pere and they all relate to infrastructure improvements in the West Industrial Park. The first item relates to a proposed four-lot CSM located at the Richco Road/Red Maple Road area. The property located on the west side is city-owned, while the property on the east side is owned by KC Stock. The City is currently working on building a regional stormwater pond and constructing and improving Richco Road to a curb & gutter street and a cul-de-sac. Kim explained that this is being done to eliminate Richco Road access to Red Maple in preparation of the Southern Bridge. The first part of this project relates to this CSM and creates the lot that the City is going to purchase from KC Stock for the regional pond and also identifies the right-of-way for the cul-de-sac. It

also splits the City land into two lots which is being done to help with DNR VPLE Program to remediate the environmental concerns. She reported that the reason for this is due to the fact that a few pockets of contaminated soil was discovered on lot 3 and this will be moved to lot 4 where there is a larger area of contaminated soil. Then lot 3 will be completely clean and lot 4 will be capped and ready for development. Separating the lots helps with the DNR program because it moves all the contaminated soil to one single site and keeps all the rest as clean to industrial standards. Mayor Walsh moved, seconded by Derek Beiderwieden, to approve the CSM. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Michael J. Walsh, Mayor
SECONDER:	Derek Beiderwieden, Commissioner
AYES:	Walsh, Boyd, Beiderwieden, Kalny, Kunderinger, Taylor
EXCUSED:	Larry Lueck

8. Review and recommendation for a Proposed Right-Of-Way Vacation for a public street at 2100 BLK Richco Road in De Pere (Parcel - None). Submitted by City of De Pere.*

Planning Director Kim Flom reported on the review to vacate the public street at Richco Road. Kim explained that the request to vacate the right-of-way is a rather lengthy process. First, it starts at Plan Commission, then it goes to Common Council twice, followed by a public hearing and then a very lengthy notice period. Kim explained that essentially what will happen is the right-of-way will be split right down the middle and then deeded back to the property owner on either side, so the City of De Pere will get one half and KC Stock will get the other half. Part of the sale agreement with KC Stock includes deeding him some of the right-of-way on the City side, so another CSM may come before Plan Commission at a later date in the future. James Boyd moved, seconded by Jim Kalny, to approve the right-of-way vacation. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Boyd, Alderperson
SECONDER:	Jim Kalny, Commissioner
AYES:	Walsh, Boyd, Beiderwieden, Kalny, Kunderinger, Taylor
EXCUSED:	Larry Lueck

9. Review and recommendation for a Proposed Right-Of-Way Vacation for a former Railroad Spur at 500 BLK Fortune Avenue in De Pere (Parcel WD-D0079-A). Submitted by City of De Pere.*

Planning Director Kim Flom reported on a proposed right-of-way vacation which is located in the West Industrial Park. The City is already constructing the road that connects Fortune to Venture. As this was being done, it was noticed that there is a remnant parcel of land that was set up as right-of-way for the railroad spur, but the railroad spur never came through here. Kim explained that this is unnecessary property and there is no use for it so staff is recommending vacating it and cleaning up the extra piece of land. Jim Kalny asked if the railroad has any claim to that property. Kim stated that it is city owned. Steven Taylor moved, seconded by Jim Kalny to approve the right-of-way vacation. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Steve Taylor, Commissioner
SECONDER:	Jim Kalny, Commissioner
AYES:	Walsh, Boyd, Beiderwieden, Kalny, Kunding, Taylor
EXCUSED:	Larry Lueck

10. Consider Updates to Chapter 28, Stormwater Management Ordinance (Post Construction).*

Planning Director Kim Flom explained that the updates to the Stormwater Management Ordinance was presented by city engineer Eric Rakers and City Attorney Judy Schmidt-Lehman back in August. She stated that everything in the ordinance updates is a requirement of the DNR per state statute and the City is updating their ordinance to mirror the DNR requirements. Kim stated that this item will be discussed at the Common Council meeting October, along with the Erosion Control Ordinance as a package.

Derek Beiderwieden moved, seconded by Jim Kalny, to approve the updates to the Stormwater Management Ordinance. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Derek Beiderwieden, Commissioner
SECONDER:	Jim Kalny, Commissioner
AYES:	Walsh, Boyd, Beiderwieden, Kalny, Kunding, Taylor
EXCUSED:	Larry Lueck

Adjournment

Mayor Walsh motioned, seconded by Jim Kalny, to adjourn the meeting at 7:32 PM. Upon vote, motion carried unanimously.

Respectfully submitted,
Kelly Barker

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: November 1, 2016

DEPARTMENT: Plan Commission

FROM: Kimberly Flom

SUBJECT: Preliminary review for River Watch, a multi-story, mixed-use redevelopment located at 132 S. Broadway (Parcel ED-790).
Submitted by River Watch Development LLC. No action requested.

ATTACHMENTS:

- Report to Plan Commission - Riverwatch (DOCX)
- RiverWatch Development-City Meeting (PDF)
- Application Form (PDF)

- Item 3:** Information and discussion regarding a site plan application for River Watch, a multi-story, mixed-use redevelopment located at 132 S. Broadway (Parcel ED-790). Submitted by River Watch Development LLC.

SITE MAP



- REQUESTED ACTION:** Preliminary review of site plan and building elevations. No approvals requested at this time.
- COMMON DESCRIPTION:** One parcel of land located northeast from the intersection of Main Avenue and 8th Street. The address is 726 Main Avenue.
- PARCEL NUMBERS:** ED-790 and portions of City owned right of way and property (ED-794 and ED-799) to the south and west.
- EXISTING ZONING:** B-1 (Central Business District)
- SURROUNDING LAND USES:**
 North: Retail (The Tile & Stone Gallery)
 South: City right of way and Main Ave bridge
 East: (across Broadway) Retail (Walgreens)
 West: (across Front Street) Fox River and Trail

COMPREHENSIVE PLAN: Commercial

APPLICANT NAME: River Watch Development LLC
Rich Susens
1710 Sunnyside Lane
De Pere, WI 54115

SITE HISTORY: A multi-story masonry building currently occupies the site as Century Lanes. The Downtown Master Plan identified the building as 'moderate to fair condition.' Since the adoption of the plan, a number of building inspections have revealed code compliance issues. Redevelopment of this block of Front Street is a key recommendation of the Downtown Master Plan.



REVIEW:

This project has been submitted for preliminary review and feedback and no formal approval is requested at this time. A full, interdepartmental site plan analysis was not completed, but will be when the applicant submits the required site plan information.

The developer proposes to acquire portions of city property to the south and to the west in order to develop an efficient structure that provides parking underground and to maximize the building frontage near the Fox River. Property acquisition will be considered by the Council as a separate request.

The site layout of the building will result in the loss of approximately 17 spaces in the City Front Street Parking lot. However, the project proposes to add approximately 46 spaces (29 indoor and 17 outdoor) for a net gain of 29 spaces. The site plan also shows that the building is set back from the north property line. This setback is intended to accommodate potential future redevelopment to the north.

The multi-story building includes a two-story façade along Broadway

and a seven-story façade along Front Street. The Broadway elevation includes elements that reflect the historic character of other Downtown De Pere buildings. The Front Street tower elevation reflects a more contemporary design. Building materials include masonry, glass and metal panels. While exact colors can be difficult to determine using renderings and printed drawings, the overall scheme reflects warm tones of browns, tans/creams, bronzes and brownish/red. The renderings indicate two blade signs, including a River Watch sign on the tower and the original (or a depiction of the original) Century sign at Broadway.

The building includes a partially covered pedestrian scale promenade and plaza area that connects Broadway to Front Street and the river. This feature adds significant public benefit to the project by improving pedestrian circulation and providing unique outdoor gathering spaces.

The mixed use building will include a number of different land uses as listed below:

- Basement (Front Street Grade Level): Underground Parking
- First Floor (Broadway Grade Level): Approximately 8,000 s.f.
- Retail/Restaurant and Pedestrian Promenade
- Second Floor: Approximately 8,000 s.f. Office
- Third-Sixth Floors: 19-20 Condominium Units

PROJECT PROCESS:

The applicant has submitted a site plan application, but no approvals are requested at this meeting. A number of different entitlement reviews are required for this project, including, but not limited to:

- Site Plan Review and Approval: Plan Commission
- Conditional Use Permit: Plan Commission & Council
- Developer's Agreement: Finance/Personnel Committee & Council
- Right of Way Vacation: Plan Commission and Council
- City Property Acquisition: Finance/Personnel Committee & Council
- CSM: Plan Commission & Council

STAFF RECOMMENDATION:

This item is being presented as informational only. Feedback is requested as related to the design of the building and site.



RIVER WATCH DEVELOPMENT



River Watch Development

132 S BROADWAY ST.
DE PERE, WI

Attachment: RiverWatch Development-City Meeting (5235 : River Watch Preliminary

Project Summary

- ▶ 7 Level Mixed Use Development
- ▶ Lower Level Parking off **Front Street**
- ▶ 8,140 Sq. Ft. of Ground Level Retail Space off **Broadway**
 - ▶ 1-3 Commercial Spaces
 - ▶ Southern and Western Facing Plaza
 - ▶ Through Site Access
- ▶ 8,022 Sq. Ft. of Second Level Office Space
- ▶ 18-20 Living Unit **Tower**, 4th to 7th Level
 - ▶ 1 Bedroom plus Office
 - ▶ 2 Bedrooms
 - ▶ 2 Bedrooms plus Office
 - ▶ 5 Unit Types
 - ▶ Club House
 - ▶ Roof Top Garden
- ▶ On Site Parking
 - ▶ 29 Spaces in Parking Garage
 - ▶ 17 Surface Spaces

RIVER WATCH DEVELOPMENT

Site location

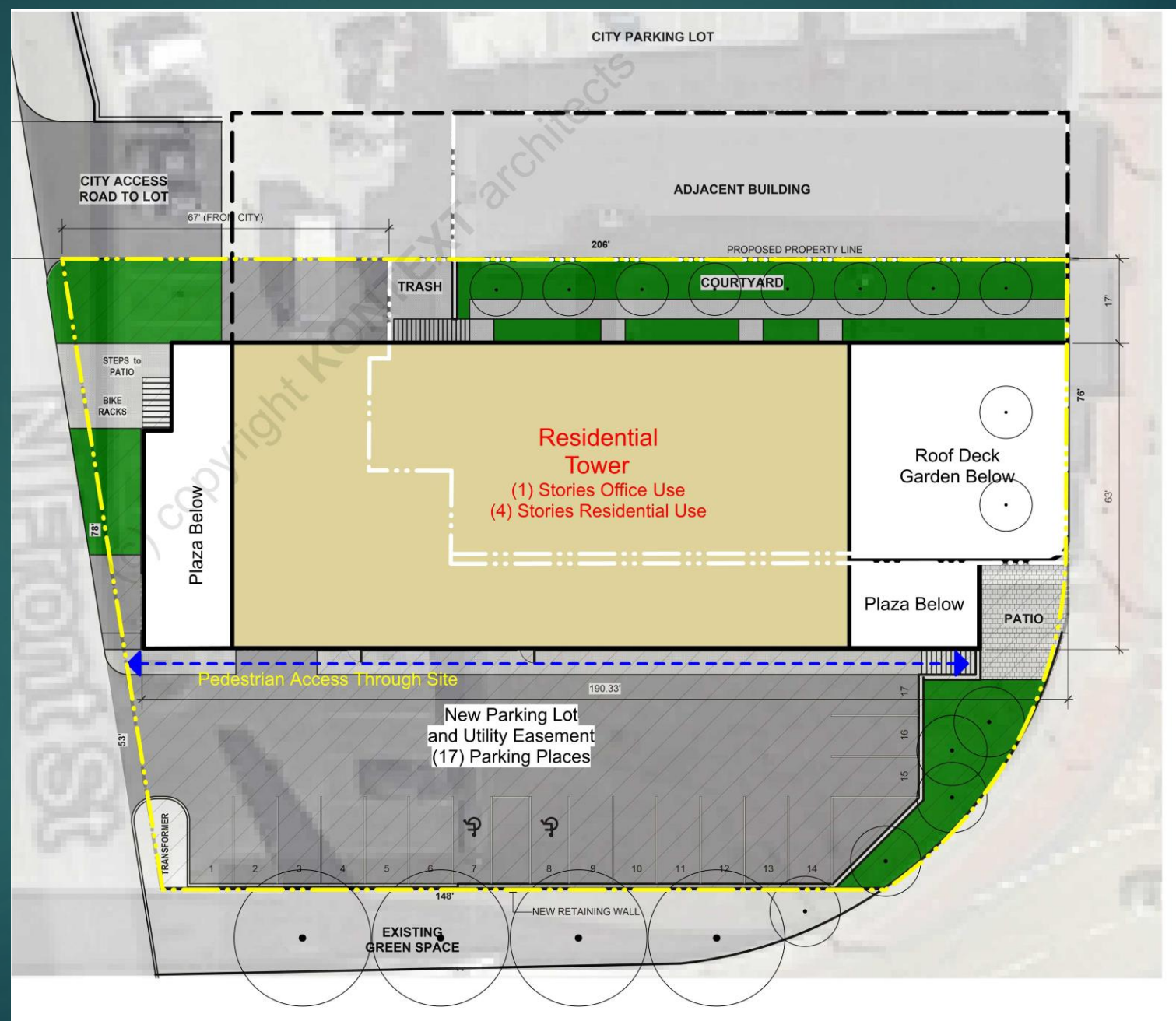


North

RIVER WATCH DEVELOPMENT

Site Plan

LOT AREA
 EXISTING 8,600 SF
 FROM CITY 16,100 SF
 PROPOSED 24,700 SF



RIVER WATCH DEVELOPMENT





RIVER WATCH DEVELOPMENT



Proposed View from across Broadway



RIVER WATCH DEVELOPMENT

Attachment: RiverWatch Development-City Meeting (5235 : River Watch Preliminary



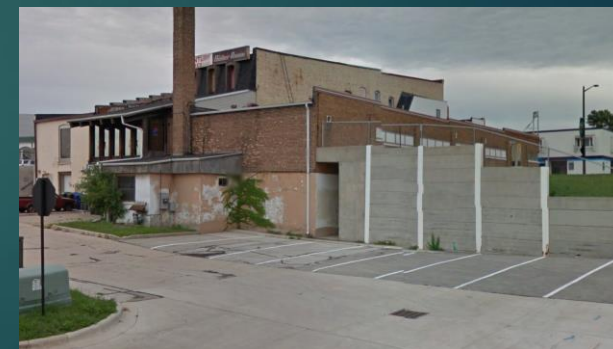
Proposed View from Front Street



RIVER WATCH DEVELOPMENT



Proposed View from Bridge





Proposed South Elevation

		CITY OF DE PERE APPLICATION FOR SITE PLAN REVIEW	Fee: \$ 290.00
			Receipt #: 116473
			Date: 10-10-16

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) River Watch Development LLC	Authorized Representative Rich Susens	Title Managing Director	
Mailing Address 1710 Sunnyside Lane	City De Pere	State WI	ZIP Code 54115
Email Address rich.susens@gmail.com	Phone Number (incl. area code) 920-246-5159	Fax Number (incl. area code)	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) Century Bowling	Contact Person Timoty V. and Lori A. Karl	Title Owner	
Mailing Address 132 SBroadway	City De Pere	State WI	ZIP Code 54115
Email Address teekae2@gmail.com	Phone Number (incl. area code) 920-621-1736	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description 132 SBroadway De Pere, WI 54115	Parcel No. ED-790
--	----------------------

SECTION 4: Project Information

Existing Zoning:	First Business		
Present Use of Parcel:	Bar and Bowling Alley		
Proposed Use of Parcel:	Mixed use, residential and commercial		
Estimated Start Date:	March 30 2017	Estimated Completion Date:	March 30 2018

Please submit 1 hard copy 24x36, 1 hard copy 11x17 and 1 PDF copy of the submittal.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Rich Susens	Title Managing Director	Phone Number 920-246-5159
Signature of Applicant 		Date Signed 10-10-16

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: November 1, 2016

DEPARTMENT: Planning

FROM: Peter Schleinz

SUBJECT: Recommendation regarding a rezoning request from R-2 to B-3 at 726 Main Avenue (Parcel WD-445). Submitted by Kwik Trip INC.*

ATTACHMENTS:

- Report to Plan Commission - Kwik Trip (DOCX)
- Application Form (PDF)
- Zoning Map (PDF)

- Item 4:** Recommendation regarding a rezoning request from R-2 to B-3 at 726 Main Avenue (Parcel WD-445). Submitted by Kwik Trip INC.*

SITE MAP



REQUESTED ACTION: Rezoning Request.

Rezone four parcels from R-2 (Single and Two-family Residence District) to B-3 (Motor Vehicle Dependent Business District) for future business development or expansion.

COMMON DESCRIPTION: One parcel of land located northeast from the intersection of Main Avenue and 8th Street. The address is 726 Main Avenue.

PARCEL NUMBERS: WD-445

EXISTING ZONING:	R-2 (Single and Two-family Residence District)
PROPOSED ZONING:	B-3 (Motor Vehicle Dependent Business District)
SURROUNDING LAND USES:	Motor vehicle dependent business to the west. Business across the street to the south. Residential to the north and east.
COMPREHENSIVE PLAN:	Commercial redevelopment along Main Avenue on subject property, as well as to the east and west. Commercial to the south. Residential to the north.
APPLICANT NAME:	Bjorn Berg, Project Manager for Kwik Trip INC., property owner 1626 Oak Street La Crosse, WI 54602
SITE HISTORY:	The subject property has been vacant of structures, less a driveway, for over 10 years. Prior development was a residential structure. The land is now owned by the adjacent property owner of the Kwik Trip Express gas station and convenience store. The rezoning is proposed to allow for either future development or for future expansion of the convenience store and parking areas. The parcel will likely be combined with a similar zoned parcel to the west in the near future if rezoning is successful. In order to establish the same zoning categories as property to the west, the B-3 zone is proposed.
REVIEW:	When reviewing a rezoning request, staff considers the future land use recommendation of the Comprehensive Plan, surrounding land uses and desired development patterns. The proposed rezoning complies with proposed uses in the Comprehensive Plan and surrounding land uses. Although there are some residential uses to the east, etc., the City Comprehensive Plan indicates that Main Avenue is proposed to be a commercial redevelopment corridor. For rezoning applications, the Plan Commission provides a recommendation to the Common Council. A public hearing will be held at the Council meeting prior to review of the rezoning by the Common Council.
STAFF RECOMMENDATION:	Staff recommends APPROVAL of the rezoning request subject to the following: 1. Meet all state and local regulations.



CITY OF DE PERE
APPLICATION FOR
REZONING

Fee: \$ 290.00

Receipt #: 116158

Date: 9-28-16

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Kwik Trip Inc.	Authorized Representative Bjorn Berg	Title Project Manager	
Mailing Address 1626 Oak Street	City La Crosse	State WI	ZIP Code 54602
Email Address bberg@kwiktrip.com	Phone Number (incl. area code) 608-791-4343	Fax Number (incl. area code) 608-781-8960	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity)	Contact Person	Title	
Mailing Address	City	State	ZIP Code
Email Address	Phone Number (incl. area code)	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description 726 Main Avenue, Lots 25,27,29,&31 Block 16, Brown County, De Pere, WI	Parcel Number(s): WD-445
---	-----------------------------

SECTION 4: Proposed Rezoning Use

Existing Zoning:	R-2 Residential		
Proposed Zoning:	B-3 Highway Use		
Adjacent Zoning: North R-2 Residential	Adjacent Zoning: South B-2 General Business	Adjacent Zoning: West B-3 Highway Use	Adjacent Zoning: East R-2 Residential
Present Use of Parcel	Vacant Land		
Proposed Use of Parcel	Vacant Land		

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

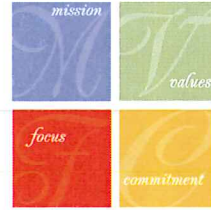
Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Bjorn A Berg	Title Project Manager	Phone Number 608-791-4343
Signature of Applicant 		Date Signed 09/21/2016

Attach additional sheets if necessary.

1626 Oak St. • P.O. Box 2107 • La Crosse, WI 54602-2107
 Phone 608-781-8988 • Fax 608-781-8960 • www.kwiktrip.com

Kwik Trip, Inc.



The City of De Pere
 Kim Flom
 Planning Division
 335 S. Broadway Street
 De Pere, WI 54115

September 26th, 2016

This letter is intended to accompany our application to the City of De Pere for the review of our request to rezone the vacant lot (726 Main Ave) that is adjacent to our Kwik Trip Express Convenience Store at 746 Main Ave in the City of De Pere.

Kwik Trip would be happy to provide any additional information or answer any questions or concerns the City of De Pere may have with our rezoning submittal. Please feel free to give me a call if needed.

Sincerely,

Bjorn Berg
 Kwik Trip, Inc - Store Engineering
 Project Manager
 608-791-4343
bberg@kwiktrip.com

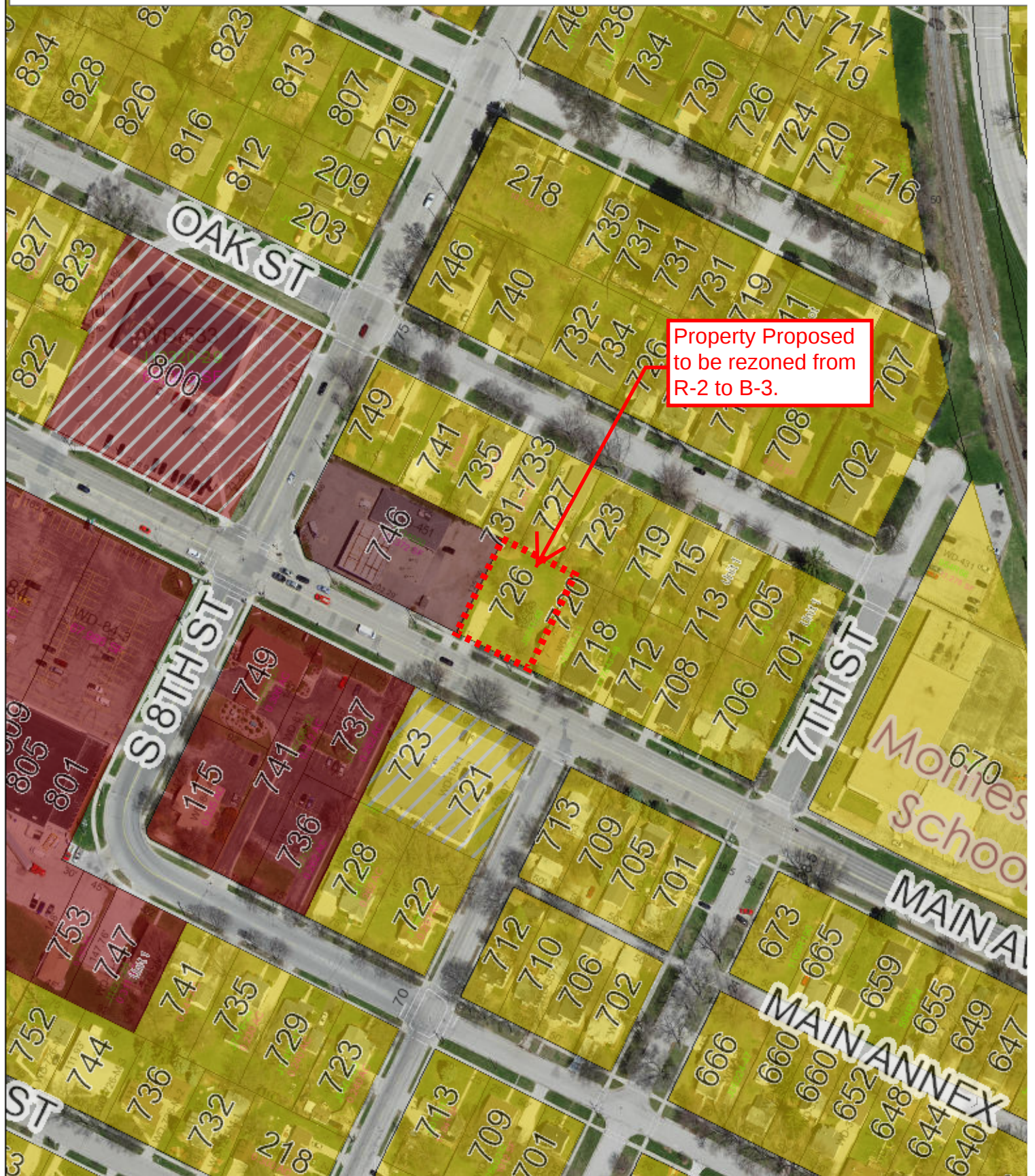
WD-445
 Combine after approval
 Matches
 Blight



Our Mission: "To serve our customers and community more effectively than anyone else by treating our customers, co-workers and suppliers as we, personally, would like to be treated, and to make a difference in someone's life."

