



# Board of Public Works

## Regular Meeting

335 South Broadway  
De Pere, WI 54115  
[www.deperewi.gov](http://www.deperewi.gov)

## Agenda

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Monday, January 12, 2026

7:30 PM

Council Chambers and Virtual

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Pursuant to Wisconsin Statute 19.84, Notice is hereby given to the public that a meeting of the **Board of Public Works** of the City of De Pere will be held on **January 12, 2026 at 7:30 PM** in the **COUNCIL CHAMBERS, 2ND FLOOR CITY HALL, 335 S. BROADWAY STREET, DE PERE.**

**The Public or Members of the Board of Public Works, which may count toward an official quorum, may attend the meeting either in person in the Council Chambers or telephonically or electronically via video conferencing or other appropriate technological means. Telephonic or electronic access to the meeting is provided below:**

Computer/smart phone accessing <https://www.gotomeet.me/DePere>

OR

**You can also dial in using your phone.**  
United States (Toll Free): [1 866 899 4679](tel:18668994679)  
United States: [+1 \(312\) 757-3117](tel:+13127573117)  
Access Code: 154-883-285

*This meeting may also be rebroadcast on TV throughout the week and available on demand at <https://deperewi.portal.civicclerk.com/>.*

- I. Call to Order
  1. Roll Call
- II. Public Comment on Matters not on the Agenda. Comments made during the public comment period shall pertain only to matters under the jurisdiction of the Board of Public Works. §6-3(f) DPMC
- III. Items
  1. Approval of the December 8, 2025 Board of Public Works Meeting Minutes
  2. Consideration and possible action on DOT/Municipal – Maintenance Agreement for Southbridge Interchange\*
  3. Consideration and possible action on Approval of Project 4190-17-21 Transportation Plat\*
  4. Consideration and possible action on Sidewalk Access to Marquette Square
  5. Consideration and possible action on the 2026 Storm Lateral Assessment Charge for Existing Non-Residential Properties

6. Consideration and possible action on the 2026 Storm Lateral Assessment Charge for Existing Residential Properties

IV. Future Agenda Items

V. Adjournment

Any person wishing to attend this meeting who, because of disability, requires special accommodations should contact the Public Works Department at 920-339-4060 by noon on the previous day so that arrangements can be made.

Agenda Sent To:

Alderspersons

City Manager

Mayor

Department Heads

TV, Newspapers & Radio Stations

Kress Family Library

De Pere Chamber of Commerce

Definitely De Pere



City of De Pere, Wisconsin

III.1

**Request for Board of Public Works Action**

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**MEETING DATE:** January 12, 2026  
**DEPARTMENT:** Public Works  
**FROM:** Natalie Markelz, Administrative Assistant  
**SUBJECT:** Approval of the December 8, 2025 Board of Public Works Meeting Minutes  
**RECOMMENDED ACTION:** Motion to approve.

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ATTACHMENTS:  
12-8-25 Board of Public Works minutes



# Board of Public Works

## Regular Meeting

### Minutes

335 South Broadway  
De Pere, WI 54115  
[www.deperewi.gov](http://www.deperewi.gov)

Monday, December 8, 2025

7:30 PM

Council Chambers/Virtual

I. Call to Order

1. Roll Call

**Present:** James Boyd, Dan Carpenter, Mike Eserkaln (remote), Jonathon Hansen

**Excused:** Shana Ledvina

Also present: Public Works Director Scott Thoresen, City Engineer Eric Rakers, and City Clerk Carey Danen.

II. Public Comment on Matters not on the Agenda. Comments made during the public comment period shall pertain only to matters under the jurisdiction of the Board of Public Works. §6-3(f) DPMC

None.