Kwik Trip & Kwik Star Stores • Tobacco Outlet Plus • Convenience Transportation, LLC • Hearty Platter Restaurants & Cafés

Proposed Rezoning from R-2 to B-3 at 726 Main AV (WD-445)



Attachment: Zoning Map (5222 : Recommendation regarding a rezoning request from R-2 to B-3 at 726 Main Avenue (Parcel WD-445).)



This map was produced utilizing a variety of sources the City of De Pere reasonably believes are reliable, including GIS data, some of which was under development at the time this map was produced. The City of De Pere makes no warranty, either expressed or implied, including no warranty as to fitness for a particular use, of the information contained in or comprising this map.

Map of De Pere, WI Provided By The De Pere Planning/GIS Department



10/13/2016

Packet Pg. 28

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: November 1, 2016

DEPARTMENT: Planning

FROM: Peter Schleinz

SUBJECT: Recommendation regarding a site plan for a parking lot expansion at 1745 E. Matthew Drive (Parcel WD-D0048-2). Submitted by R.E. Lee & Associates INC.

ATTACHMENTS:

- 09-26-16 Plan Commision Site Plan (parking lot addition) - 1745 E Matthew (DOCX)
- Application Form (PDF)
- 10-6-2016 DE PERE CABINETS SITE PLAN (PDF)

- Item 5: Recommendation regarding a site plan for a parking lot expansion at 1745 E. Matthew Drive (Parcel WD-D0048-2). Submitted by R.E. Lee & Associates INC.

SITE MAP



REQUESTED ACTION:

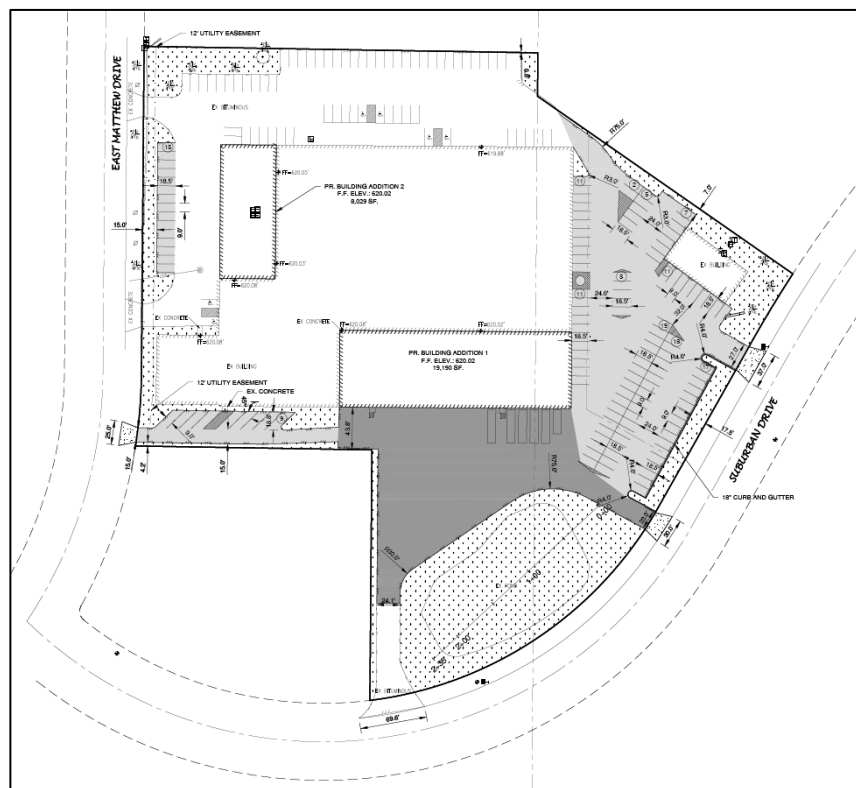
Site Plan Approval

Site Plan approval for an expansion to an existing parking lot and a new parking lot area on an industrial property.

COMMON DESCRIPTION:

1745 E. Matthew Drive, located south from the E. Matthew drive and Scheuring Road intersection.

PARCEL NUMBERS:	WD-D0048-2
EXISTING ZONING:	I-B-2 (Industrial Business-2 District)
PROPOSED ZONING:	None
SURROUNDING LAND USES:	Industrial and business uses to north, south, east and west.
COMPREHENSIVE PLAN:	Business park to north south, east, and west.
APPLICANT NAME:	Jared Schmidt, authorized agent for Burkland Development LLC Robert E. Lee INC 1250 Centennial Center BLVD Hobart, WI 54155
SITE HISTORY:	The vacant property was originally sold to the property owners for industrial development in 1991. An expansion occurred in 2012 on the west side of the building. The proposed expansion is the second expansion at the site, which includes expansion of the parking lot and drive lanes only (not buildings). The expansions are proposed on the east, west, and south side of the property. The expansion is proposed to eliminate employees from parking on adjacent streets due to a shortage of parking stalls. The site plan also indicates potential future building expansions at the northwest and southwest corners. The building expansions are not under review as part of this application.
STAFF REVIEW:	When reviewing a Site Plan request, staff considers the future land use recommendation of the Comprehensive Plan, surrounding land uses and desired development patterns, as well as the criteria identified in Zoning Code Section 14-60. The parking lot expansion accommodates 142 new stalls for the facility, in addition to the 64 existing stalls for a total of 206 stalls. The new lots are properly sized for 90-degree angled parking on the east and west sides, and for 45-degree parking on the south side. To accommodate monotony, heat and wind, 360 square feet of curbed landscaping is required for every ½ acre of parking lot. Likewise, parking lot screening is recommended along street frontages and between properties for the new parking areas. The agent for the developer is aware of the need for the above changes, which are included on the staff recommended conditions if the site plan is approved. Site plans are reviewed by Plan Commission and not by Common Council. Any conditions of approval are addressed by staff before a final approval memo is awarded to a developer.



Parking Lot Layout, new area shaded in light and dark gray.

STAFF COMMENTS:

Engineering:

1. Provide the address of the project development on the cover sheet.
2. Provide boundary lines of property with dimensions.
3. Show fence to be removed near existing buildings on east side of property.
4. Is there any exterior lighting to be added? If so, provide lighting plan.
5. On page three, there is an arrow showing traffic flow in the legend, but traffic flow isn't marked on the plans.
6. Note 4" typical pavement markings.
7. Need additional curb on the north and east side of property, or provide additional elevations on the interior of the parking lot showing captured runoff.
8. Ensure the pond has a depth of 5' below the water surface to meet DNR standards.

Fire:

None.

Forestry:

1. Submit landscaping and maintenance plans.

Health:

None.

Building & Planning:

1. Landscaping islands with curbs are required within the parking lot to avoid the undesirable monotony, heat, and wind associated with large parking lots. Provide a breakdown of the square footage of the parking lot along with the square footage of the landscaped islands, each of which should be a minimum of 360 square feet (about the size of two parking stalls).
2. Provide effective screening for the parking or storage of motor vehicles. This can be incorporated with the vegetation used in the landscape plan.
3. Provide a landscape plan that includes a planting and maintenance plan.

Recommendations that may not be required by Code:

- Potential impacts related to a release of easement, under review by the City, that crosses part of the existing paved area on the south side of the site should be properly addressed prior to beginning the parking lot addition.

STAFF RECOMMENDATION: Staff recommends APPROVAL of the site plan request for a parking lot addition, subject to compliance with the above comments and conditions.



CITY OF DE PERE

APPLICATION FOR
SITE PLAN REVIEW

Fee: \$ 290.00

Receipt #: 116445

Date: 10-07-2016

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) ROBERT E LEE & ASSOC.	Authorized Representative JARED SCHMIDT	Title P.E. / V.P.	
Mailing Address 1250 CENTENNIAL CENTRE BLVD	City HOBART	State WI	ZIP Code 54155
Email Address JSCHMIDT@GEELEINC.COM	Phone Number (incl. area code) 920-662-9641	Fax Number (incl. area code)	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) Burkard Development, LLC	Contact Person Marianne Monson	Title Member	
Mailing Address 1745 E. MATTHEW DRIVE	City De Pere	State WI	ZIP Code 54115
Email Address dgerstner@deperecabinet.com	Phone Number (incl. area code) 920-337-2989	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description 1745 E. MATTHEW DRIVE	Parcel No. WD-D0048-2
--	--------------------------

SECTION 4: Project Information

Existing Zoning:	I-B-2 INDUSTRIAL BUSINESS 2		
Present Use of Parcel:	CABINET SHOP		
Proposed Use of Parcel:	EXPANDED SHOP		
Estimated Start Date:	10/10/16	Estimated Completion Date:	5/30/17

Please submit 1 hard copy 24x36, 1 hard copy 11x17 and 1 PDF copy of the submittal.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

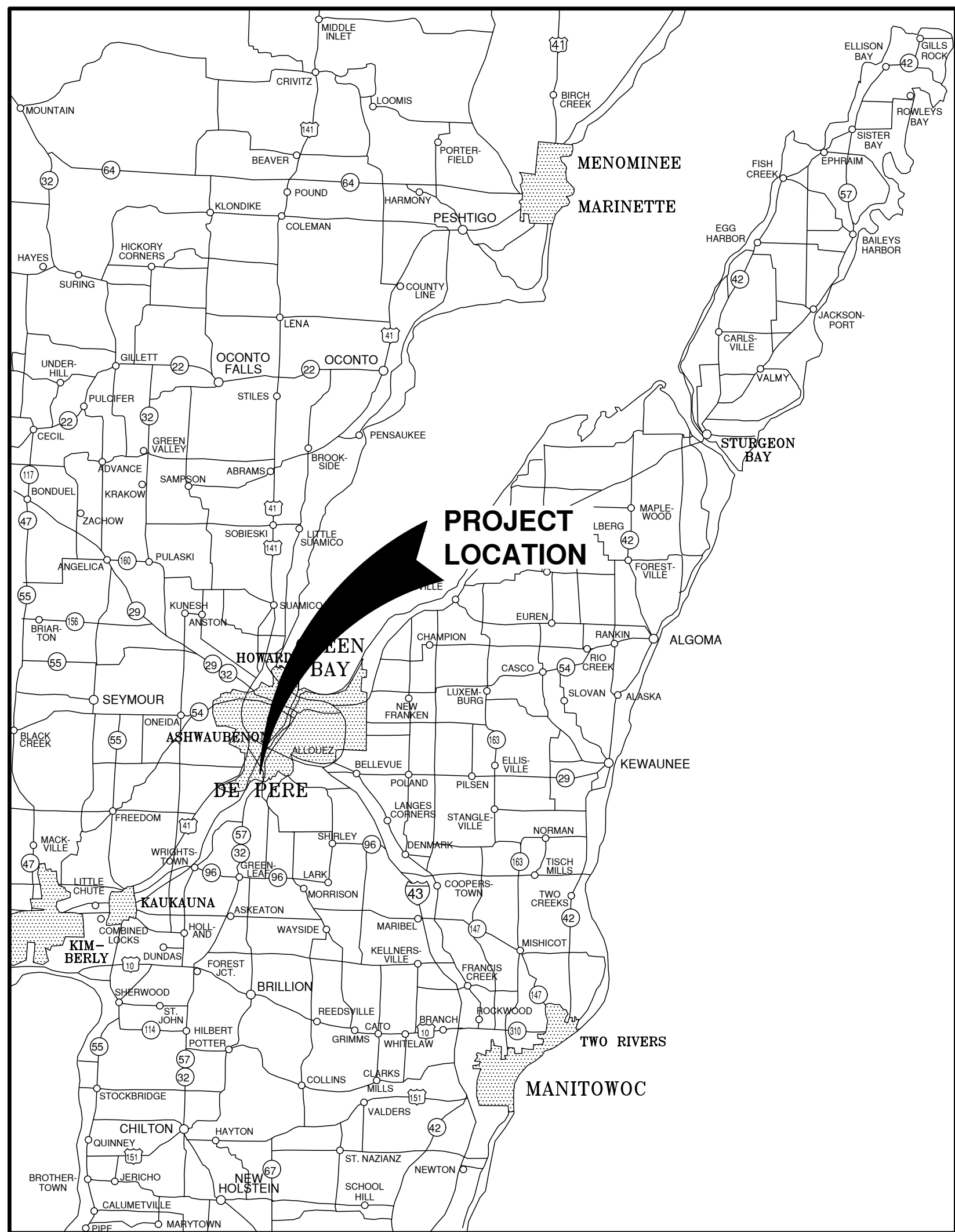
Name of Owner/Authorized Representative (please print) MARIANNE MONSON	Title Trustee	Phone Number .
Signature of Applicant Marianne Monson		Date Signed 10-5-16

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.

DE PERE CABINET EXPANSION FOR BAYLAND BUILDINGS, INC. CITY OF DE PERE, BROWN COUNTY, WI

ATTENTION!
DOWNLOADED PLANS ARE NOT SCALEABLE, NEITHER THE OWNER OR THE ENGINEER SHALL BE HELD RESPONSIBLE FOR THE SCALE OR PRINT QUALITY OF DOWNLOADED PLANS. ONLY PRINTED PLANS FROM BLUE PRINT SERVICE CO., INC. SHALL BE CONSIDERED TO BE SCALEABLE PLANS.



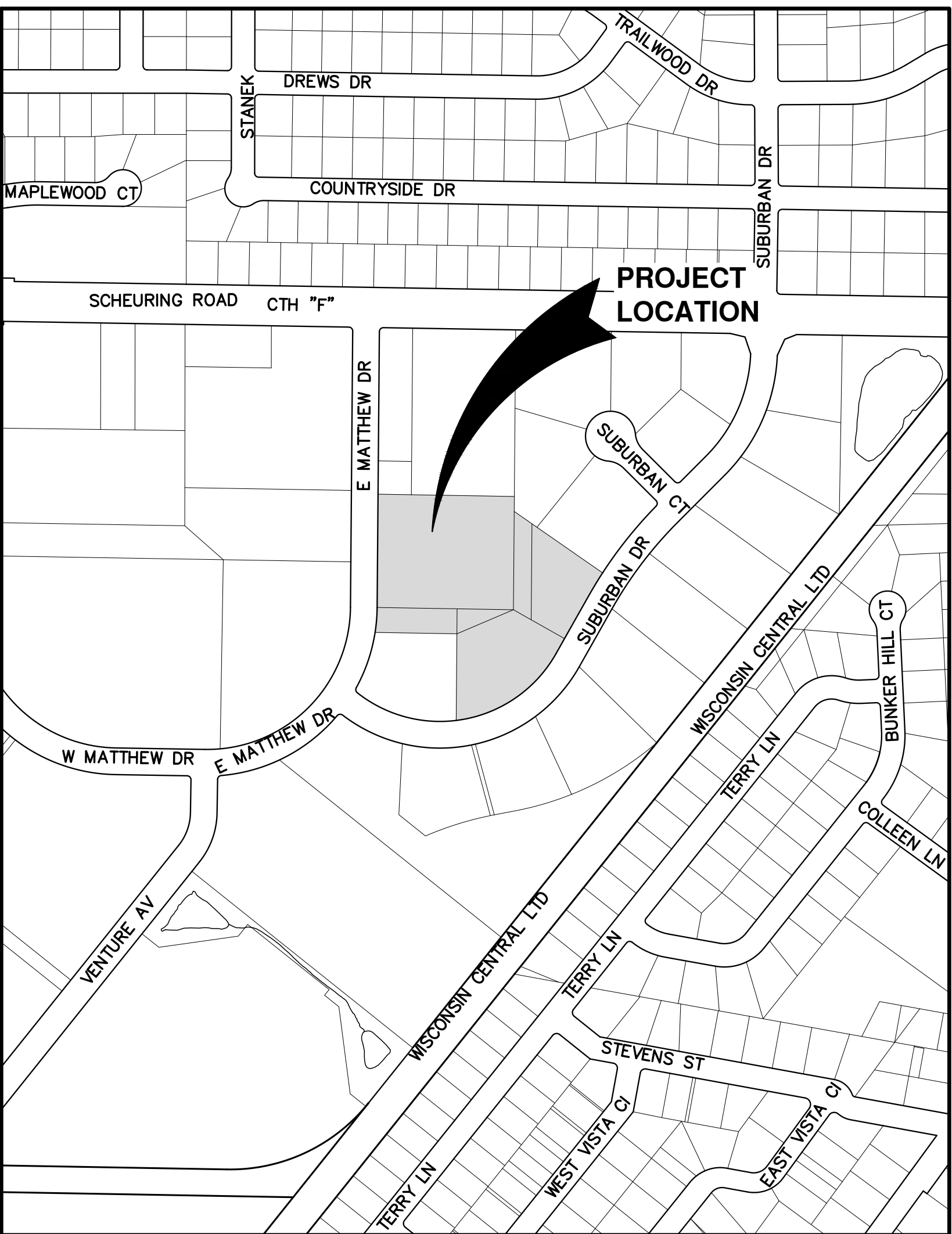
VICINITY MAP

NOTE:
EXISTING UTILITIES SHOWN ON PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING EXACT LOCATIONS AND ELEVATIONS OF ALL UTILITIES, WHETHER SHOWN OR NOT, FROM THE OWNERS OF THE RESPECTIVE UTILITIES. ALL UTILITY OWNERS SHALL BE NOTIFIED FOR LOCATES BY THE CONTRACTOR 72 HOURS PRIOR TO EXCAVATION.

NOTE:
ALL EROSION CONTROL MEASURES SHALL BE IN PLACE PRIOR TO CONSTRUCTION AND SHALL CONFORM TO THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES CONSTRUCTION SITE EROSION CONTROL AND TECHNICAL STANDARDS.

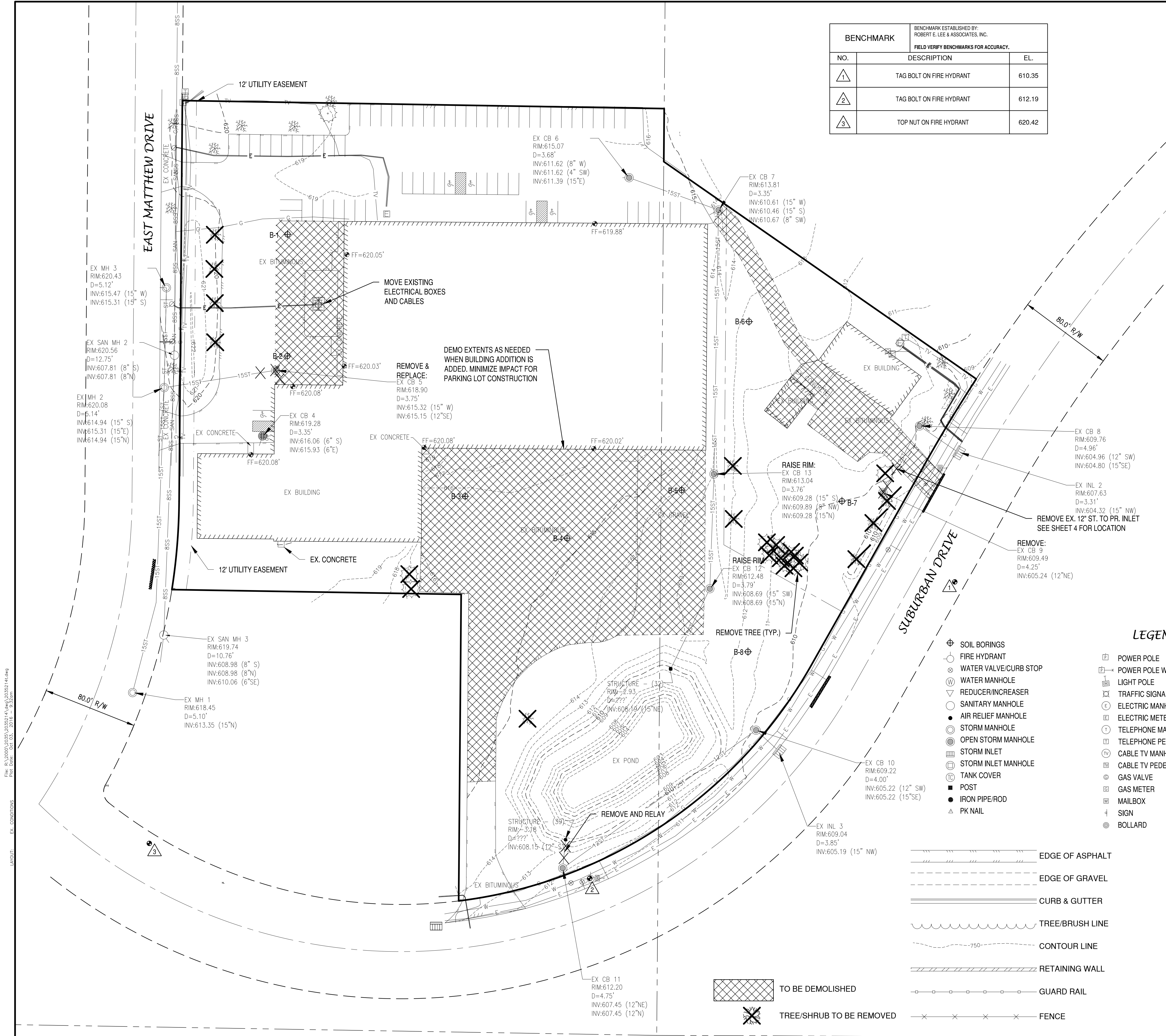
INDEX TO DRAWINGS

SHT. NO.	DESCRIPTION
1	LOCATION MAPS AND INDEX TO DRAWINGS
2	EXISTING SITE CONDITIONS
3	SITE PLAN
4	UTILITY PLAN
5	GRADING AND EROSION CONTROL PLAN
6	MISCELLANEOUS DETAILS
7	EROSION CONTROL - INLET PROTECTION AND MISCELLANEOUS DETAILS
8	EROSION CONTROL - DITCH CHECK DETAILS
9	EROSION CONTROL - SHEET FLOW DETAILS



LOCATION MAP

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BLT	DE PERE CABINETS EXPANSION FOR BAYLAND BUILDINGS, INC. CITY OF DE PERE BROWN COUNTY, WISCONSIN	LOCATION MAP AND INDEX TO DRAWINGS	DATE 09/2016	 Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155 920-662-9641 www.releinc.com Celebrating 60 Years of Excellence	SHEET NO.
								CHECKED JGS			FILE 2035214C		1
								DESIGNED BLT			JOB NO. 2035214		



BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC.
		FIELD VERIFY BENCHMARKS FOR ACCURACY.
NO.	DESCRIPTION	EL.
1	TAG BOLT ON FIRE HYDRANT	610.35
2	TAG BOLT ON FIRE HYDRANT	612.19
3	TOP NUT ON FIRE HYDRANT	620.42

OWNER INFORMATION:

DE PERE CABINETS
1745 E. MATTHEW DR.
DE PERE, WI 54115

(920)337-2989

CONTRACTOR INFORMATION:

BAYLAND BUILDINGS INC.
P.O. BOX 13571
GREEN BAY, WI 54307-3571

(920)498-9300

CONTACT: DAVID O'BRIEN

UTILITY INFORMATION:

UTILITIES PRESENT:
CITY OF DE PERE, WISCONSIN PUBLIC SERVICE, TIME WARNER CABLE, AND AT&T.

UTILITIES SHOWN ON THIS MAP ARE BASED ON LOCATES FROM:

DIGGER'S HOTLINE TICKET NUMBER #20163201485, 20163201429, 20163201413 & DATED 08/11/2016, VISIBLE OBSERVATION ON 08/24/2016 AND RECORD UTILITY PLAN DOCUMENTS. UTILITY LINE LOCATIONS SHOULD BE VERIFIED PRIOR TO ANY DIGGING. THIS SITE MAY CONTAIN BURIED UTILITIES NOT IDENTIFIED ON THIS MAP.