III. Items

1. Approval of the October 13, 2025 Board of Public Works Meeting Minutes.

<b>RESULT:</b>	<b>APPROVED [UNANIMOUS]</b>
<b>MOVER:</b>	James Boyd
<b>SECONDER:</b>	Dan Carpenter
<b>AYES:</b>	James Boyd, Dan Carpenter, Mike Eserkaln, Jonathon Hansen

2. Consider and Possible Action Regarding Lease Agreement for 1201 Enterprise Drive\*

Public Works Director Scott Thoresen reported that the consultant is preparing to bid the Municipal Service Center expansion project, with bid opening scheduled for February 26th. Construction is anticipated to start the first part of April. Because operations will have to be temporarily relocated during the project, staff found office space to lease at 1201 Enterprise Drive. It is just over 4,000 square feet and the rent is \$4,500 per month. Thoresen explained that funding for the lease is included in the borrowing for the expansion. Discussion followed regarding the lease payment funding, and plans for signage while MSC staff are occupying the space.

<b>RESULT:</b>	<b>APPROVED PENDING LEGAL APPROVAL [UNANIMOUS]</b>
<b>MOVER:</b>	James Boyd
<b>SECONDER:</b>	Jonathon Hansen
<b>AYES:</b>	James Boyd, Dan Carpenter, Mike Eserkaln, Jonathon Hansen

3. Consideration and possible action on City Engineer Parking and Traffic Recommendations \*

City Engineer Eric Rakers reviewed the five recommendations under consideration:

- Staff is recommending to change the parking restriction on Scheuring Road from No Parking to No Stopping/Standing/Parking. If the board agrees, this will have to go to the county for final approval.
- Add No Parking signage to the hammerhead at the end of Martin Street. These bump outs were installed for City vehicles to turn around (garbage trucks, snowplows, etc.).
- Add No Parking signage to the hammerhead on Washington Street at Braisher Park. Rakers reported that staff has not notified individual residents, but has posted temporary signage.
- An ordinance update to include the bike lanes on American Boulevard that were installed in 2022.
- Install three additional One Way signs in the median of American Boulevard. There are several businesses that do not have access all the way through, and staff has received complaints about wrong-way drivers in that area.

<b>RESULT:</b>	<b>APPROVED [UNANIMOUS]</b>
<b>MOVER:</b>	James Boyd
<b>SECONDER:</b>	Dan Carpenter
<b>AYES:</b>	James Boyd, Dan Carpenter, Mike Eserkalm, Jonathon Hansen

4. Discuss City Engineer Recommendations on No Action Parking and Traffic Discussion Items.

The first request was to install a crosswalk sign at the intersection of Fourth Street and Lande Street. Staff evaluated the request, and determined that average daily traffic numbers did not warrant an additional crosswalk sign. City Engineer Eric Rakers noted that there are multiple crosswalks along the Fourth Street corridor, and not all of them have signage. The second request was to replace the stop sign at the intersection of Fourth and Third Streets with a yield sign. Staff determined that the sharp angle of that intersection makes it difficult for drivers to look left and therefore feel that the stop sign is safer.

5. Consideration and possible action on 2026 Private, Full-Length Sanitary Sewer Lateral Reimbursement Rates. \*

City Engineer Eric Rakers reported that current policy allows for the City to contribute up to \$3,000 if a property owner is doing their own work on their sanitary line. Staff is recommending that the reimbursement be increased to \$3,300 in order to reflect current costs; he noted that staff plans to update the amount each year going forward.

<b>RESULT:</b>	<b>APPROVED [UNANIMOUS]</b>
<b>MOVER:</b>	James Boyd
<b>SECONDER:</b>	Dan Carpenter
<b>AYES:</b>	James Boyd, Dan Carpenter, Mike Eserkalm, Jonathon Hansen

#### 6. Discuss Southbridge Corridor Sidewalk

Public Works Director Scott Thoresen reported that staff asked Brown County if they would be willing to construct the sidewalk out of concrete instead of asphalt; the county responded that this would significantly increase costs. Discussion followed. Thoresen confirmed that the sidewalk base will be constructed to accommodate the weight of maintenance vehicles. He stated that the City will handle snow removal on the sidewalk, and will confirm whether replacement costs would be the responsibility of the property owners.

#### IV. Future Agenda Items

None.

#### V. Adjournment

Mayor Boyd moved, seconded by Alderperson Carpenter to adjourn the meeting at 8:00 PM. Upon vote, motion carried unanimously.

Respectfully submitted,  
City Clerk Carey Danen



**Request for Board of Public Works Action**

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<b>MEETING DATE:</b>	January 12, 2026
<b>DEPARTMENT:</b>	Public Works
<b>FROM:</b>	Scott Thoresen, Public Works Director
<b>SUBJECT:</b>	Consideration and possible action on DOT/Municipal – Maintenance Agreement for Southbridge Interchange*
<b>RECOMMENDED ACTION:</b>	Staff recommends the BOPW approve this agreement and forward to Council for approval.

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**ATTACHMENTS:**

DOT Southbridge Interchange Maintenance Agreement 1-6-2026, 11306877 C De Pere  
Southbridge Interchange SMMA ORG Final

# CITY OF DE PERE MEMO



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To: Honorable Mayor Boyd  
Board of Public Works Members

From: Scott J. Thoresen, Director of Public Works

Date: January 6, 2026

RE: Consideration and possible action on DOT –Maintenance Agreement for Southbridge Interchange\*

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Attached is the State/Municipal Maintenance Agreement for the Southbridge interchange. This agreement details who is responsible for what items along each of the roadways during construction and once the project is complete. The City's primary maintenance responsibility include:

- Innovation Court
- French Road
- Colored stain for bridge
- Colored concrete and landscaping for the roundabouts at French / Innovation Court and interchange on the east side.
- Street lighting for French Road / Innovation Court roundabout.

Staff recommends the BOPW approve this agreement and forward to Council for approval.



**STATE/MUNICIPAL  
MAINTENANCE  
AGREEMENT**

Date 12/2/2025  
ID: 1130-68-81/1130-68-77  
Road Name: IH 41  
Limits: SBC Interchange  
County: Brown

The signatory **City of De Pere**, hereinafter called the Municipality, through its undersigned duly authorized officers or officials, hereby requests the State of Wisconsin Department of Transportation, hereinafter called the State, to initiate and affect this agreement to include the associated maintenance responsibilities hereinafter described.

The authority for the Municipality to enter into this agreement with the State is provided by Section 84.07(1) of the Statutes. Wisconsin statutes, Wisconsin Administrative Code, and State policy serve as the defining documents for State Highway maintenance responsibilities.

**DESCRIPTION OF FACILITY:**

**Facility description upon completion of State project** – As determined by project ID 1130-68-81/1130-68-77.

A new interchange at IH 41 and Southbridge Road (Future County EB and County GV) will be constructed as part of this project. Ahead of this project, work will begin on early embankment placement at the new interchange along with the re-alignment of both frontage roads. Mid Valley Drive will be constructed from 2000’ north of Birchwood Road to Quarry Park Drive. Work will also include the new construction of French Road from Creamery Road to the north and temporary Innovation Court from Southbridge Road to existing Innovation Court. Four new roundabouts will be constructed along County EB/County GV at the intersections with Mid Valley Drive, IH 41 SB ramps, IH 41 NB ramps, and French Road. New storm sewer will be installed within the project limits. Sidewalk and street lighting will be included at each roundabout and along the corridor within the project limits. MUTCD compliant signing and pavement markings will be installed with the project.

A new bridge, B-05-0696, will be constructed over IH 41 at County EB/County GV. Existing box culvert, C-05-0800, will be extended to accommodate widening along northbound IH 41. Sign structures S-05-0423, S-05-0431, S-05-0432, S-05-0433, S-05-0438, S-05-0439, S-05-0440, S-05-0441, S-05-0442, S-05-0443, and S-05-0446 will be constructed.