DIGGERS HOTLINE = 1-800-242-8511

WATER/SANITARY/STORM SEWER/GAS & ELECTRIC:
DEPARTMENT OF PUBLIC WORKS WISCONSIN PUBLIC SERVICE
CITY OF DE PERE
925 SIXTH ST.
DE PERE, WI 54155

TELECOMMUNICATIONS:
TIME WARNER CABLE
2580 W. MASON ST.
GREEN BAY, WI 54303

TELECOMMUNICATIONS:
AT & T / SBC
205 S. JEFFERSON ST.
GREEN BAY, WI 54301

(920) 339-8076

(800) 797-7434

(920) 944-1581

(920) 433-4147



TO OBTAIN LOCATION OF PARTICIPANTS
UNDERGROUND FACILITIES BEFORE YOU
DIG IN WISCONSIN

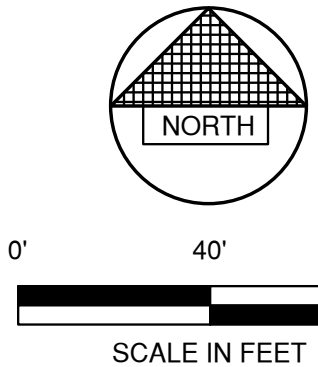
WIS. STATUTE 182.0175 (1974)
REQUIRES MIN. OF 3 WORK DAYS
NOTICE BEFORE YOU EXCAVATE.

LEGEND

- SOIL BORINGS
- FIRE HYDRANT
- WATER VALVE/CURB STOP
- WATER MANHOLE
- REDUCER/INCREASER
- SANITARY MANHOLE
- AIR RELIEF MANHOLE
- STORM MANHOLE
- OPEN STORM MANHOLE
- STORM INLET
- STORM INLET MANHOLE
- TANK COVER
- POST
- IRON PIPE/ROD
- PK NAIL
- POWER POLE
- POWER POLE W/GUY WIRE
- LIGHT POLE
- TRAFFIC SIGNAL POLE
- ELECTRIC MANHOLE
- ELECTRIC METER
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- CABLE TV MANHOLE
- CABLE TV PEDESTAL
- GAS VALVE
- GAS METER
- MAILBOX
- SIGN
- BOLLARD
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUSH
- RIP RAP
- CULVERT
- CONCRETE
- WETLANDS
- HANDICAP PARKING

- EDGE OF ASPHALT
- EDGE OF GRAVEL
- CURB & GUTTER
- TREE/BRUSH LINE
- CONTOUR LINE
- RETAINING WALL
- GUARD RAIL
- FENCE
- TO BE DEMOLISHED
- TREE/SHRUB TO BE REMOVED

- SANITARY SEWER (SIZE NOTED)
- FORCEMAIN (SIZE NOTED)
- STORM SEWER (SIZE NOTED)
- WATERMAIN (SIZE NOTED)
- GAS LINE
- OVERHEAD TELEPHONE LINE UNDERGROUND
- TELEPHONE LINE OVERHEAD ELECTRIC LINE
- UNDERGROUND ELECTRIC LINE OVERHEAD CABLE
- TV LINE
- CABLE TV LINE
- FIBER OPTIC LINE
- R/W LINE
- PROPERTY LINE
- EASEMENT LINE
- BUILDING SETBACK LINE
- SECTION LINE



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BLT
								CHECKED JGS
								DESIGNED BLT

DE PERE CABINETS EXPANSION
FOR BAYLAND BUILDINGS, INC.
CITY OF DE PERE
BROWN COUNTY, WISCONSIN

EXISTING SITE CONDITIONS

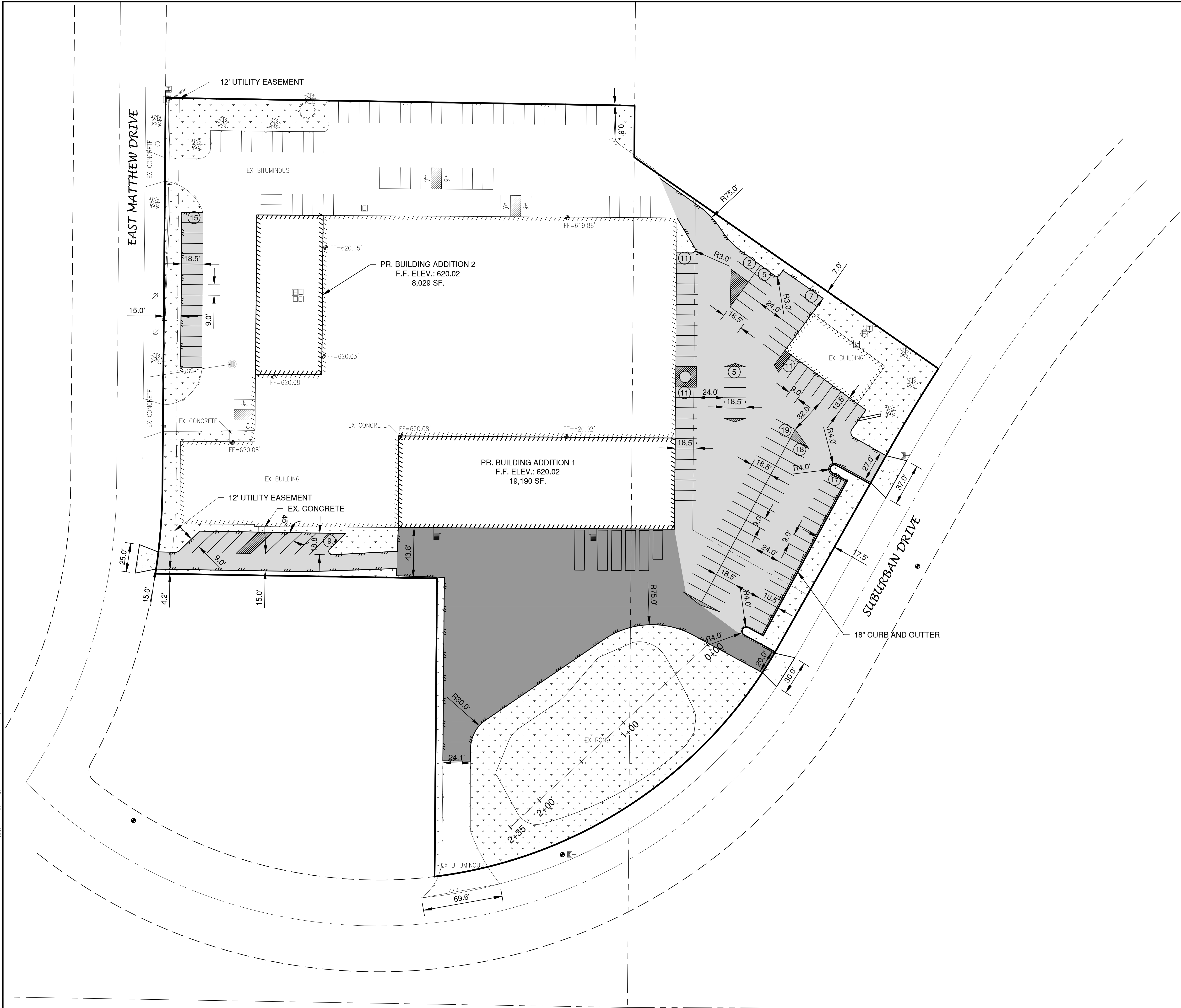
DATE 09/20/2016
FILE 2035214T
JOB NO. 2035214



Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTERMAN, CENTRE BOULEVARD HOSKAT, WI 54155
920-662-9641 www.reeinc.com
Celebrating 60 Years of Excellence

SHEET NO.
2

File: R:\2000-2035\2035214\443\20352140.dwg
Plot Date: Sep 30, 2016 11:23:02m
LAYOUT: SITE PLAN



NOTE
ALL AREAS DESIGNATED AS "GREEN SPACE" OR "LAWN", SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

PARKING DATA
TOTAL PARKING SPACES PROVIDED = 130 PROPOSED 64 EXISTING = 194 STALLS
HANDICAP ACCESSIBLE PARKING SPACES = 6
TOTAL PARKING SPACES REQUIRED = 1 SPACE PER 1000 SF OF BUILDING
= 108,255 SF. / 1,000 SF = 108 SPACES

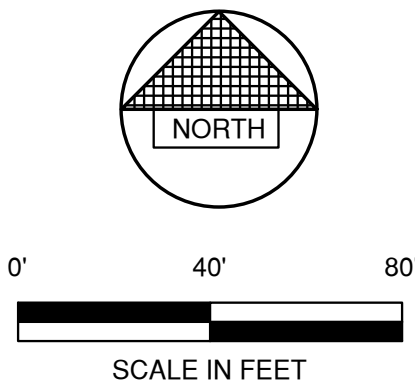
SITE DATA
TOTAL AREA = 6.71 ACRES, 292,226 S.F.
BUILDING AREA = 2.46 ACRES, 107,157 S.F. (36.7%)
SIDEWALK/PARKING LOT AREA = 2.92 ACRES, 127,195 S.F. (43.5%)
GREEN SPACE = 1.33 ACRES, 57,614 S.F. (19.8%)

ZONING
I-B-2 INDUSTRIAL BUSINESS 2

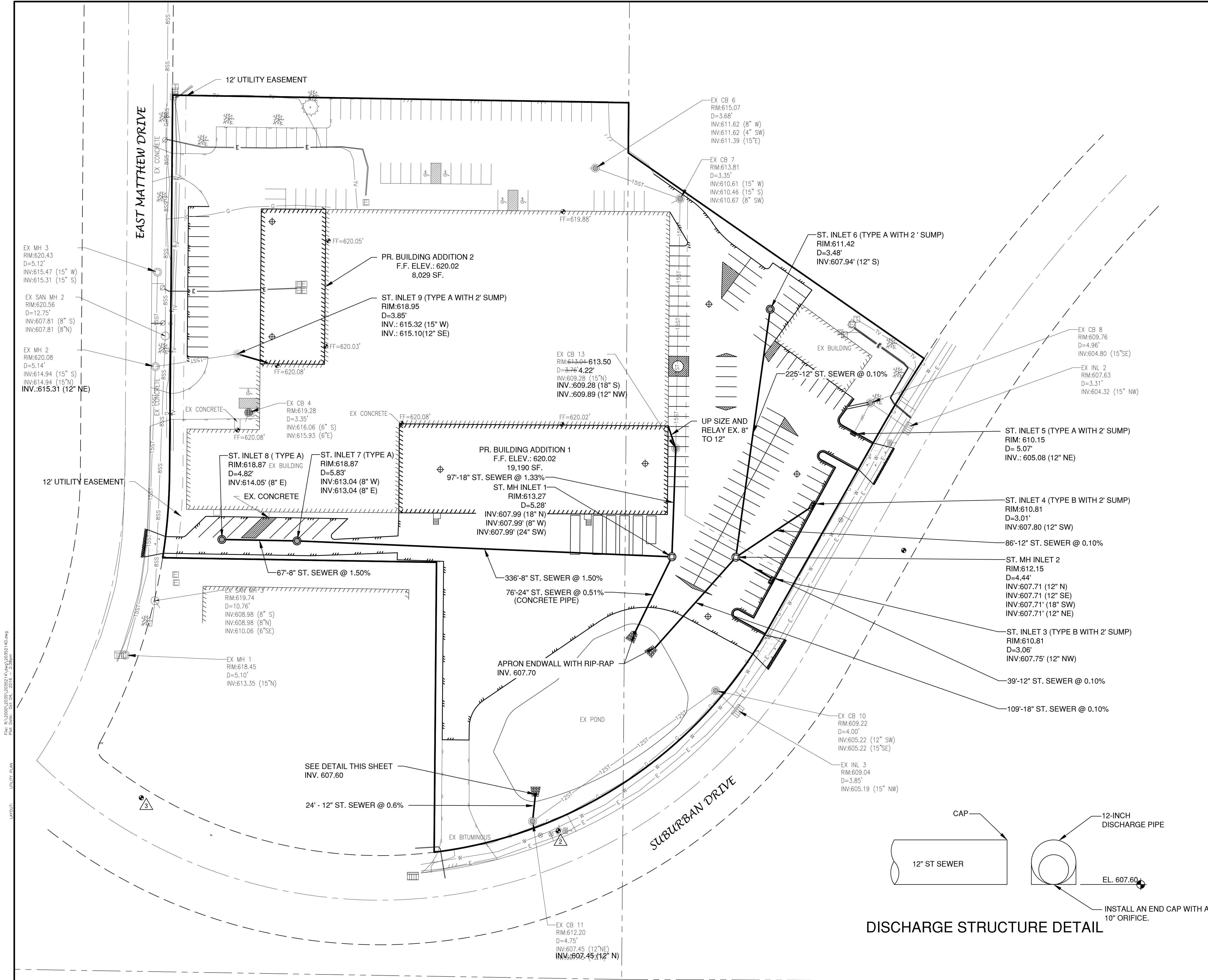
PARCEL NO.
WD-D0048-2 & WD-364-D-521

- LEGEND**
- CONCRETE PAVEMENT
 - ASPHALT PAVEMENT (LIGHT) (48,533 S.F.)
 - ASPHALT PAVEMENT (HEAVY) (30,214 S.F.)
 - LANDSCAPE AREA
 - GREEN SPACE
 - PROPOSED 18" CURB & GUTTER (UNLESS OTHERWISE NOTED)
 - PROPOSED SHEDDING CURB & GUTTER
 - TRAFFIC FLOW ARROW
 - HANDICAPPED PARKING
 - INDICATES NUMBER OF PARKING STALLS

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE



NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BLT	DE PERE CABINETS EXPANSION FOR BAYLAND BUILDINGS, INC. CITY OF DE PERE BROWN COUNTY, WISCONSIN	SITE PLAN	DATE 09/2016	FILE 2035214D	JOB NO. 2035214	Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE, BOULEVARD HOBBART, WI 54155 920-662-9641 www.releinc.com Celebrating 60 Years of Excellence	SHEET NO. 3
								CHECKED JGS							
								DESIGNED BLT							

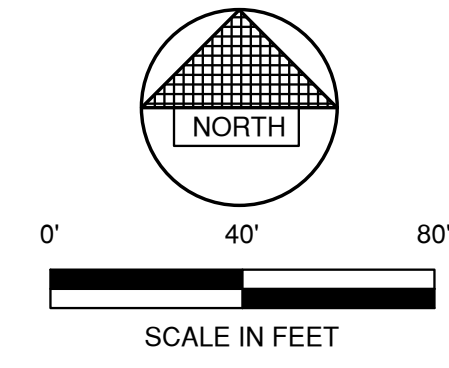
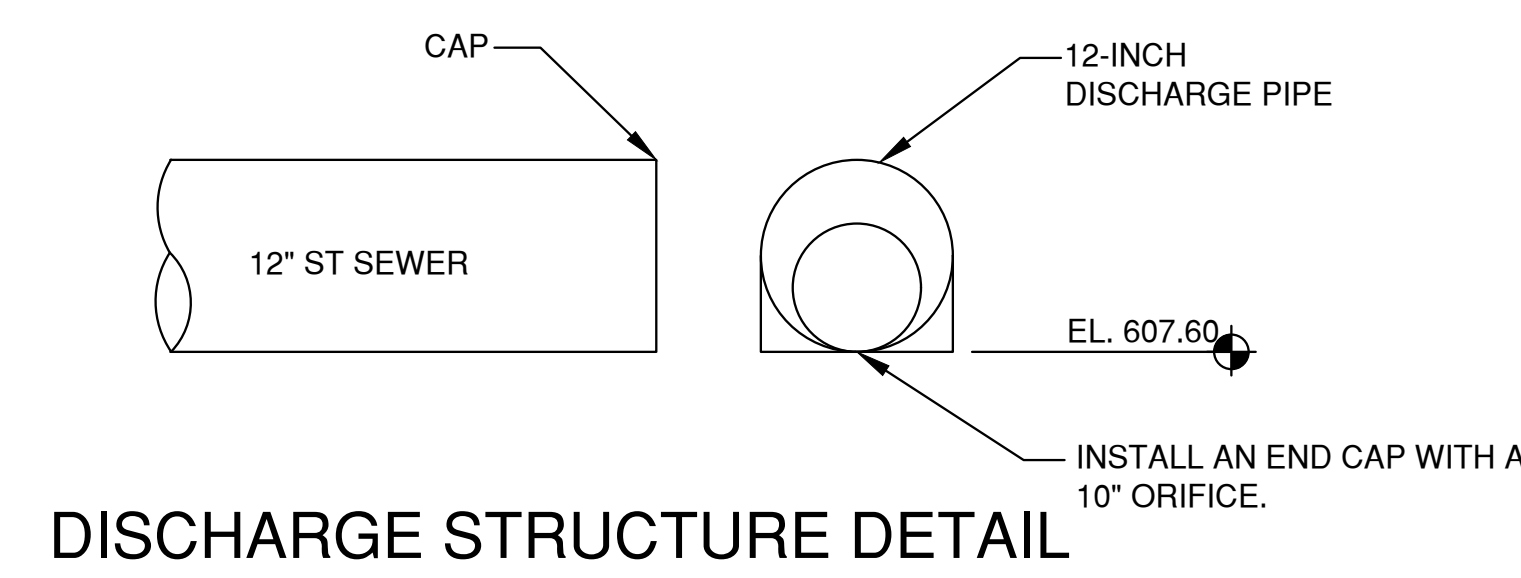


LEGEND

	PROPOSED SANITARY SEWER
	EXISTING SANITARY SEWER (SIZE NOTED)
	PROPOSED STORM SEWER
	EXISTING STORM SEWER (SIZE NOTED)
	PROPOSED WATERMAIN
	EXISTING WATERMAIN (SIZE NOTED)

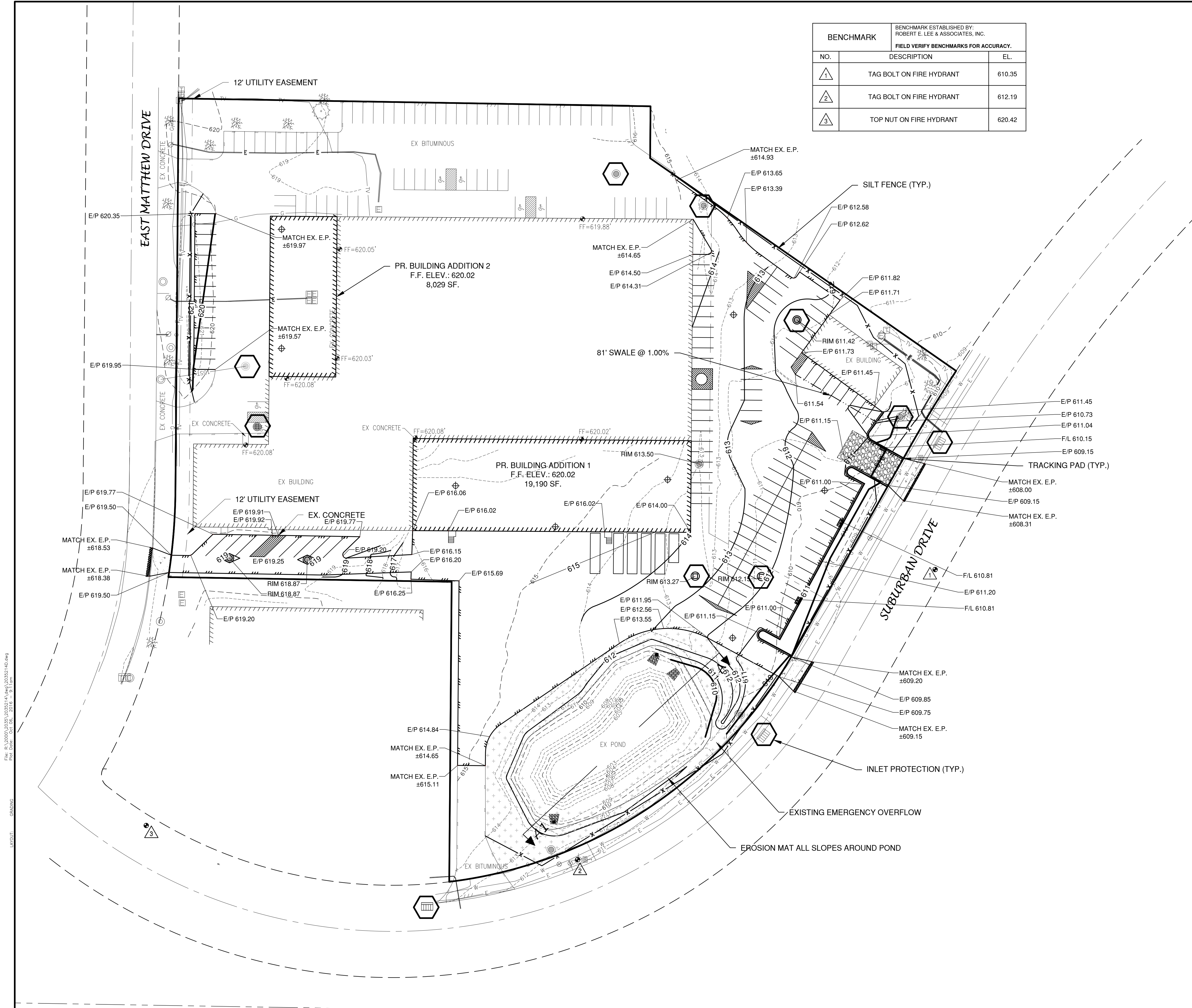
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING
	PROPOSED		EXISTING

- PLUMBING DATA**
DRAINAGE FIXTURE UNITS =
WATER FIXTURE UNITS =
- NOTE**
1. A MINIMUM OF 6.5 FEET OF COVER SHALL BE MAINTAINED OVER ALL WATERMAIN.
 2. SANITARY SEWER, WATERMAIN AND STORM SEWER SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN AND ADMINISTRATIVE CODE CHAPTERS COMM 81-87.
 3. FIELD VERIFY LOCATION OF EXISTING UTILITIES. IF EXISTING LOCATIONS DIFFER FROM WHAT IS INDICATED ON THE PLANS, **CONTACT ENGINEER**, PRIOR TO CONTINUED WORK.
 4. ALL SANITARY SEWER, STORM SEWER AND WATER SERVICES / MAINS SHALL BE PROVIDED WITH TRACER WIRE OR OTHER METHOD TO BE LOCATED.
 5. ALL EXISTING STORM SEWER PIPES SHOULD BE RECONNECTED TO PROPOSED STORM SEWER STRUCTURES.