Wet detention ponds will be constructed in the southeast and northwest quadrants of the IH 41 and Southbridge Interchange. Permanent and temporary storm sewer will be installed adjacent to the ponds.

The Municipality requested the project incorporate Community Sensitive Design (CSD) into the project elements. CSD elements include architectural surface treatment and staining for bridge, B-05-0696. The project also includes stamped colored concrete in the center island of the four roundabouts. The Municipality is responsible for maintenance of bridge staining, stamped colored concrete and additional landscaping features within the center of the roundabout.

This request shall constitute agreement between the Municipality and the State; is subject to the terms and conditions that follow (pages 1 – 3); is made by the undersigned under proper authority to make such request for the designated Municipality and upon signature by the State, delivery to the Municipality and upon fully executed signature of associated, applicable State Municipal Financial Agreement for projects 1130-68-81 and 1130-68-77. The initiation and signature of the agreement will be subject to all the applicable federal and state regulations. No term or provision of neither the State/Municipal Maintenance Agreement nor any of its attachments may be changed, waived or terminated orally but only by an instrument in writing executed by both parties to the State/Municipal Maintenance Agreement.

Signed for and in behalf of the <b>City of De Pere</b> (Please sign in blue ink)	
Name (print)	Title
Signature	Date
Signed for and in behalf of the <b>State</b> (Please sign in blue ink)	
Name	Title <b>WisDOT Region Maintenance Chief</b>
Signature	Date

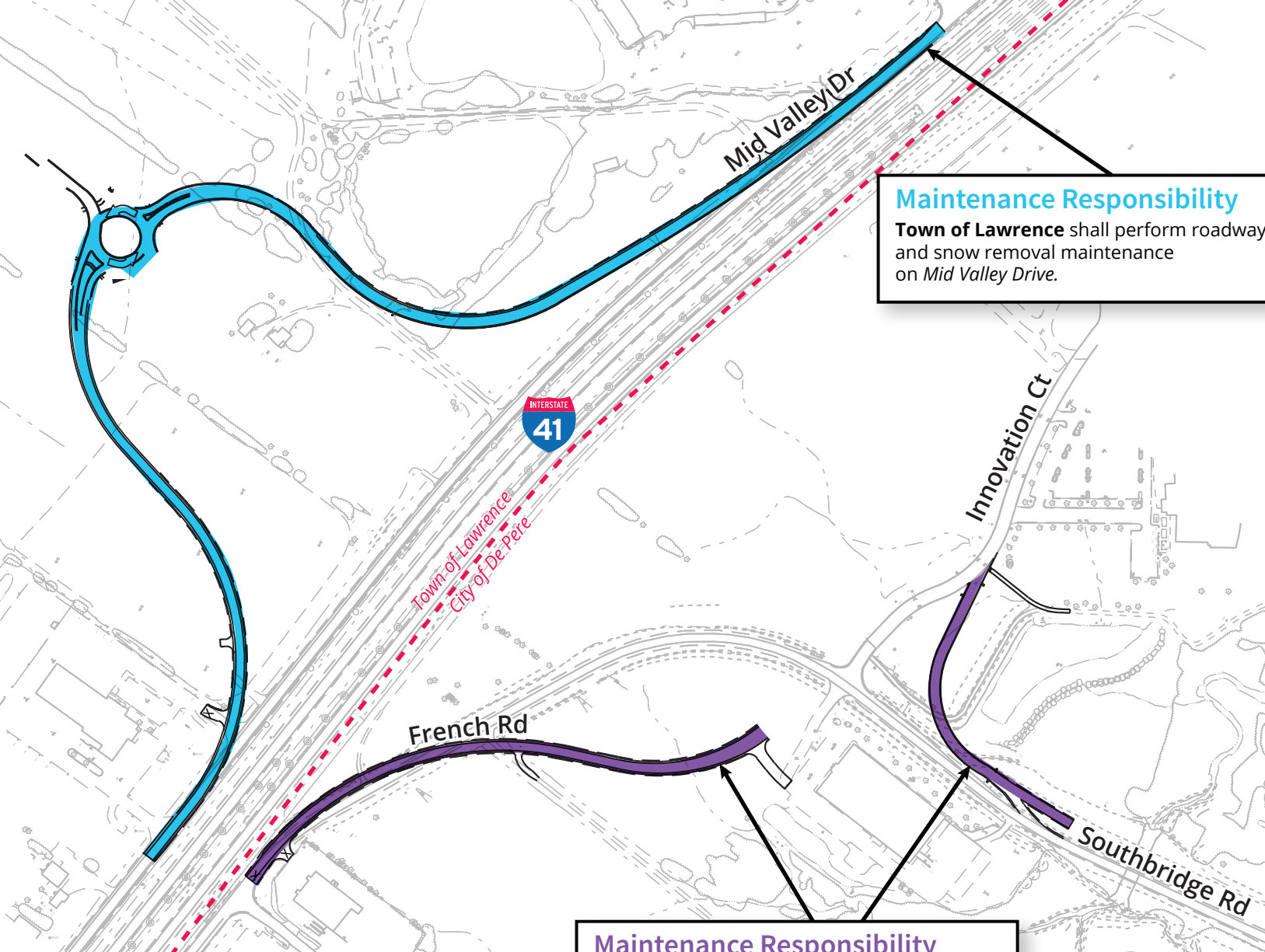
**TERMS AND CONDITIONS:**

1. In order to guarantee the Municipality’s foregoing agreements to maintain the facility to State standards, the Municipality, through its above duly authorized officers or officials, agrees and authorizes the State to set off and withhold General Transportation Aids or monies otherwise due and payable by the State to the municipality, as determined by the State, for any maintenance the State must perform to the facility should the Municipality fail to comply with the agreement.
2. The State will not install any additional items, not necessitated for the safe and efficient flow of traffic, to a state highway facility without the Municipality agreeing to maintain those items. The State is responsible for maintaining the through travel way of any given highway facility under the State’s jurisdiction including:
  - (a) The energy, operation, repair and replacement of traffic signals and associated street lighting required for the signalized intersections within the limits of this agreement for:
    1. Street lighting for the ramp terminals within the IH 41 and Southbridge Road interchange.
  - (b) Signing and pavement marking necessitated for the safe and efficient flow of traffic except those items listed in #3.
  - (c) Permitting authority of utilities and access control on all State Trunk, US and Interstate Highways.
  - (d) Stormwater pond maintenance at the following locations:
    1. Northeast quadrant of the County EB/Mid Valley Drive roundabout
    2. Southwest quadrant of the County GV/French Road roundabout
3. The Municipality shall at its own cost and expense maintain all portions within the specified limits of this agreement that lie within its jurisdiction as shown in exhibit A (Temporary Southbridge Interchange) and exhibit B (Final Southbridge Interchange) for such maintenance through statutory requirements in a manner satisfactory to the State and shall make ample provision for such maintenance each year to include:
  - (a) Maintain all items outside, and under, the travel way to include, but not limited to, ~~parking lanes~~, curb and gutter, drainage facilities (including all storm sewers, inlets, related manholes and structure, storm water quality devices, etc., either outside or under the traveled way), sidewalks, multi-use paths, ~~retaining walls~~, pedestrian refuge islands, and landscaping features.
  - (b) Remove snow and ice from ~~parking lanes~~, sidewalks, multi-use paths, and pedestrian refuge islands.
  - (c) ~~Implement a street sweeping program to help prevent the accumulation of dirt, sand, leaves, paper, or other clogging debris.~~