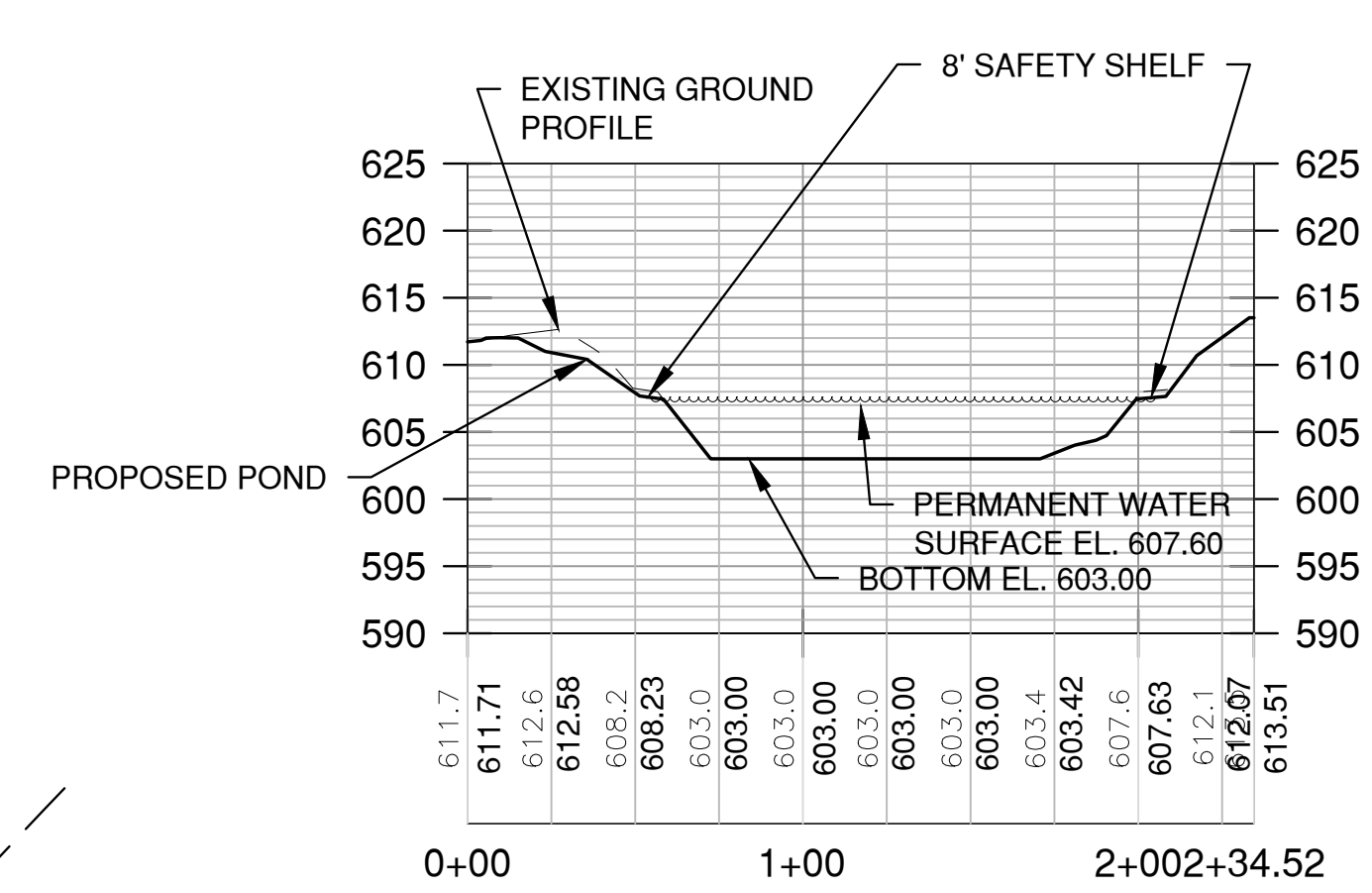


NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BLT	DE PERE CABINETS EXPANSION FOR BAYLAND BUILDINGS, INC. CITY OF DE PERE BROWN COUNTY, WISCONSIN	UTILITY PLAN	DATE 09/2016	Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155 920-662-9641 www.releinc.com Celebrating 60 Years of Excellence	SHEET NO. 4
								CHECKED JGS			FILE 2035214D		
								DESIGNED BLT			JOB NO. 2035214		

File: R:\2005-2016\2035214\4-2035214.dwg
Plot Date: Oct 06, 2016 9:11 am
LAYOUT: GRADING



BENCHMARK		BENCHMARK ESTABLISHED BY: ROBERT E. LEE & ASSOCIATES, INC. FIELD VERIFY BENCHMARKS FOR ACCURACY.
NO.	DESCRIPTION	EL.
1	TAG BOLT ON FIRE HYDRANT	610.35
2	TAG BOLT ON FIRE HYDRANT	612.19
3	TOP NUT ON FIRE HYDRANT	620.42



POND NOTES

- LOWER SAFETY SHELF FROM 608.00 TO 607.60, WHICH WILL BE THE PROPOSED PERMANENT WATER LEVEL.
FLOOD HEIGHTS:
1 YEAR- 608.60
2 YEAR- 608.78
10 YEAR- 609.34
100 YEAR- 610.40

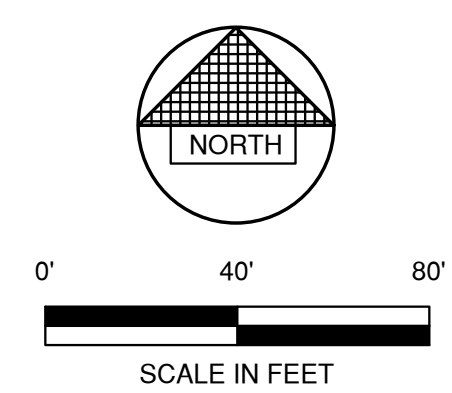
EROSION CONTROL

ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

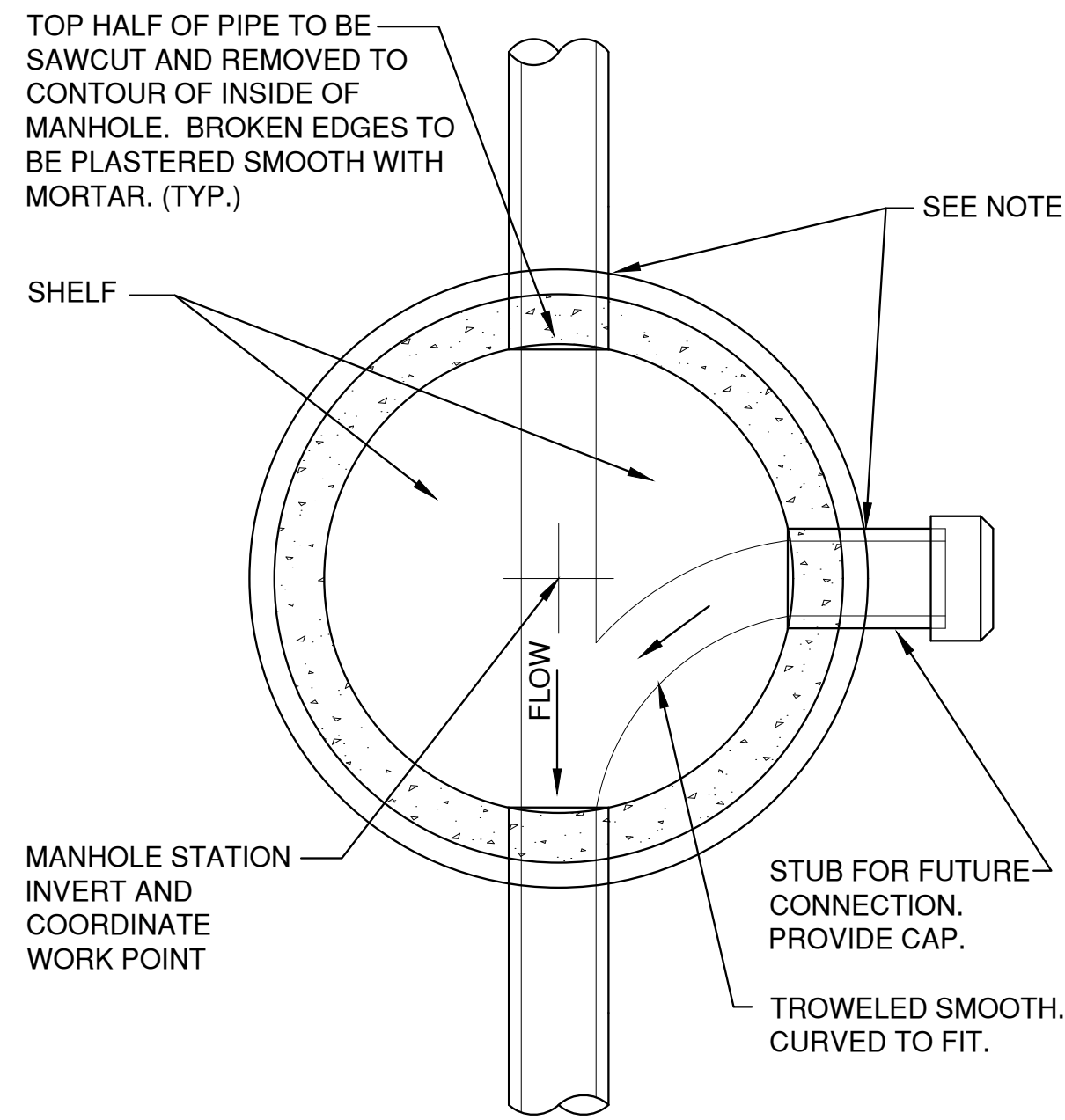
- SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
- A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
- PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
- ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.

LEGEND

- T/C 999.99 TOP OF CURB ELEVATION
- F/L 888.88 FLOW LINE ELEVATION
- S/W 666.66 TOP OF SIDEWALK ELEVATION
- E/P 555.55 EDGE OF PAVEMENT ELEVATION
- R/W 444.44 TOP OF RETAINING WALL ELEVATION
- 333.33 GROUND ELEVATION
- DRAINAGE SWALE
- - - DRAINAGE DIVIDE
- x- SILT FENCE
- BALE DITCH CHECK
- FLOW ARROW
- TRACKING PAD
- INLET PROTECTION

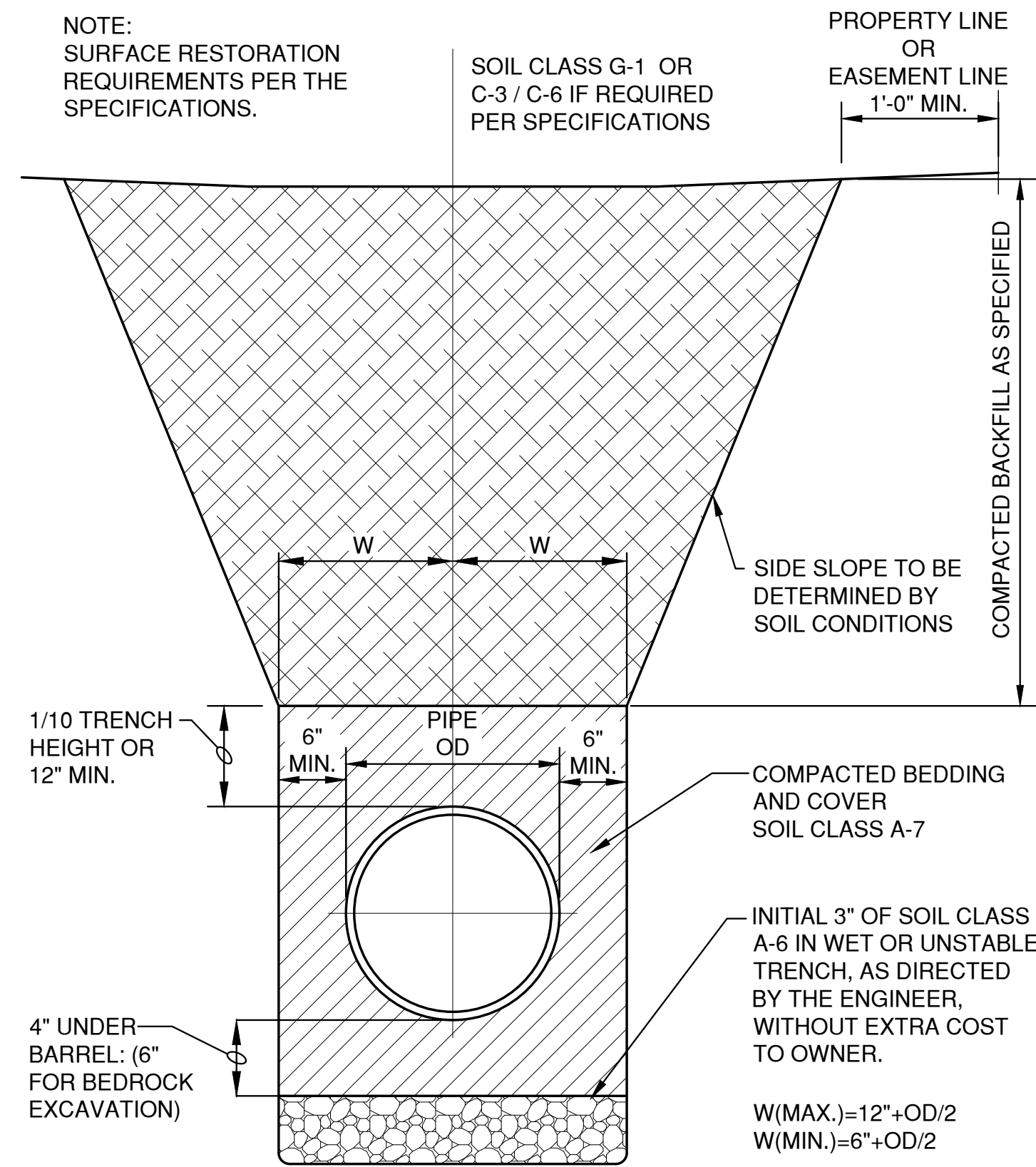


NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BLT	DE PERE CABINETS EXPANSION FOR BAYLAND BUILDINGS, INC. CITY OF DE PERE BROWN COUNTY, WISCONSIN	GRADING AND EROSION CONTROL PLAN	DATE 09/2016	 Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155 920-662-9641 www.releinc.com Celebrating 60 Years of Excellence	SHEET NO. 5
								CHECKED JGS			FILE 2035214D		
								DESIGNED BLT			JOB NO. 2035214		

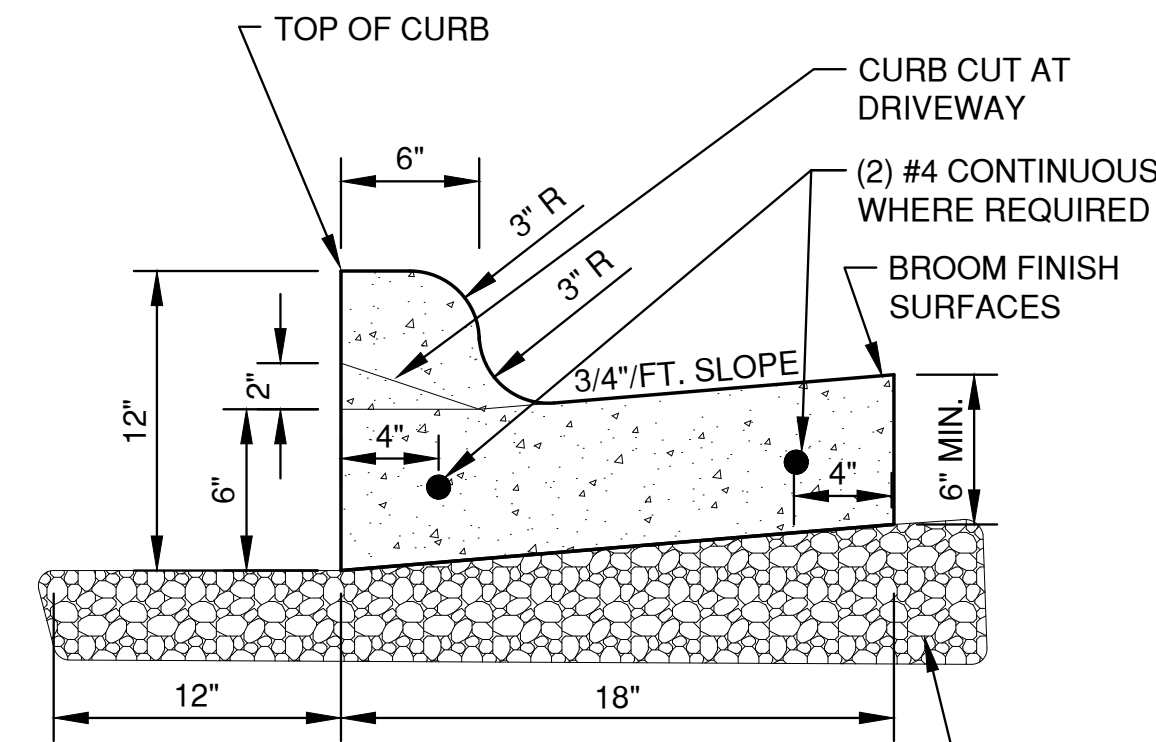


NOTE:
FOR PVC PIPE PROVIDE AN APPROVED FLEXIBLE JOINT.

MANHOLE BASE PLAN
8" - 60" (INCLUSIVE)



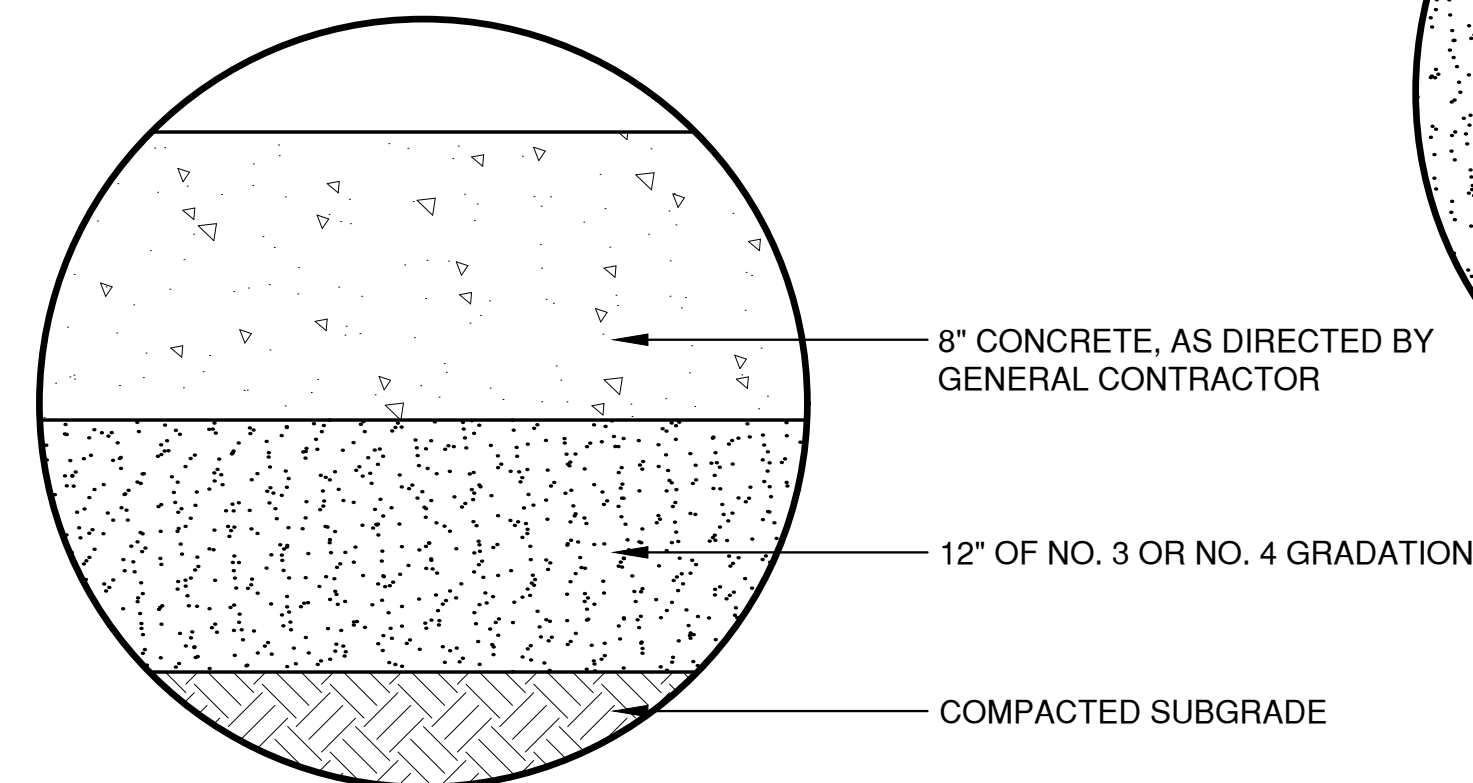
HDPE /PVC SEWER & WATERMAIN & FORCEMAIN
BEDDING & TRENCH SECTION



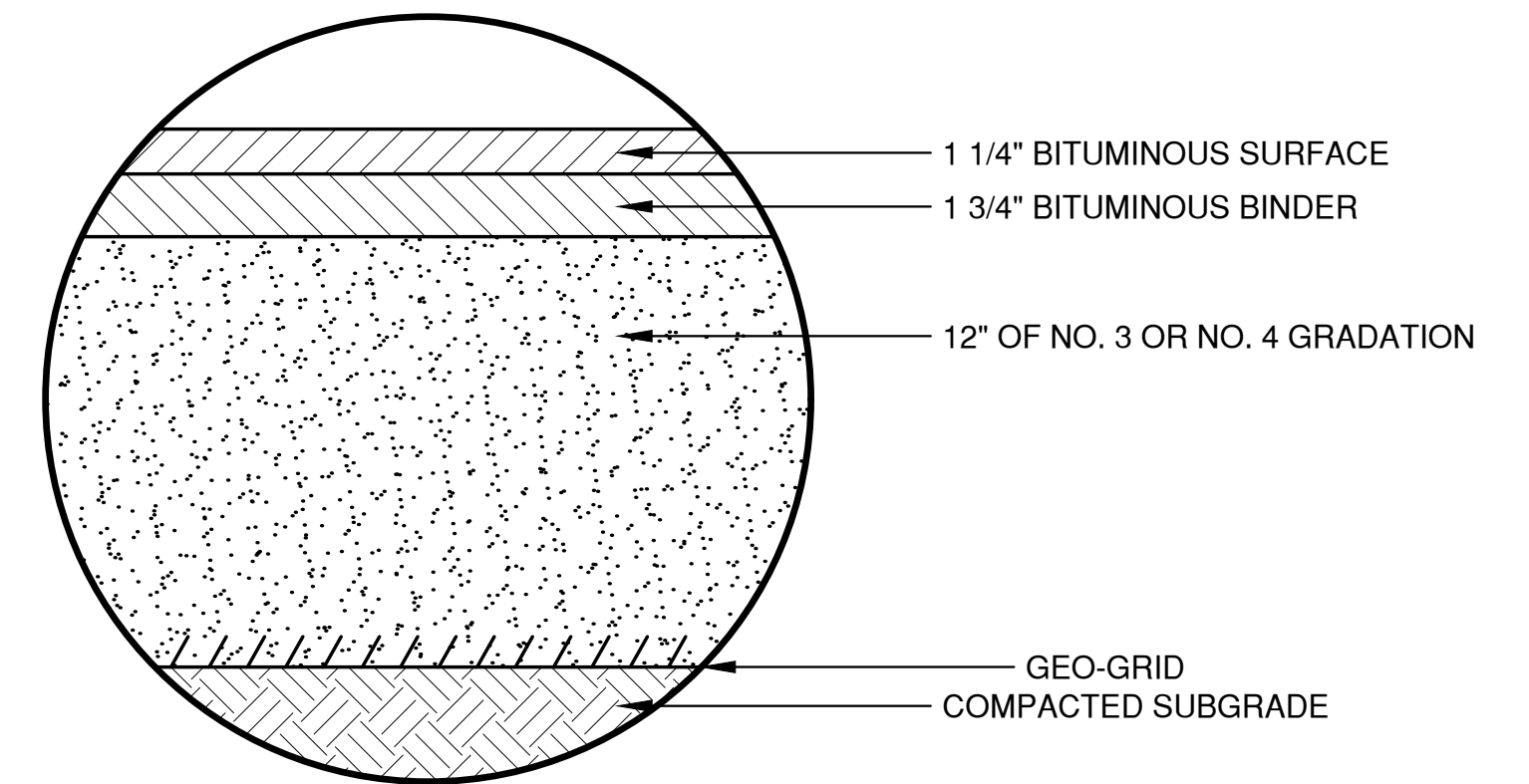
3" MINIMUM COMPACTED CRUSHED AGGREGATE
BASE COURSE MATERIAL, GRADATION NO. 2

NOTE:
PROVIDE 1" EXPANSION JOINTS AT 300' INTERVALS AND 3 FEET EACH SIDE OF INLET CASTINGS OR AS SPECIFIED.
PROVIDE CONTRACTION JOINTS EVERY 10' OR AS DIRECTED.

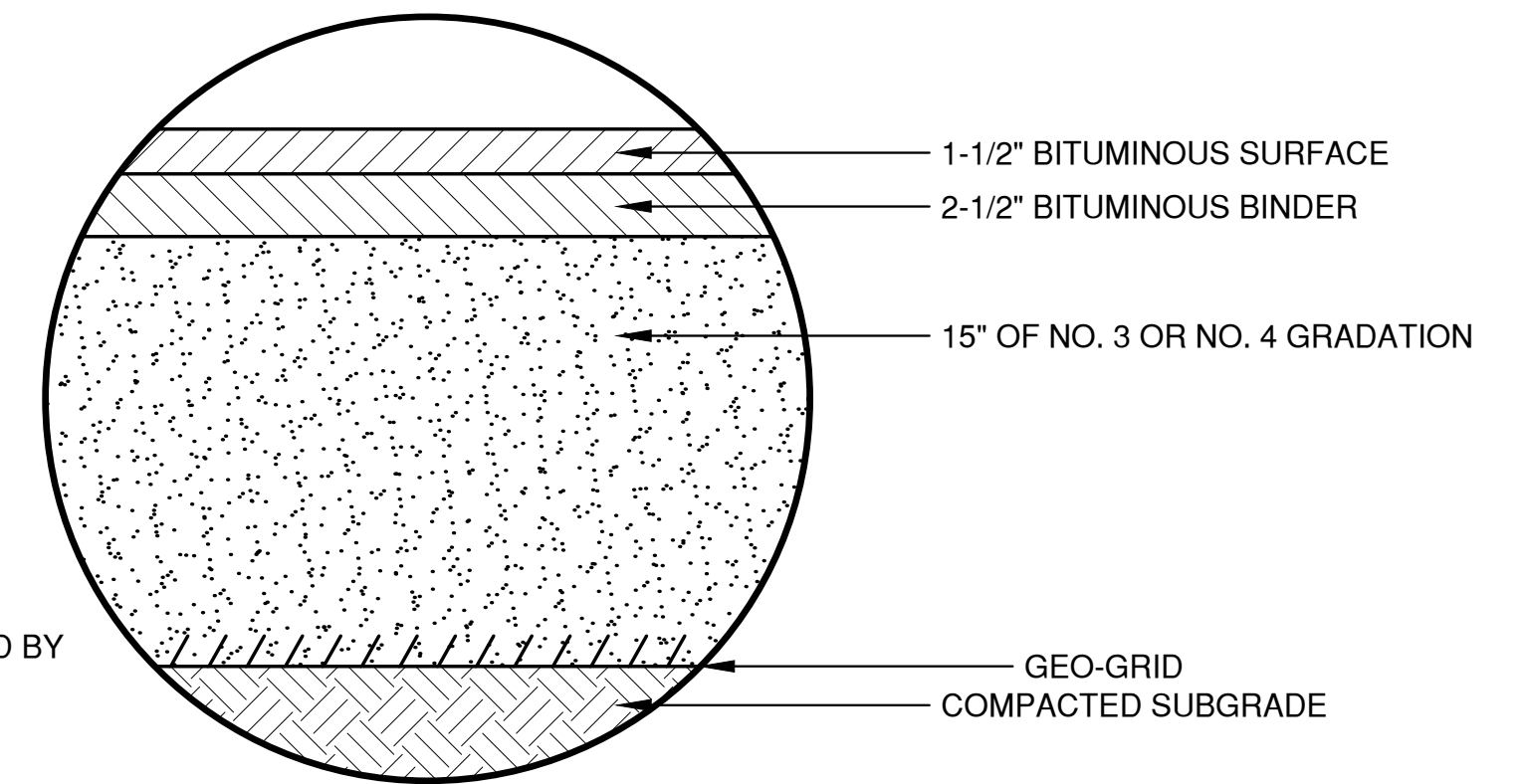
STANDARD CURB & GUTTER



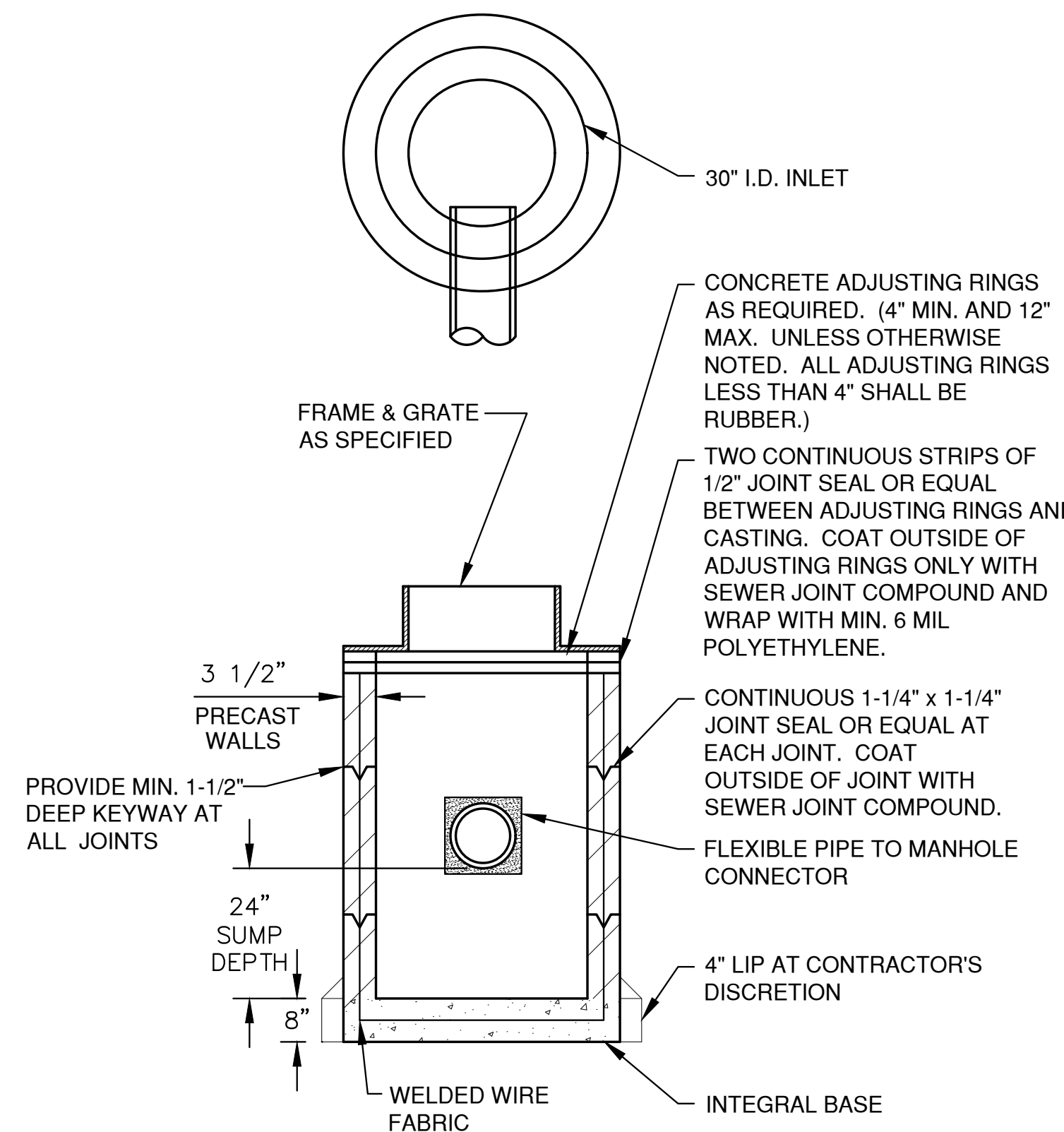
CONCRETE PAVEMENT



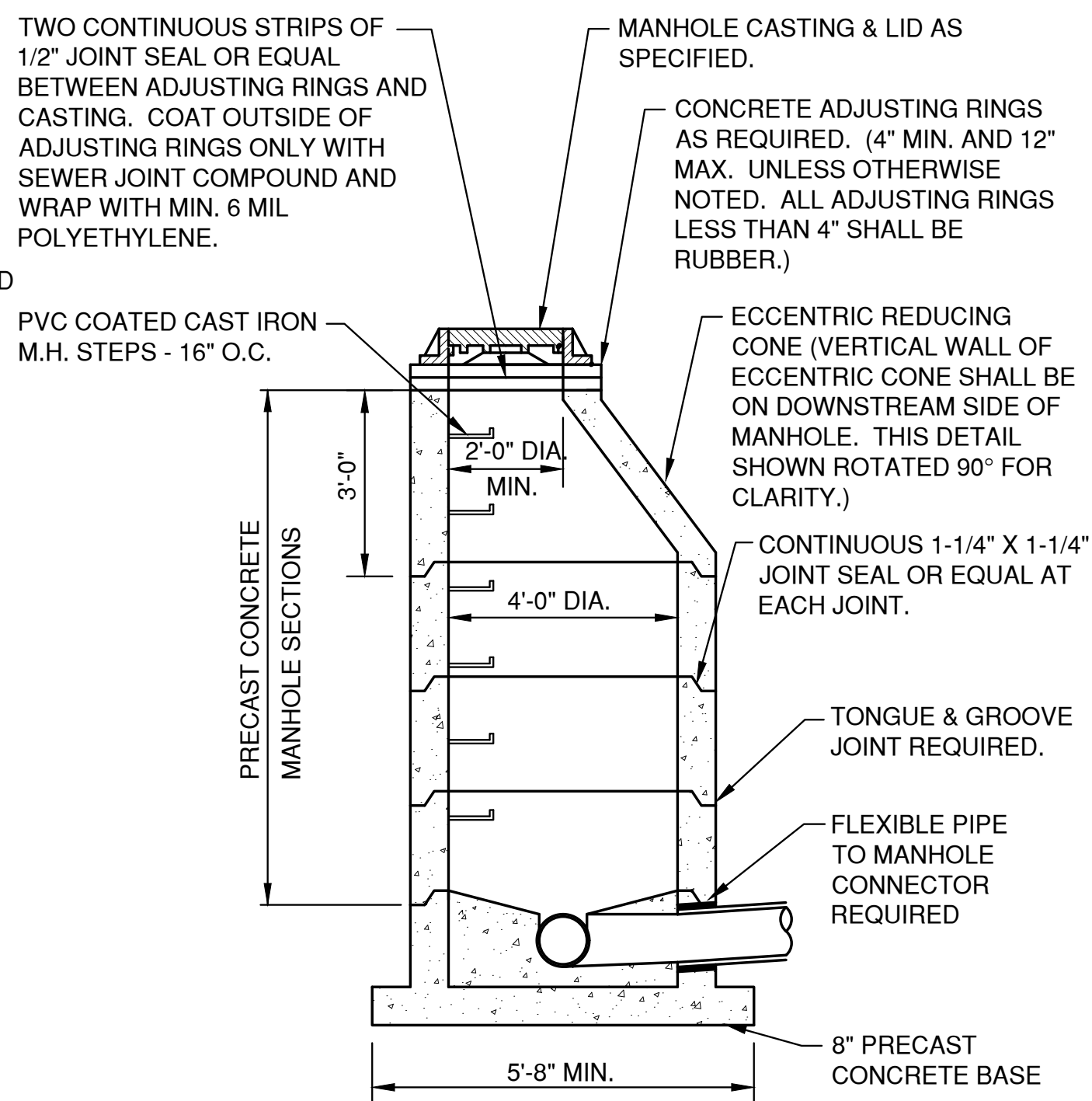
LIGHT DUTY ASPHALT PAVEMENT



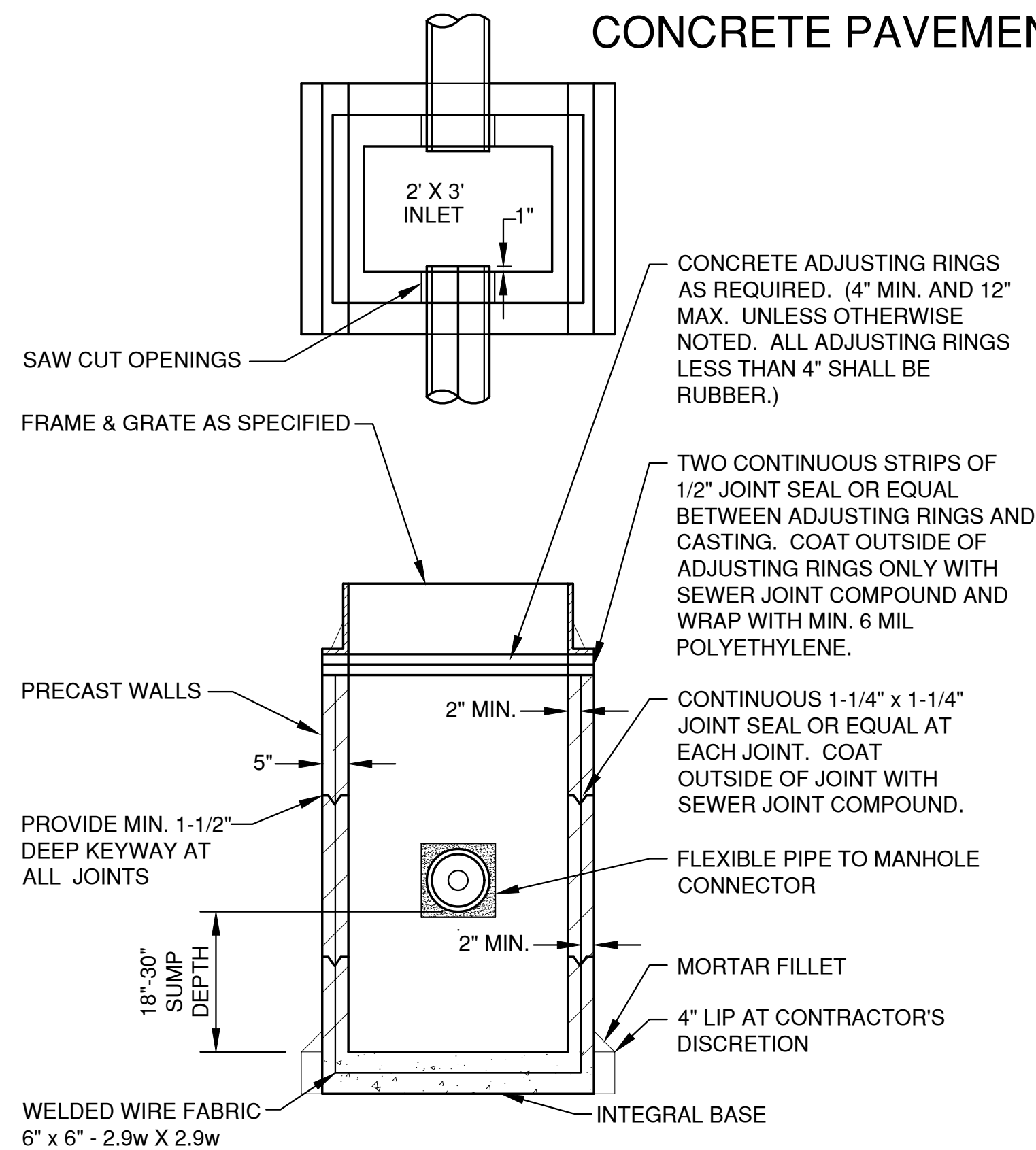
HEAVY DUTY ASPHALT PAVEMENT



TYPE 'A' STORM INLET

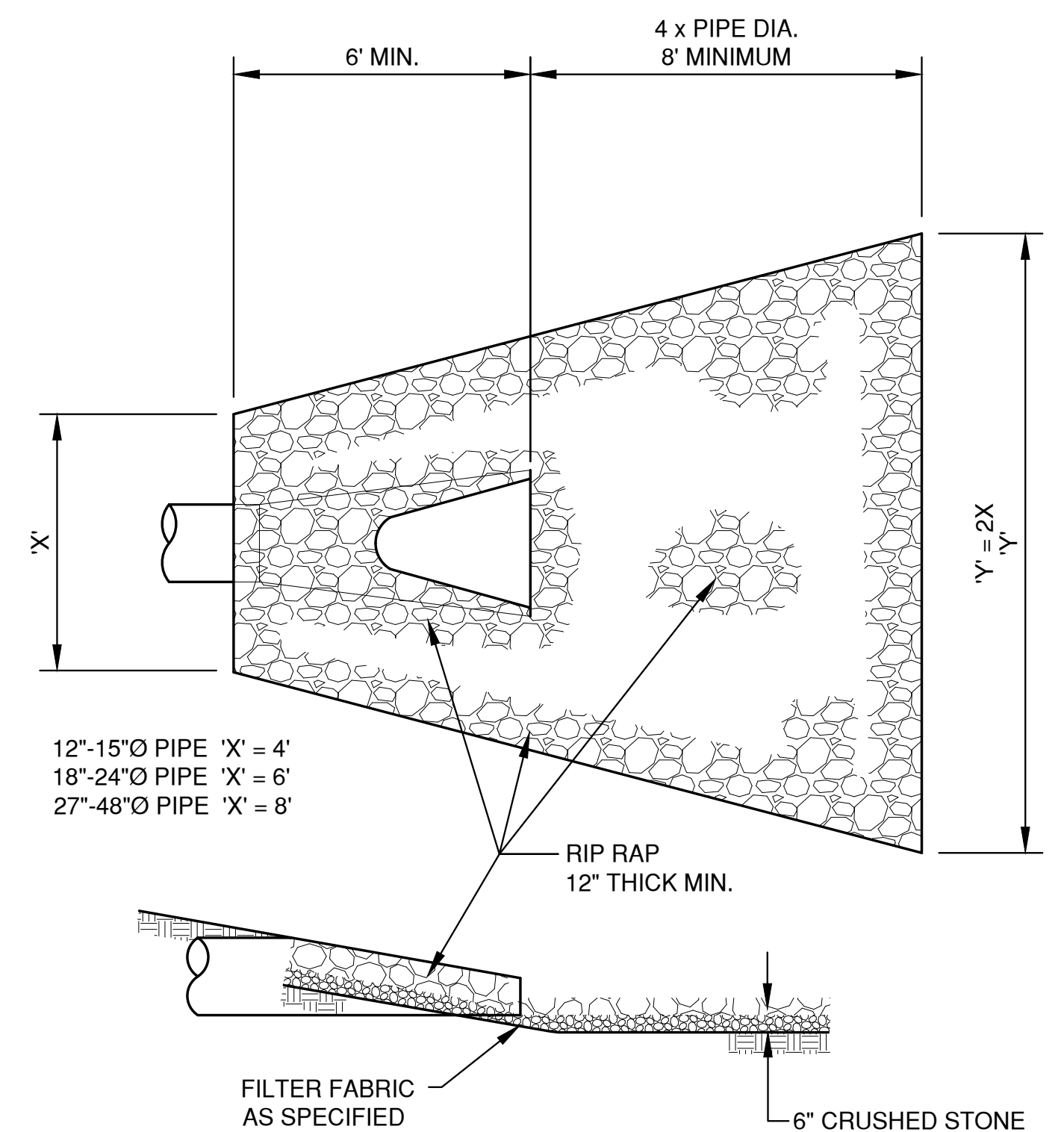


SANITARY AND STORM STANDARD MANHOLE
8"-24" (INCLUSIVE)



ALL PRECAST INLET UNITS SHALL CONFORM TO THE PERTINENT
REQUIREMENTS OF AASHTO DESIGNATION M 199

TYPE 'B' STORM INLET



ENDWALL RIP RAP DETAIL

File: R:\2000-2010\2015214\4\4\DETAILS.dwg
Plot Date: Sep 30, 2016 11:32:20m
LAYOUT: DETAILS: 1

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BLT
								CHECKED JGS
								DESIGNED BLT

DE PERE CABINETS' EXPANSION
FOR BAYLAND BUILDINGS, INC.
CITY OF DE PERE
BROWN COUNTY, WISCONSIN

GRADING AND EROSION CONTROL PLAN

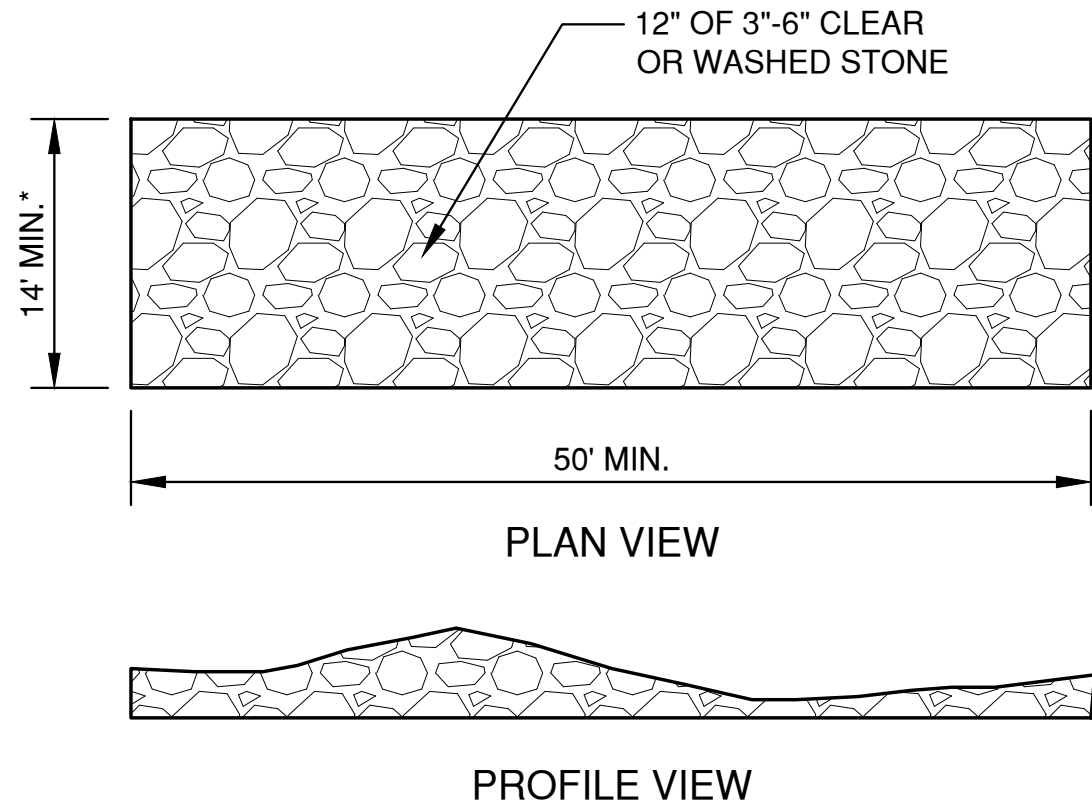
DATE 09/2016
FILE DETAILS
JOB NO. 2015214



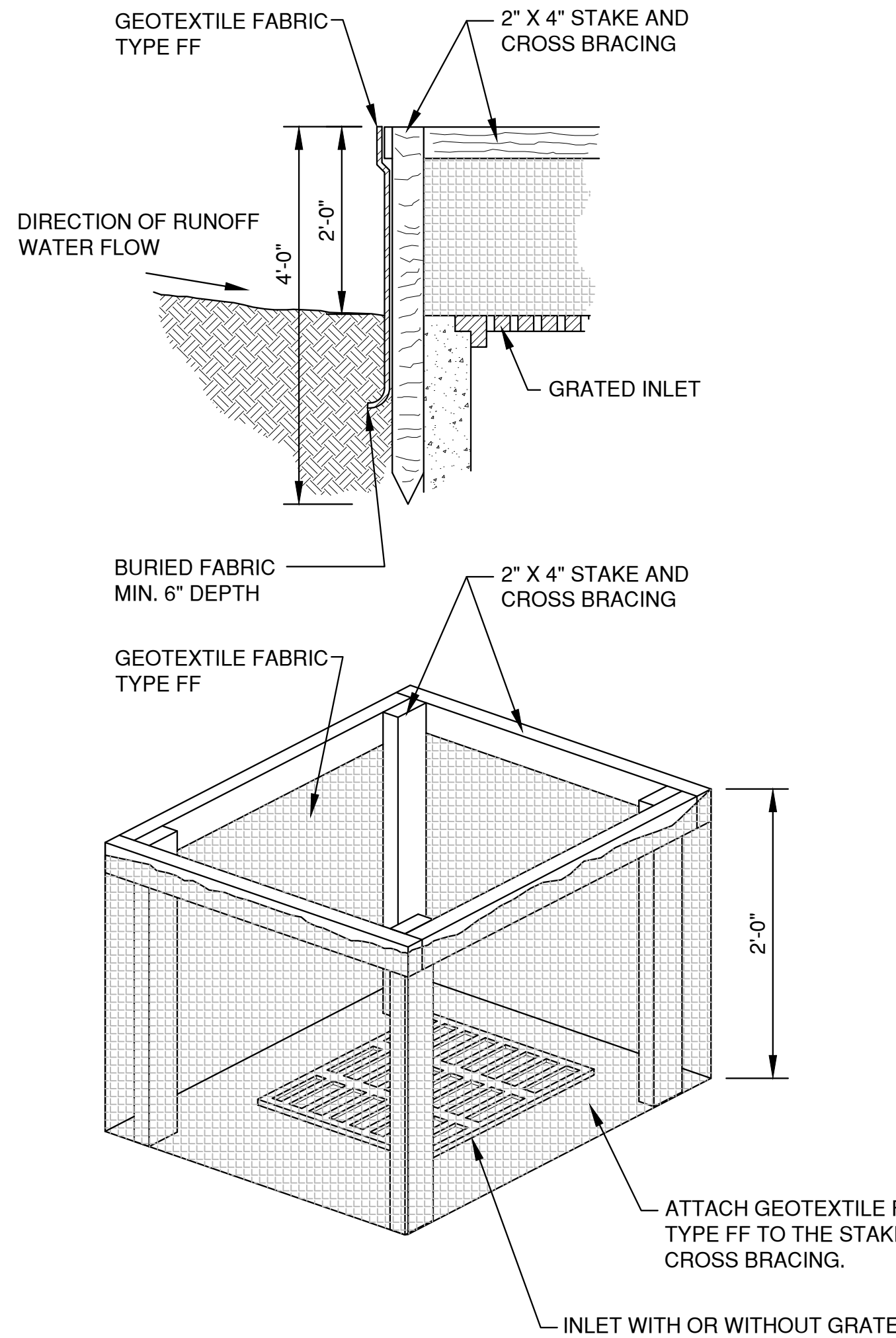
Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155
920-662-9641 www.releinc.com
Celebrating 60 Years of Excellence

SHEET NO.
6

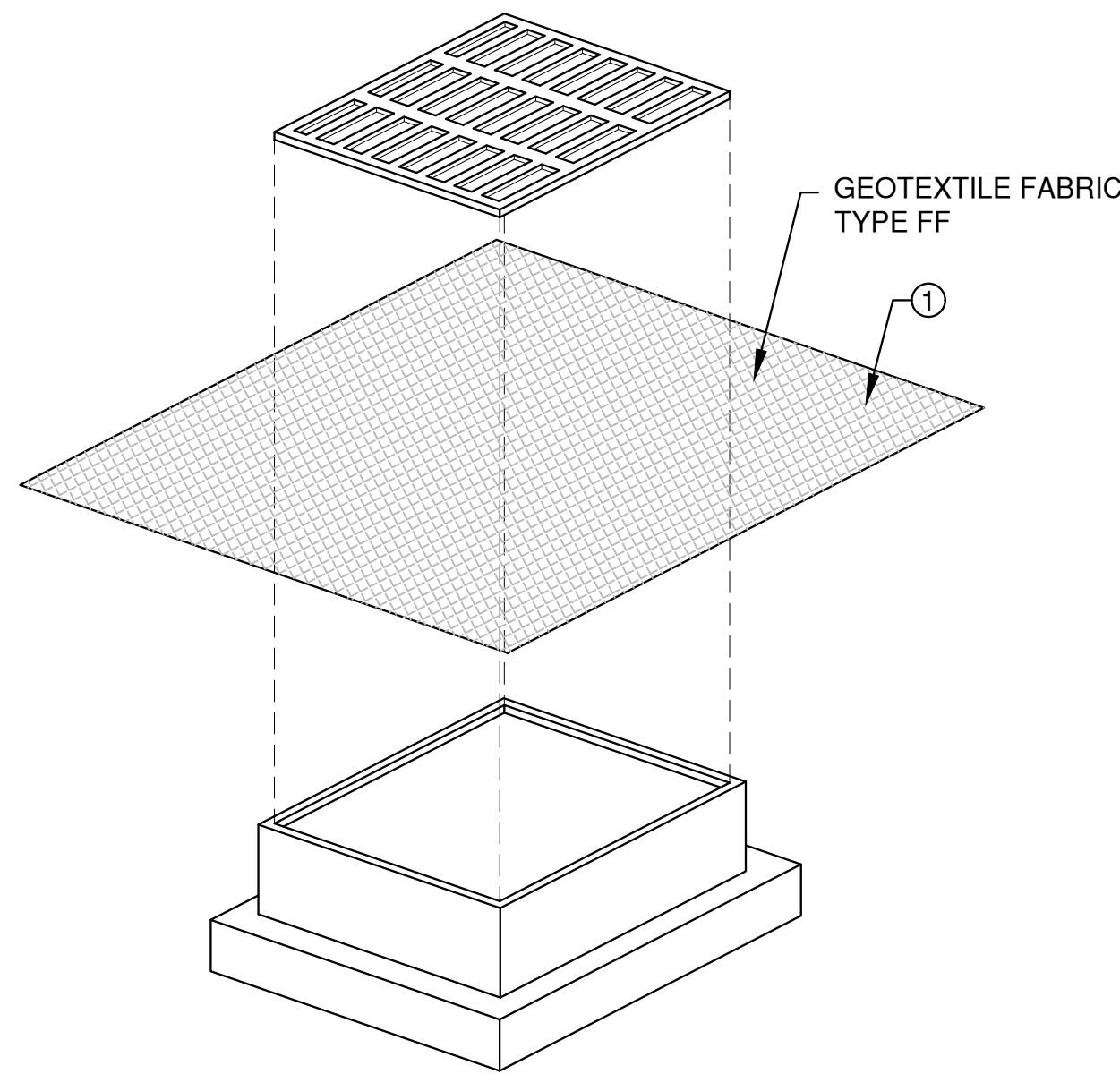
File: R:\2005-2016\2015\2015214.dwg, EROSION CONTROL.dwg
Plot Date: Sep 30, 2016 11:32:02am
LAYOUT: INLET PROTECTION
INLET PROTECTION



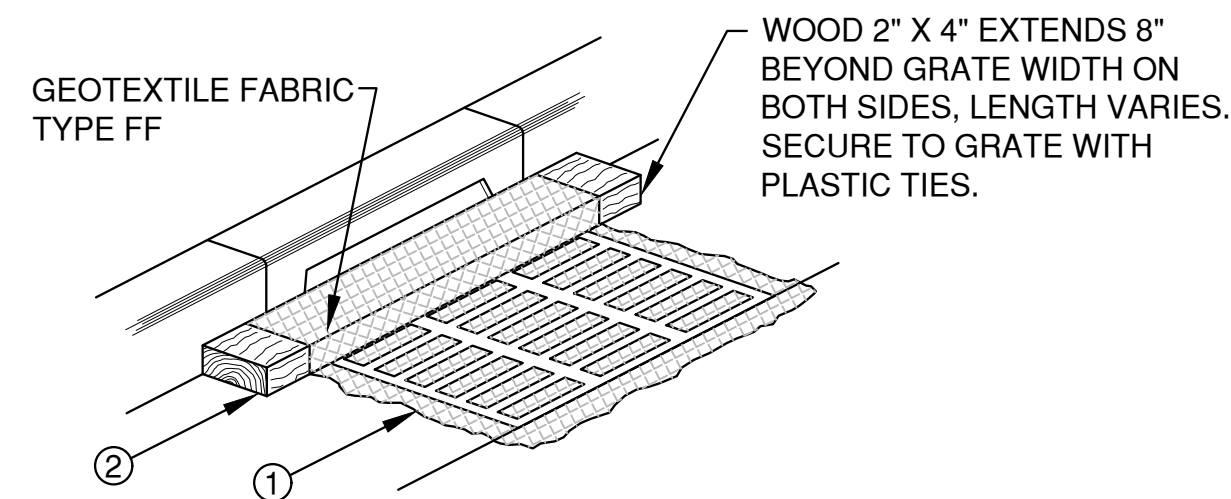
TRACKING PAD DETAIL
(IF APPLICABLE)



INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C
(WITH CURB BOX)

INLET PROTECTION NOTES:

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

- 1 FINISHED SIZE, INCLUDING FLAP POCKETS WHERE REQUIRED, SHALL EXTEND A MINIMUM OF 10" AROUND THE PERIMETER TO FACILITATE MAINTENANCE OR REMOVAL.
- 2 FOR INLET PROTECTION, TYPE C (WITH CURB BOX), AN ADDITIONAL 18" OF FABRIC IS WRAPPED AROUND THE WOOD AND SECURED WITH STAPLES. THE WOOD SHALL NOT BLOCK THE ENTIRE HEIGHT OF THE CURB BOX OPENING.
- 3 FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2"x4".
- 4 SIDE FLAPS SHALL BE A MAXIMUM OF 2" LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.

INSTALLATION NOTES:
TYPE "B" & "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

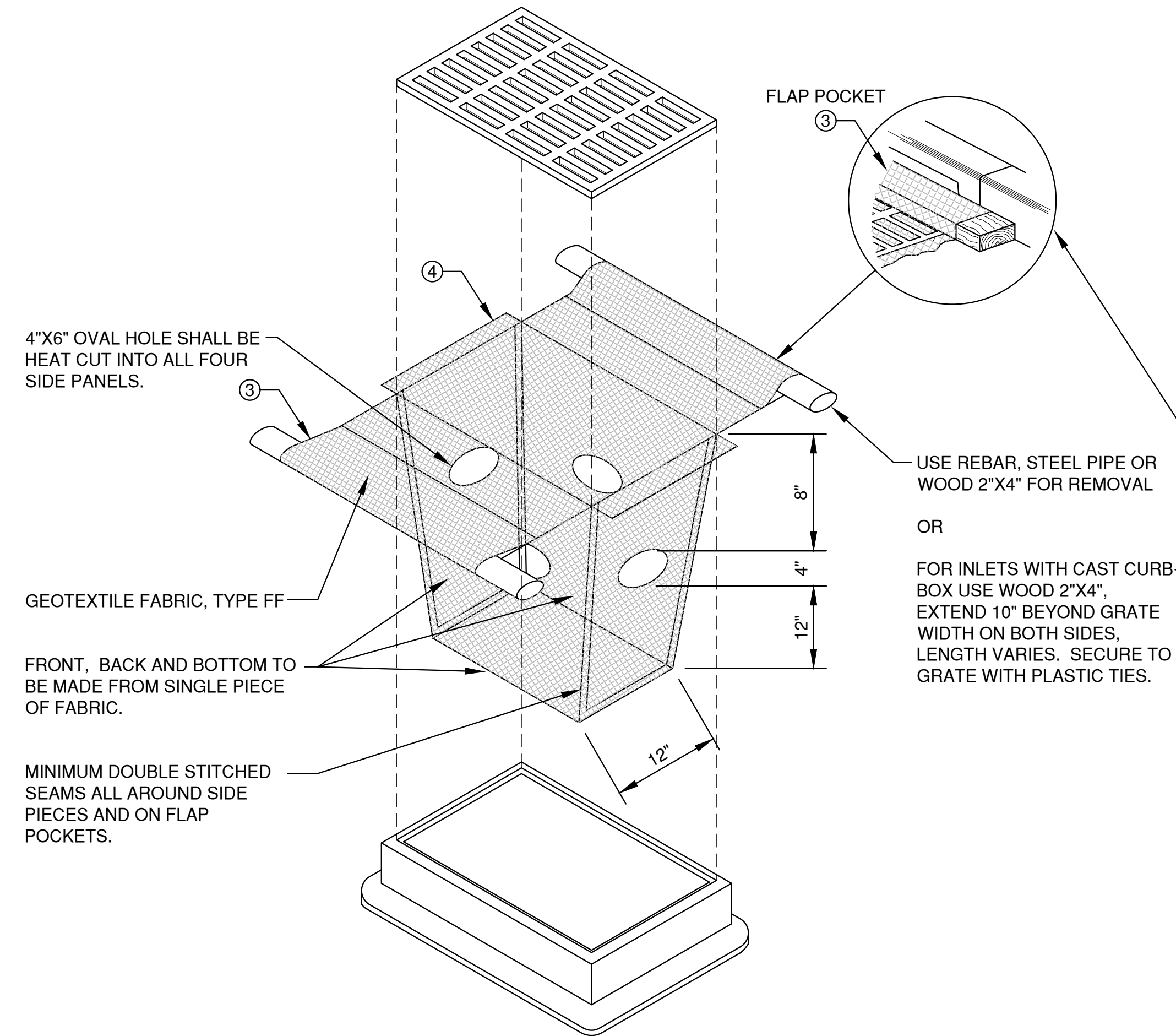
DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE "D"

DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

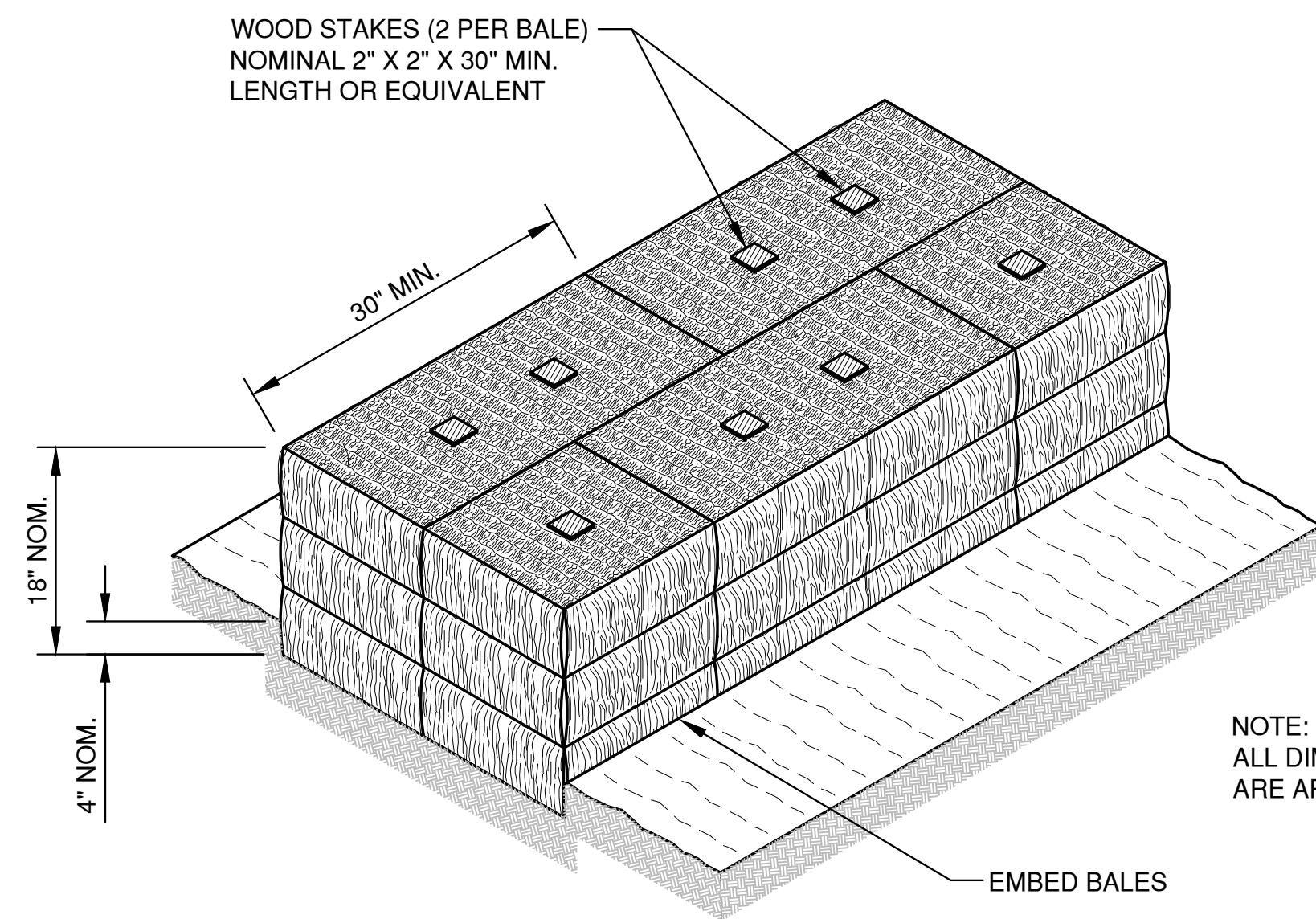
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.



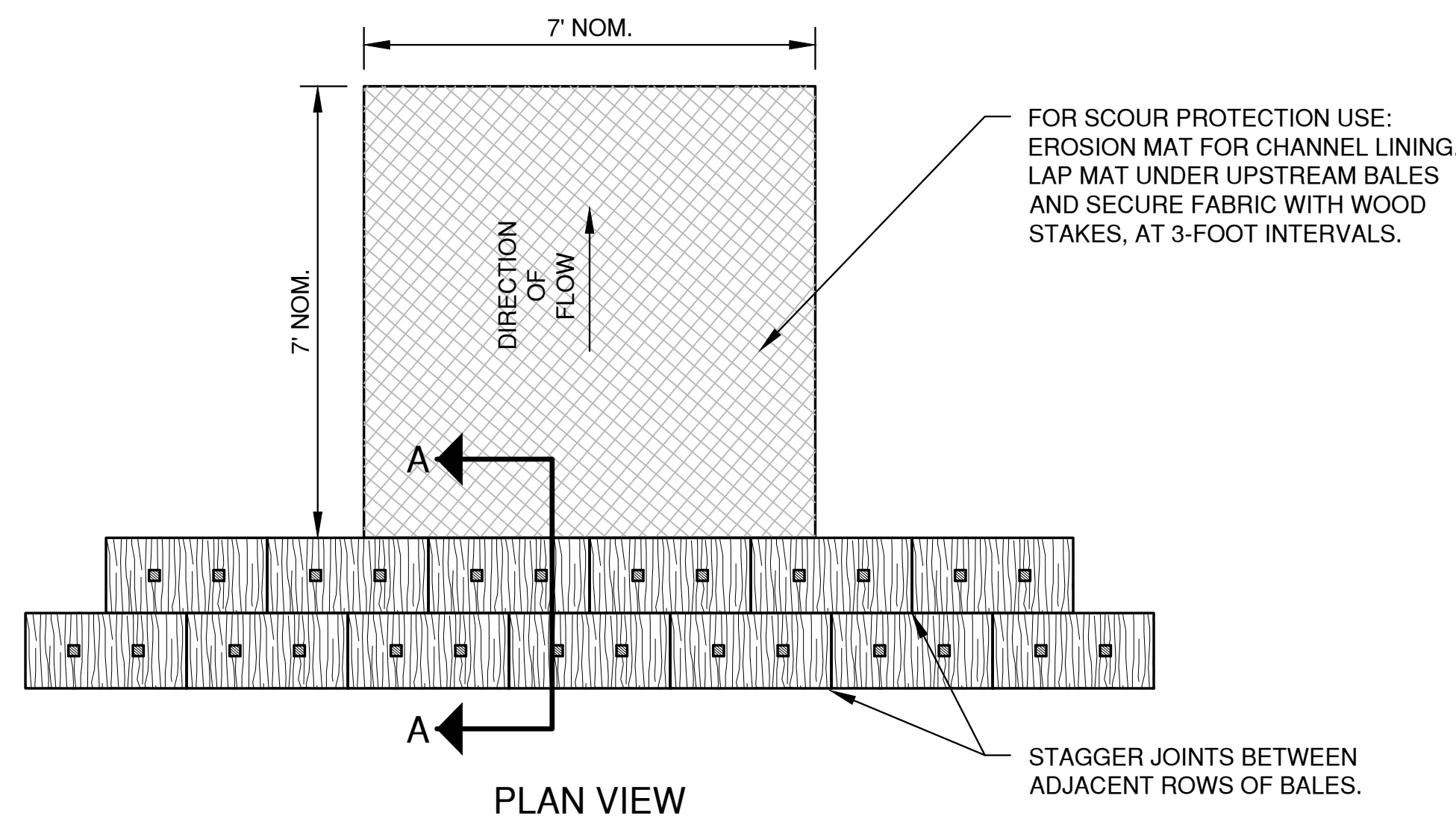
INLET PROTECTION, TYPE D

(CAN BE INSTALLED IN ANY INLET TYPE WITH OR WITHOUT CURB BOX AS PER NOTE "2")

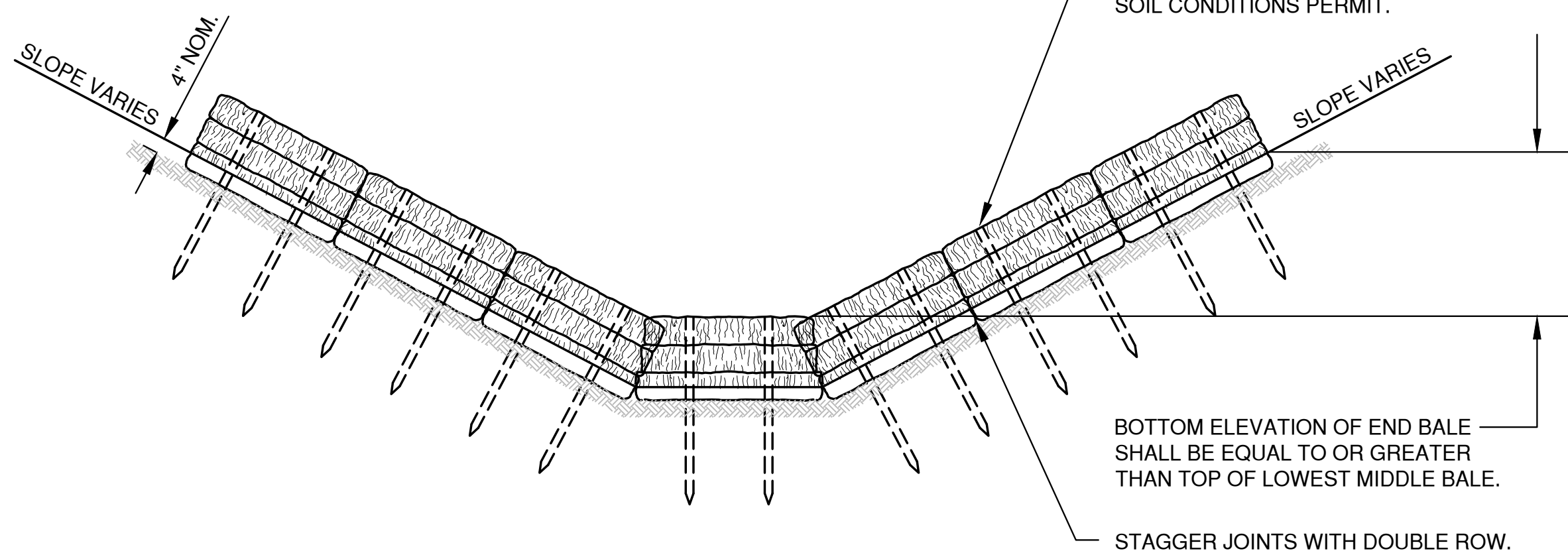
NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BLT	DE PERE CABINETS EXPANSION FOR BAYLAND BUILDINGS, INC. CITY OF DE PERE BROWN COUNTY, WISCONSIN	EROSION CONTROL INLET PROTECTION AND MISCELLANEOUS DETAILS	DATE 09/2016 FILE EROSION CONTROL JOB NO. 2015214	Robert E. Lee & Associates, Inc. ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES 1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155 920-662-9641 www.releinc.com Celebrating 60 Years of Excellence	SHEET NO. 7
								CHECKED JGS					
								DESIGNED BLT					



SECTION A-A

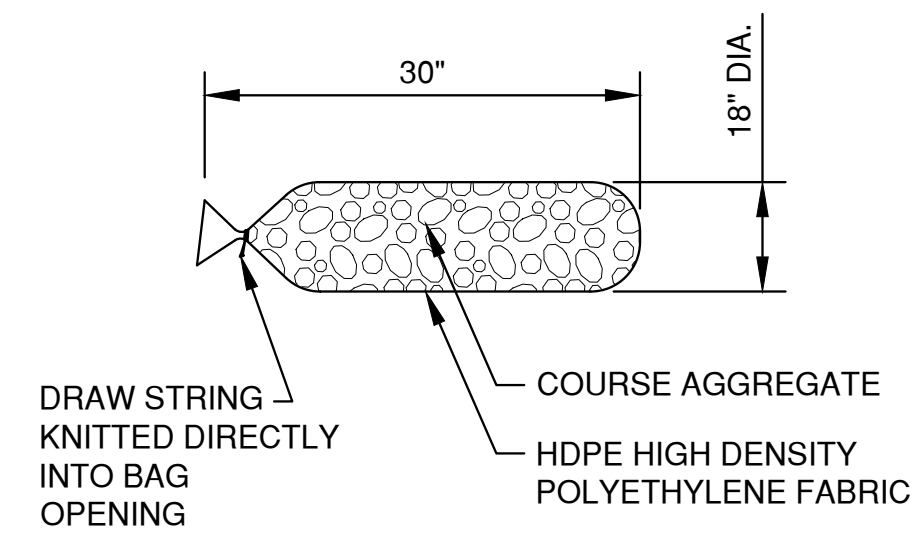


PLAN VIEW



FRONT ELEVATION

TEMPORARY DITCH CHECK USING EROSION BALES
TYPE A

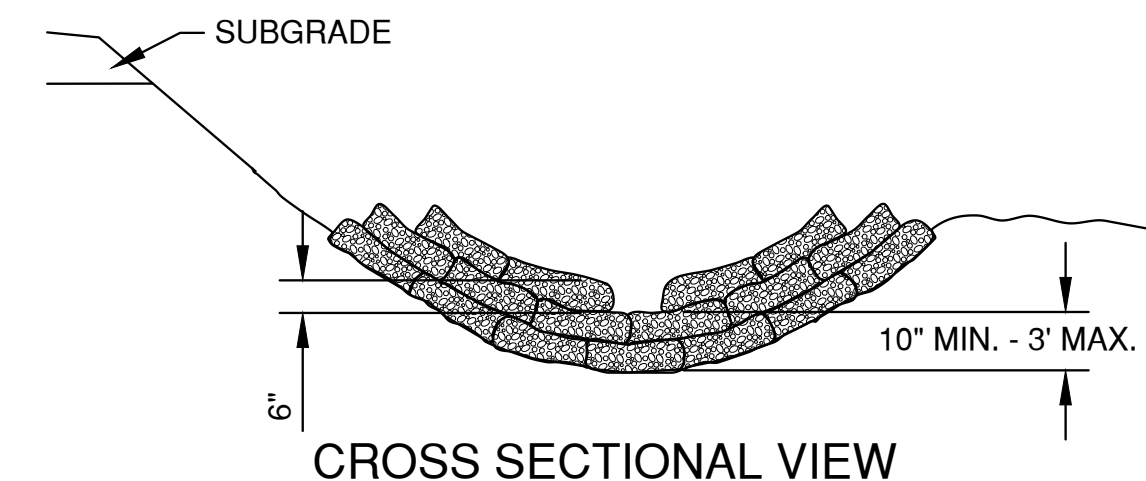


FILTER BAG DETAIL

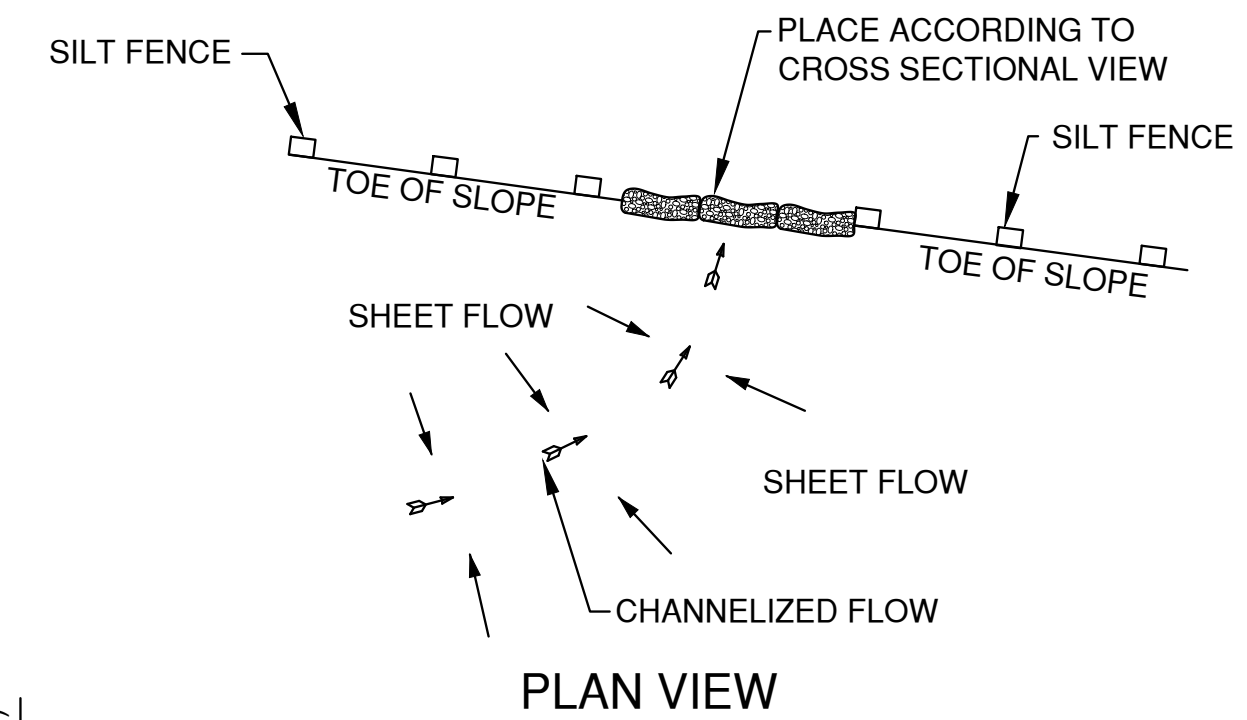
COURSE AGGREGATE INFORMATION		
SIEVE SIZE	SIZE NO.	AASHTO No. 67 (1)
2 INCH (50 mm)	-	-
1 1/2 INCH (37.5mm)	-	-
1 INCH (25.0 mm)	100	-
3/4 INCH (19.0mm)	90-100	-
3/8 INCH (9.5mm)	20-55	-
No. 4 (4.75mm)	0-10	-
No. 8 (2.36mm)	0-5	-

(1) SIZE No. ACCORDING TO AASHTO M 43

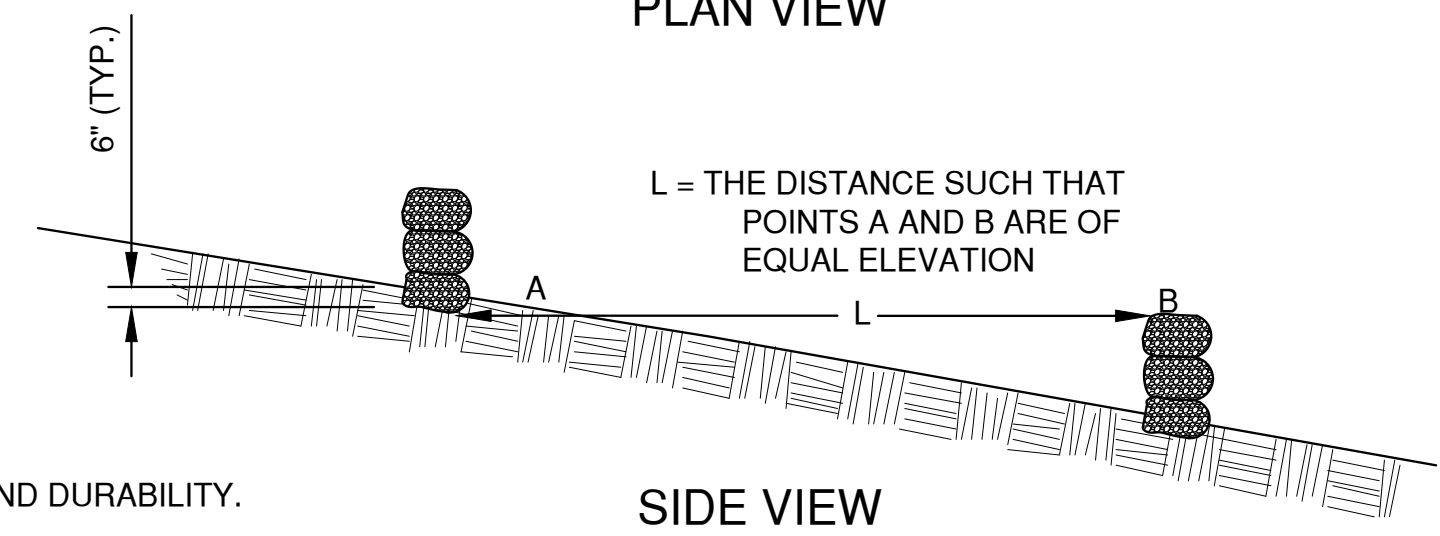
NOTES:
18" X 30" ROCK FILLED FILTER BAG SHALL BE COMPRISED OF THE FOLLOWING:
HDPE HIGH DENSITY POLYETHYLENE
HDPE HIGH DENSITY POLYETHYLENE DRAW STRING KNITTED DIRECTLY INTO BAG OPENING.
80% FABRIC CLOSURE WITH APPARENT OPENING SIZE NO LARGER THAN 1/8" X 1/8"
ROLLED SEAM USING A MINIMUM OF 480 DENIER POLYESTER SEWING YARN FOR STRENGTH AND DURABILITY.
USE WELL GRADED COURSE AGGREGATE CONFORMING TO THE FOLLOWING GRADATION REQUIREMENTS



CROSS SECTIONAL VIEW



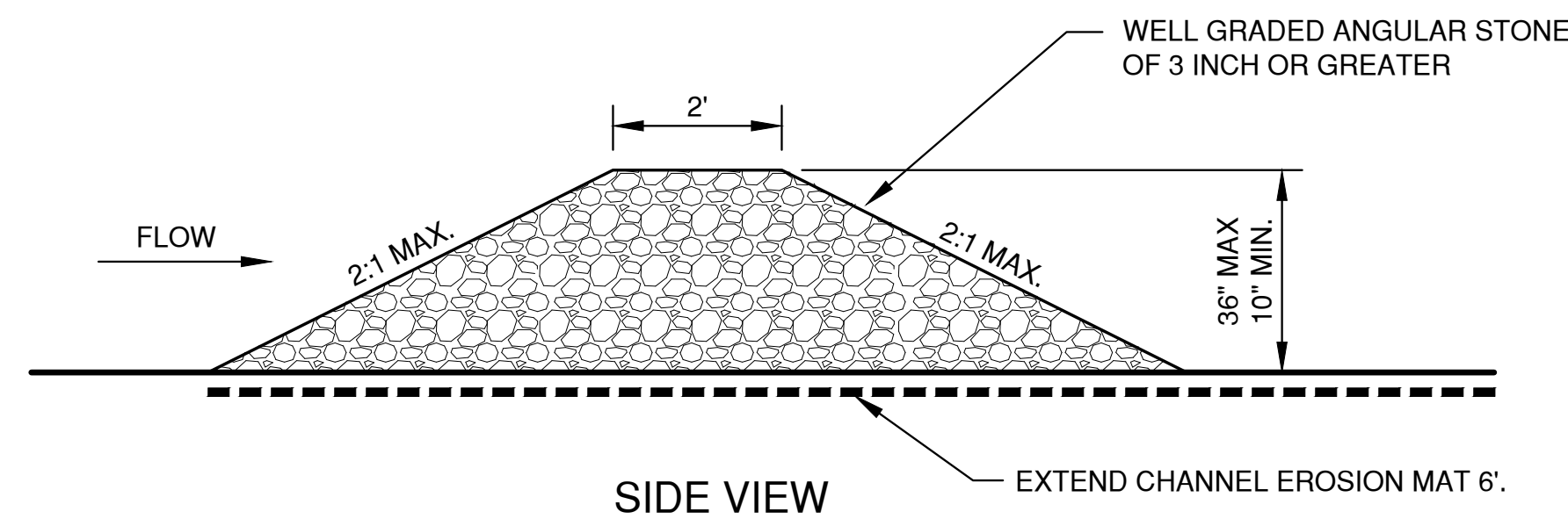
PLAN VIEW



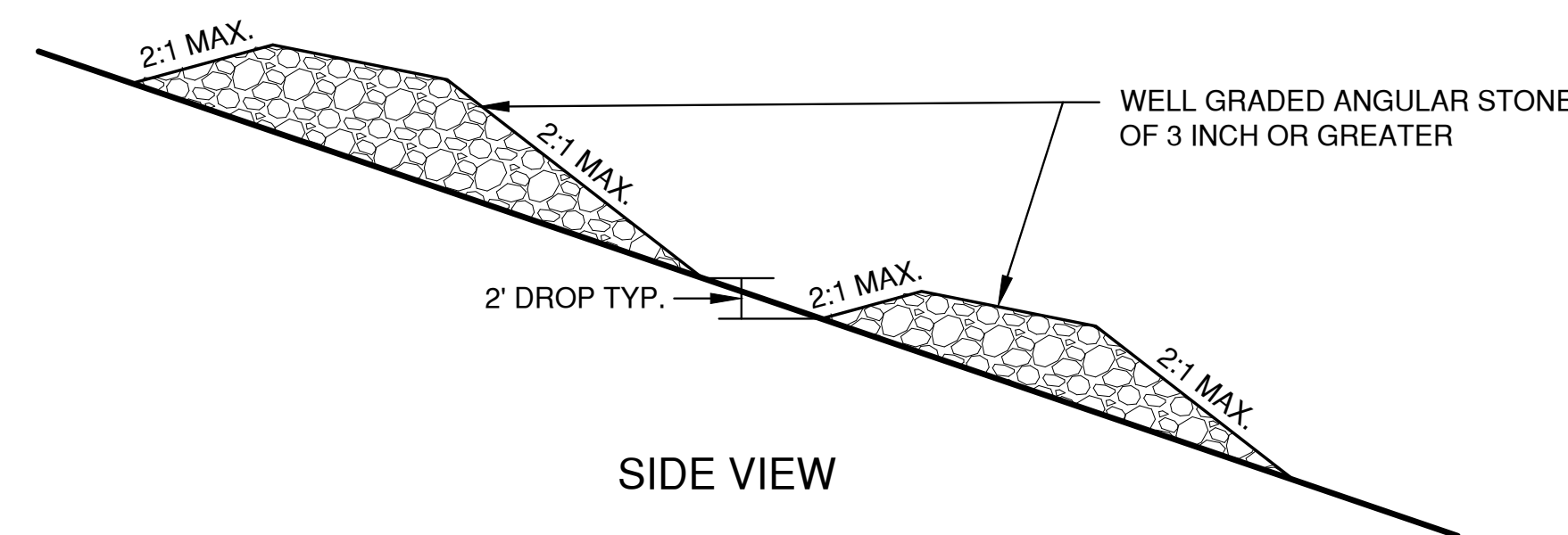
SIDE VIEW

DITCH CHECK DETAIL

ROCK FILLED EROSION CONTROL BAGS
TYPE B



SIDE VIEW



SIDE VIEW

TEMPORARY DITCH CHECK USING STONE
TYPE C

File: R:\2000-2019\2015214.dwg, EROSION CONTROL.dwg
Plot Date: Sep 30, 2016 11:32am
LAYOUT: DITCH CHECKS
DITCH CHECKS

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BLT
								CHECKED JGS
								DESIGNED BLT

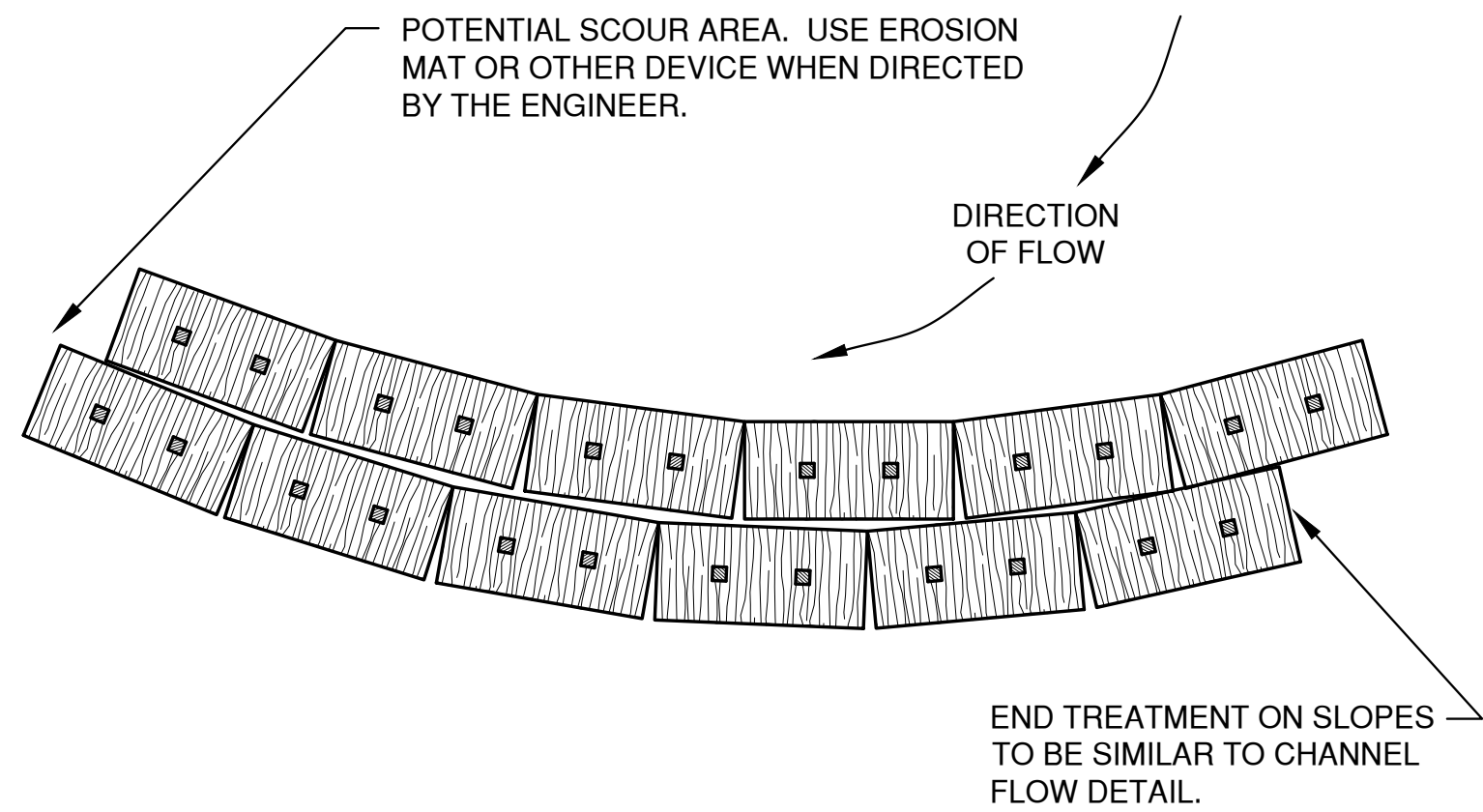
DE PERE CABINETS EXPANSION
FOR BAYLAND BUILDINGS, INC.
CITY OF DE PERE
BROWN COUNTY, WISCONSIN

EROSION CONTROL
DITCH CHECK DETAILS

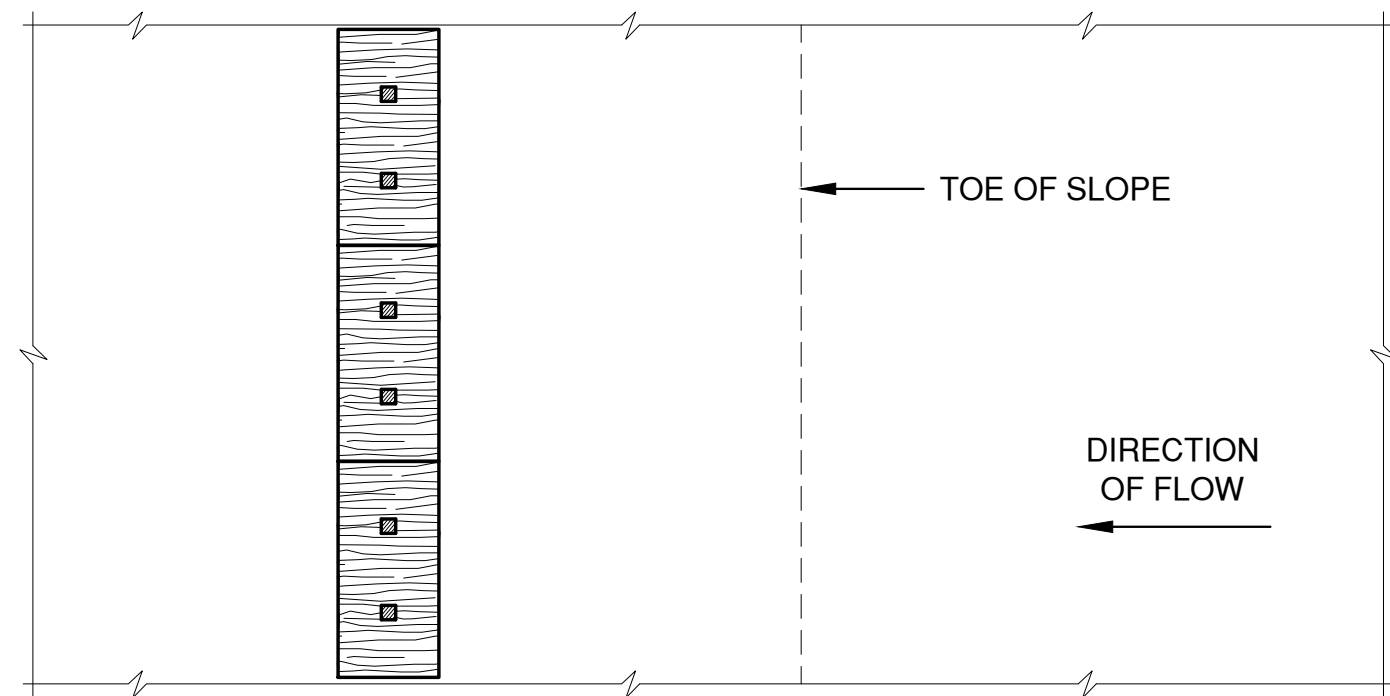
DATE 09/2016
FILE EROSION CONTROL
JOB NO. 2015214



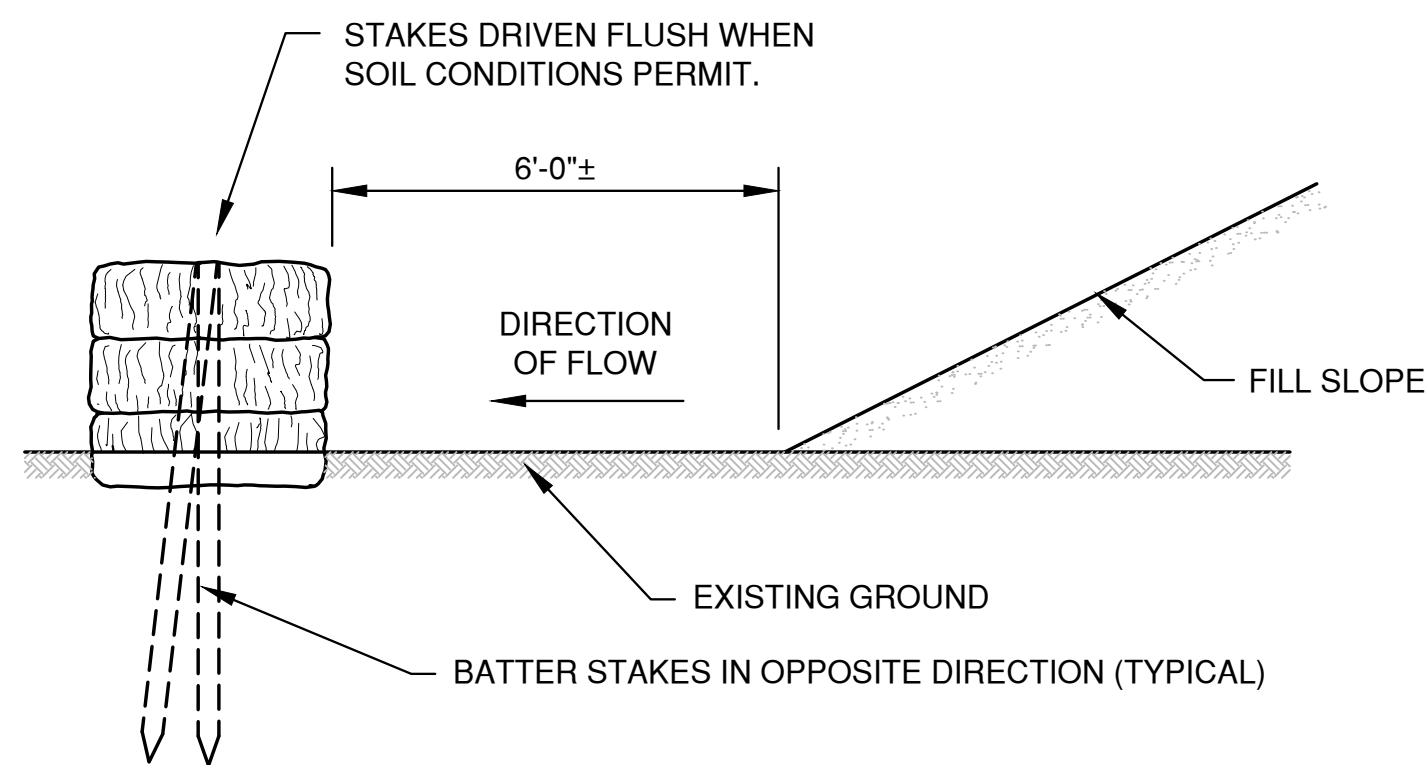
Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155
920-662-9641 www.releeinc.com
Celebrating 60 Years of Excellence



PLAN VIEW
(WHEN ALTERING THE DIRECTION OF FLOW)

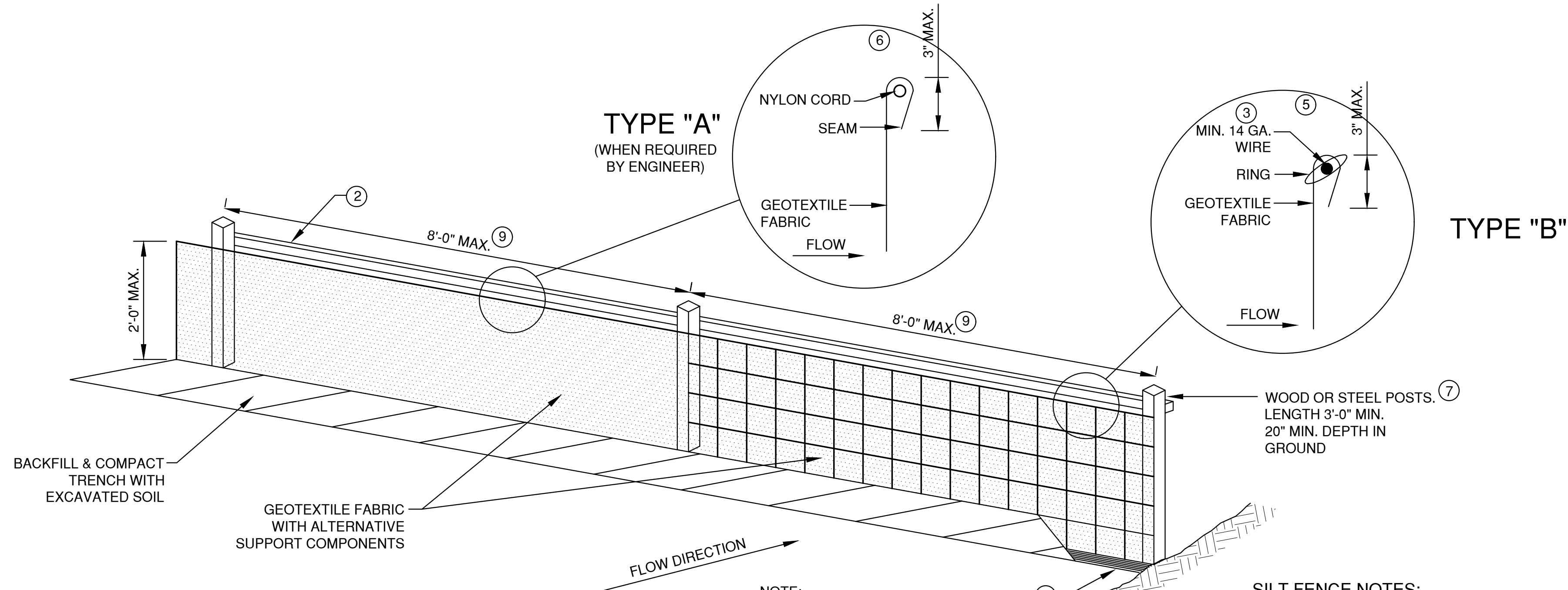


PLAN VIEW

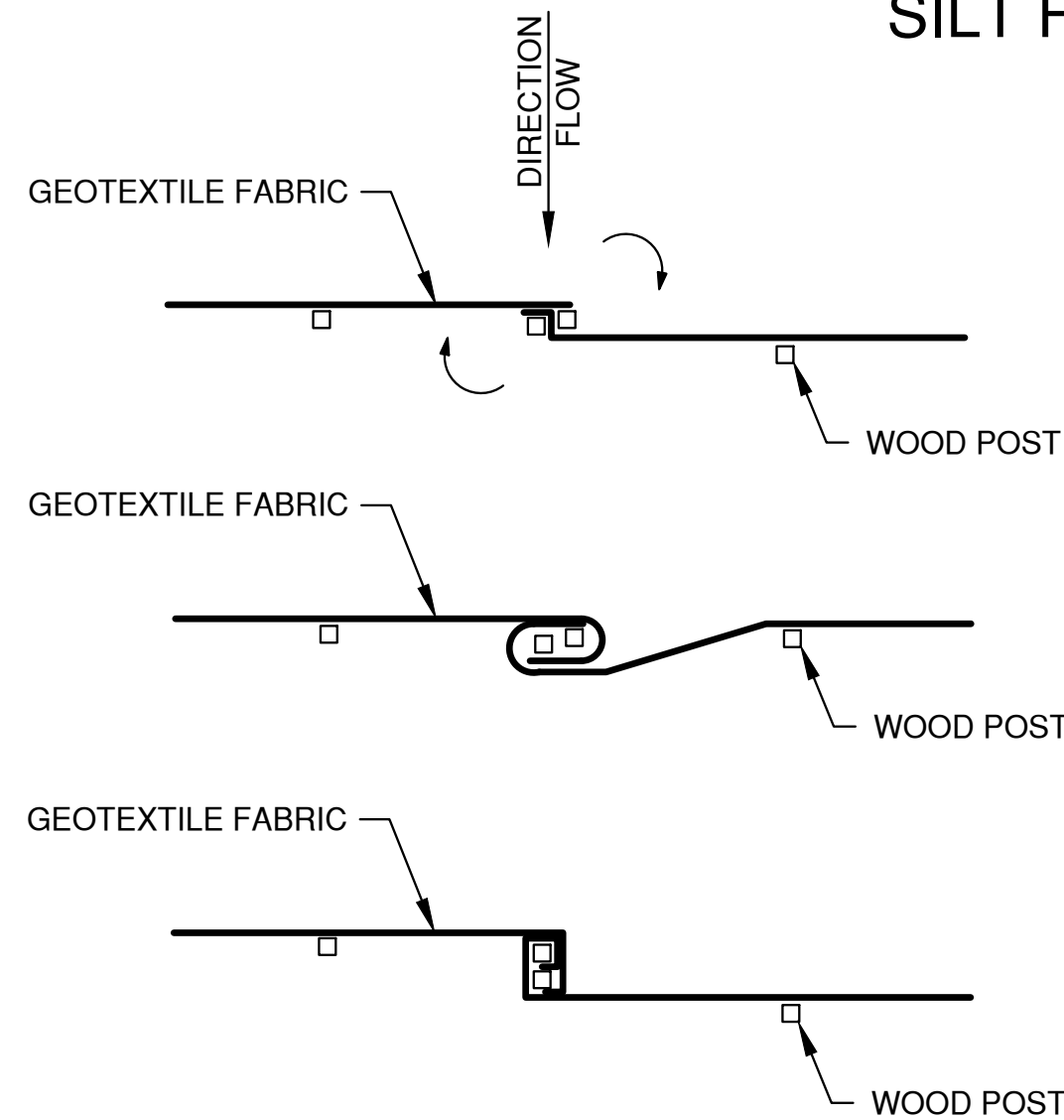


FRONT ELEVATION
WHEN EXISTING GROUND SLOPES AWAY FROM FILL SLOPE

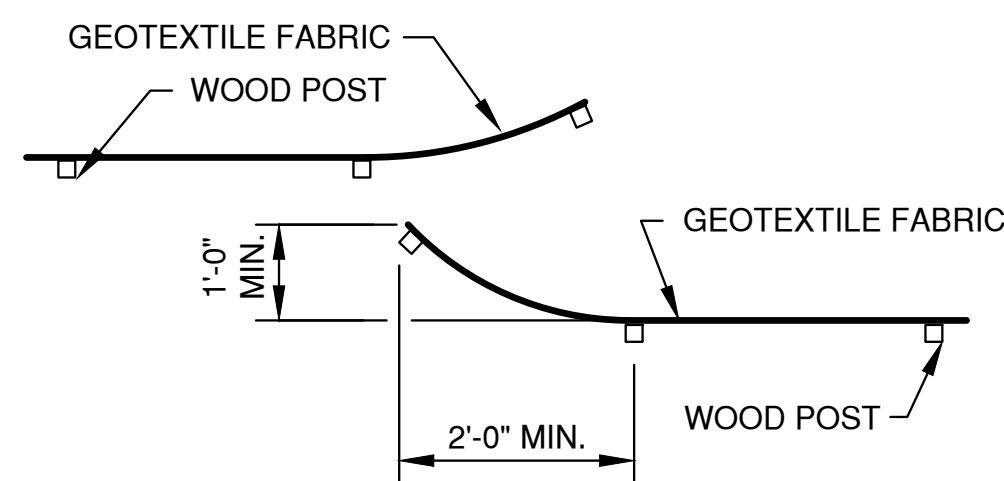
EROSION BALES FOR SHEET FLOW



SILT FENCE DETAIL

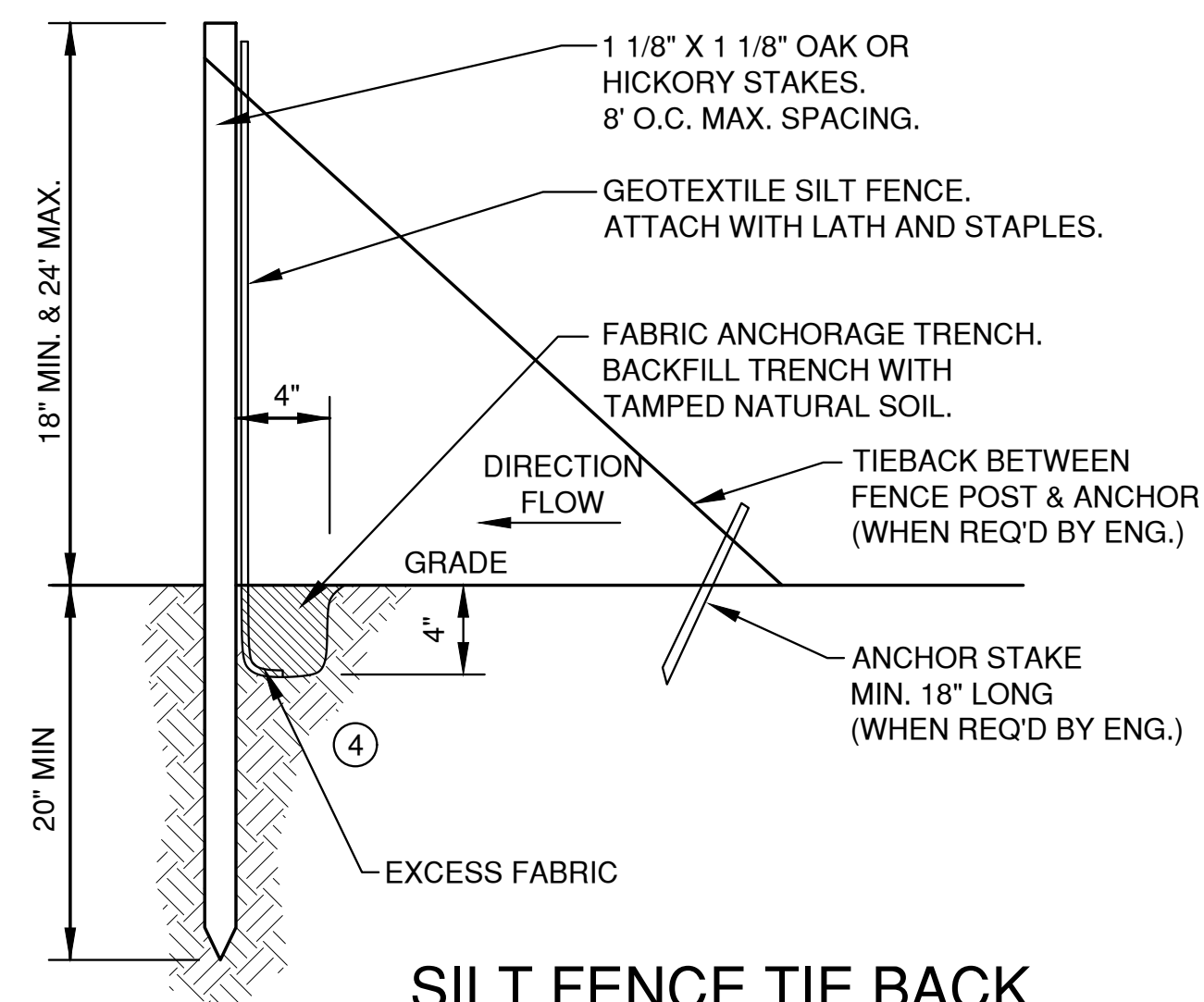


TWIST METHOD ⑧



HOOK METHOD ⑧

JOINING TWO LENGTHS OF SILT FENCE



SILT FENCE TIE BACK

SILT FENCE NOTES:

- ① EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD.
- ② CROSS BRACE WITH 2" X 4" WOODEN FRAME OR EQUIVALENT AT TOP OF POSTS AS DIRECTED BY THE ENGINEER.
- ③ MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
- ④ EXCAVATE A TRENCH A MINIMUM OF 4" WIDE & 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL & COMPACT TRENCH WITH EXCAVATED SOIL.
- ⑤ WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- ⑥ GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- ⑦ STEEL POSTS SHALL BE STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.28 LBS./LIN. FT. (WITHOUT ANCHOR) FIN ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY.
- ⑧ CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A.) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES. B.) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.
- ⑨ THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.

EROSION CONTROL SHEET FLOW NOTES:

1. ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
2. A MINIMUM OF 4 INCHES OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDDED OR SODDED.
3. ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
4. ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY.
5. ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
6. FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
7. ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE DNR.
8. WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
9. CONTRACTOR RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS, LATEST EDITION.
10. UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
11. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE PER WEEK AND BEFORE ALL IMMINENT RAINS.
12. EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5 INCH OR MORE.

File: P:\2000-2010\2012\44\44\EROSION CONTROL.dwg
Plot Date: Sep 30, 2016 11:32:10am
LAYOUT: SHEET FLOW
SHEET FLOW

NO.	DATE	APPROV.	REVISION	NO.	DATE	APPROV.	REVISION	DRAWN BLT
								CHECKED JGS
								DESIGNED BLT

DE PERE CABINETS EXPANSION
FOR BAYLAND BUILDINGS, INC.
CITY OF DE PERE
BROWN COUNTY, WISCONSIN

EROSION CONTROL
SHEET FLOW DETAILS

DATE 09/20/16
FILE EROSION CONTROL
JOB NO. 2005214



Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD HOBBART, WI 54155
920-662-9641 www.releeinc.com
Celebrating 60 Years of Excellence

SHEET NO.
9

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: November 1, 2016

DEPARTMENT: Planning

FROM: Peter Schleinz

SUBJECT: Recommendation regarding a street name change for the suffix of Innovation Court to change to Innovation Drive, located south from Southbridge Road. Submitted by City of De Pere.*

ATTACHMENTS:

- Report to Plan Commission - Innovation Street Name (DOCX)
- Site Map (PDF)
- 61 CSM 152 - Modified (PDF)

- Item 6: Recommendation regarding a street name change for the suffix of Innovation Court to change to Innovation Drive, located south from Southbridge Road. Submitted by City of De Pere.*

SITE MAP



REQUESTED ACTION: Street Name Change request.

On the south side of Southbridge Road only, change the suffix name of Innovation Court to Innovation Drive.

COMMON DESCRIPTION:	Innovation Court, located on the south side of Southbridge Road only.
PARCEL NUMBERS:	Not applicable.
EXISTING ZONING:	Not applicable.
PROPOSED ZONING:	Not applicable.
SURROUNDING LAND USES:	Vacant agricultural uses.
COMPREHENSIVE PLAN:	Commercial and commercial park development.
APPLICANT NAME:	City of De Pere
SITE HISTORY:	In 2012, Innovation Court was created by Certified Survey Map on the <u>north side</u> of Southbridge Road. In 2016, a street opposite Innovation Court was created by a different Certified Survey Map on the <u>south side</u> Southbridge Road. The new street on the south side was inappropriately given the repeated name of "Innovation Court." The new street primary name "Innovation" is proper. However, the suffix "Court" likely will cause confusion for the public, businesses and emergency vehicles because of redundant naming, and the term "Court" referencing a cul-de-sac when the street likely will be a through street in the future.
REVIEW:	When reviewing a street name change request, staff considers the logic and appropriateness of a new name, the avoiding of repeating names, and ease of wayfinding for the public, businesses, and emergency vehicles. The proposed street suffix change would do the following: • The suffix "Court" is typically used for cul-de-sacs and "Drive" is typically used for through streets. The suffix is logical and appropriate as the proposed future of the street is to one day be extended to connect to another right-of-way as a through street. • "Innovation Drive" is not repeated elsewhere in Brown County. • By having a unique suffix, with a prime name that matches the opposite street, ease of public, business, and emergency wayfinding is maximized. For street name change applications, the Plan Commission provides a recommendation to the Common Council. The Common Council then reviews a resolution to change the street name.
STAFF RECOMMENDATION:	Staff recommends APPROVAL of the street name change request with no conditions.

Street Name Change: Innovation Court to Innovation Drive



This map was produced utilizing a variety of sources the City of De Pere reasonably believes are reliable, including GIS data, some of which was under development at the time this map was produced. The City of De Pere makes no warranty, either expressed or implied, including no warranty as to fitness for a particular use, of the information contained in or comprising this map.

Map of De Pere, WI Provided By The De Pere Planning/GIS Department



10/18/2016

Packet Pg. 47

Attachment: Site Map (5229 : Recommendation regarding a street name change for the suffix of Innovation Ct to change to Innovation Drive)

8641

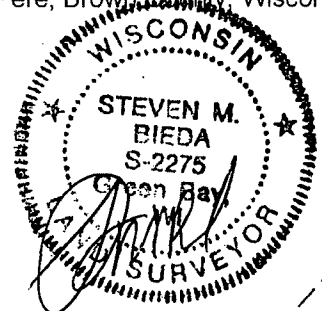


Curve Data

CURVE	ARC LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING	CENTRAL ANGLE	TANGENT BEARING
1-2	382.71	353.65	364.31	S88°40'35"E	62°00'16"	N60°19'18"E, S57°40'27"E
3-4	188.39	553.41	187.48	S48°21'26"W	19°30'16"	N38°36'18"E, S58°06'34"W
5-6	186.00	633.41	185.33	N46°56'48"E	16°49'30"	N38°32'03"E, S55°21'33"W

Certified Survey Map

All of Lot 1, Volume 43, Certified Survey Maps, Page 271, Map No. 6530, Document No. 1882893, Brown County Records, being located in part of Lot 59, Williams Grant Subdivision, City of DePere, Brown County, Wisconsin.



January 5, 2016
revised February 19, 2016
revised March 8, 2016

Scale: 1" = 150'

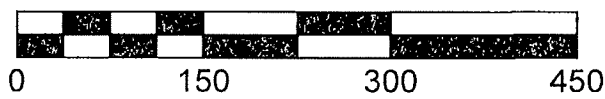


Bearings referenced to the North line of Williams Grant, assumed to be S52°43'53"E

Legend

- 1.32" (o.d.) x 18" iron pipe with cap weighing 1.68 lbs/lin ft set
- 1" iron pipe found
- ⊕ Brown County monument - type noted

D.T.T.P. dedicated to the public



2736570

Sheet One of Three
Project No.: C-10905
Drawing No.: L-9448

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

Client: Mark Soderlund
Tax Parcel: WD-L436-2
Drafted By: MRA
File: C-10905CSM 121715.dwg



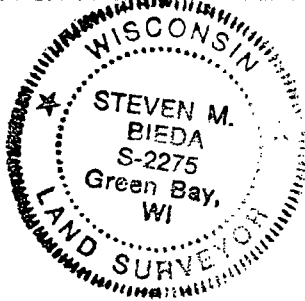
SURVEYOR'S CERTIFICATE

I, Steven M. Bieda, Professional Land Surveyor, PLS-2275, do hereby certify that I have surveyed, divided and mapped Lot 1, Volume 43, Certified Survey Maps, Page 271, Map No. 6530, Document No. 1882893, Brown County Records, being part of Lot 59, Williams Grant Subdivision, City of DePere, Brown County, Wisconsin.

Parcel contains 381,771 square feet / 8.76 acres more or less.
 Right of way dedication contains 24,866 square feet / 0.57 acres more or less.
 Parcel subject to easements and restrictions of record.

That such plat is a correct representation of all the exterior boundaries of the land survey and the division thereof. That I have made such a survey, land division and plat by the direction of the owners listed hereon. That I have fully complied with the provisions of Chapter 236, section 236.34 of the Wisconsin Statutes and the City of DePere, in surveying, dividing and mapping the same.


 Steven M. Bieda PLS-2275
 January 5, 2016
 revised February 19, 2016
 revised March 8, 2016



NOTES

A Shoreland Permit from the Brown County Zoning Administrator's office is required prior to any construction, fill, or grading activity within 300 feet of a stream.

No improvements or structures are allowed between the right of way and the highway setback line. Improvements and structures include, but are not limited to signs, parking areas, driveways, wells, septic systems, drainage facilities, buildings and retaining walls. It is expressly intended that this restriction is for the benefit of the public as provided in section 236.293, Wisconsin Statutes, and shall be enforceable by the Department of Transportation or its assigns. Contact the Wisconsin Department of Transportation District Office for more information. The phone number may be obtained by contacting the County Highway Department.

The lots of this land division may experience noise at levels exceeding the levels in S. Trans 405.04 Table I. These levels are based on federal standards. The Department of Transportation is not responsible for abating noise from existing state trunk highways or connecting highways, in the absence of any increase by the department to the highway's through-lane capacity.

All lots and blocks are hereby restricted so that no owner, possessor, user, licensee or other person may have any right of direct vehicular ingress from or egress to any highway lying within the right of way of French Road and/or Southbridge Road; it is expressly intended that this restriction constitute a restriction from the benefit of the public as provided in S. 236.293, STATS., and shall be enforceable by the Department or its assigns. Any access shall be allowed only by special exception. Any access allowed by special exception shall be confirmed and granted only through the driveway permitting process and all permits are revocable.

Lots 1-2 include wetland areas that may require permits from the Wisconsin Department of Natural Resources, Army Corp of Engineers, Brown County Planning Commission, or the local municipality Zoning Administrator's office prior to any development activity.

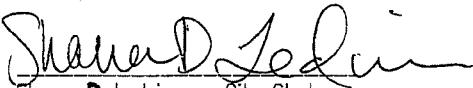
RESTRICTIVE COVENANTS

The land on all side and rear lot lines of all lots shall be graded by the property owner and maintained by the abutting property owners to provide for adequate drainage of surface water.

Lots 1-2 contain an environmentally sensitive area (ESA) as defined in the Brown County Sewage Plan. The ESA includes wetlands, all lands within 35 feet of wetlands 2 acres in size, and all land within 75 feet of the ordinary high water mark of navigable waterways. Development and land disturbing activities are restricted in the ESA unless amendments are approved by the Brown County Planning Commission and the Wisconsin Department of Natural Resources.

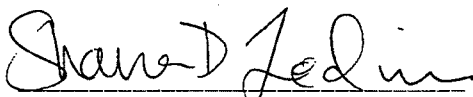
CERTIFICATE OF THE CITY OF DE PERE

Approved for the City of DePere this 11 day of March, 2016.


 Shana D. Ledvina - City Clerk

CERTIFICATE OF THE TREASURER

As City of DePere Treasurer, I hereby certify that the records in my office show no unredeemed tax sales and no unpaid taxes or special assessments affecting any of the lands included in this Certified Survey Map as of the dates listed below.

 3/11/2016
 Shana D. Ledvina Date
 City of DePere Treasurer



Sheet Two of Three
 Project No.: C-10905
 Drawing No.: L-9448.

2736570



OWNER'S CERTIFICATE

As Owners, we hereby certify that we caused the land described on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented hereon. We also certify that this Certified Survey Map is required by S.236.10 or S.236.12 to be submitted to the following for approval or objection:

CITY OF DE PERE

Mark E. Soderlund
Mark E. Soderlund
undivided 1/2 interest

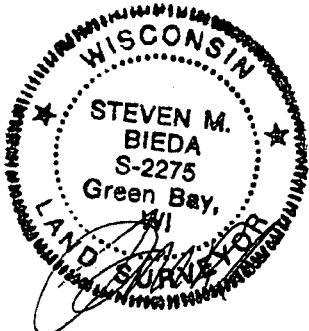
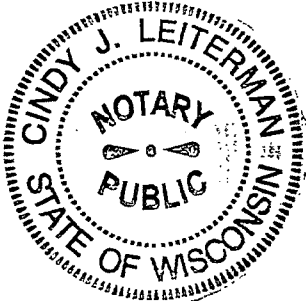
Michael P. Fleming
Michael P. Fleming
undivided 1/2 interest

Personally came before me this 11 day of March, 2016 the above named owners, to me known to be the persons who executed the foregoing instrument and acknowledged the same.

Cindy J. Leiterman
Notary Public
Brown County, Wisconsin

My Commission Expires 9-20-19

STATE OF WISCONSIN]
COUNTY OF BROWN] SS



January 5, 2016
revised February 19, 2016
revised March 8, 2016

Office of the Register of Deeds
Brown County, Wisconsin

Received for Record 3/14, 2016
at 1:32 o'clock PM and recorded as
Document # 2736570 in
Volume 41 of ams on Page 152
154
Delma A. Dore, Deputy
Cathy Williquette Lindsay, Register of Deeds

Sheet Three of Three
Project No.: C-10905
Drawing No.: L-9448