- (d) Maintain the storm sewer system to provide a free flow condition throughout the life of the facility.
- (e) Maintain and accept responsibility for the energy, operation, maintenance, repair, and replacement of the street lighting system specified in exhibit A (County GV/Innovation Ct roundabout), STA 126+00 to 137+23.
  - i. ~~The Municipality shall obtain a permit from the State.~~
  - ii. The Municipality shall accept responsibility for locating utilities for Digger’s Hotline.
  - iii. If at any time the Municipality should choose to turn off or remove street lighting, in part or in whole, funded with federal/state dollars, the State will determine potential conflicts and approve/disapprove such request. If removal is approved by the State, the Municipality will reimburse to the State an amount determined by Federal and State coordination.
- ~~(f) Maintain clear right of way of all encroachments.~~
- (g) Maintain crosswalk pavement markings. ~~The municipality shall obtain a permit with the State.~~
- ~~(h) Maintain signs and pavement markings not necessary for the safe and efficient movement of traffic (no parking signs, wayfinding signs, bike lane symbols, etc).~~
- (i) Maintain and accept responsibility for the following as applicable to this agreement:
  - i. Maintain and repair all sidewalk and multi-use paths along French Road and Innovation Court.
  - ii. Maintain all roadway traffic signs and pavement markings along French Road and Innovation Court.
  - iii. Remove snow and ice from traveled lanes, parking lanes, sidewalks, multi-use paths, and pedestrian islands along French Road and Innovation Court.
  - iv. Municipal Funded Aesthetics: Maintain stamped colored concrete in the center of the County GV/Innovation Court and County GV/I-41 NB roundabouts, bridge staining for B-05-0696. Removal or covering of vandalism of aesthetic elements is the responsibility of the municipality.
  - v. Roundabout Landscaping: Maintain all landscape elements placed at the County GV/Innovation Court and County GV/I-41 NB roundabouts (including but not limited to: trees, bushes, shrubs, mulch, grassed areas and miscellaneous landscaping elements).
  - vi. Pay the difference in the cost of replacing colored stamped concrete placed inside the center circle of roundabouts.

- 4. The Municipality, within the specified limits, agrees to:
  - (a) Prohibit angle parking.
  - (b) Regulate parking along the highway. ~~The Municipality will file a parking declaration with the State.~~
- 5. The Municipality will coordinate with the State to obtain any necessary Work on Right-of-Way Permits for maintenance performed on or within the state highway facility or state right-of-way.
- 6. This agreement does not remove the current municipal maintenance responsibility.
- 7. The State or Municipality may request an amendment to this agreement to include specific features later requested by the Municipality throughout the design process.
- 8. Upon completion of construction projects, 1130-68-81 and 1130-68-77 the Municipality will assume all afore mentioned maintenance responsibilities.

# Exhibit A: Temporary Southbridge Interchange



**Maintenance Responsibility**  
Town of Lawrence shall perform roadway and snow removal maintenance on Mid Valley Drive.

**Maintenance Responsibility**  
City of De Pere shall perform roadway and snow removal maintenance on French Road and Innovation Court.

# Exhibit B: Final Southbridge Interchange

## Landscape Maintenance Concrete Maintenance

**Town of Lawrence** shall maintain landscape and colored stamped concrete in center of I41/County EB and Mid Valley Drive/ County EB roundabouts.

## Bridge maintenance

**City of De Pere and Town of Lawrence** shall maintain decorative staining on the Southbridge overpass, B 05-0696.

**Town of Lawrence and Brown County** shall maintain decorative silhouettes placed on bridge, B 05-0696.

## Landscape Maintenance Concrete Maintenance

**City of De Pere** shall maintain landscape and colored stamped concrete in center of I41/County GV and Innovation Court/ County GV roundabouts.

## General/Storm Sewer Maintenance

**Town of Lawrence** shall perform roadway and snow removal maintenance on Mid Valley Drive.

## Snow Removal

**WisDOT** shall perform snow removal between I41 and Southbridge interchange roundabouts as shown between the blue arrows.

**Brown County** will complete all snow removal up to the blue arrow sections.

## Roadway Maintenance

**WisDOT** is responsible for roadway and storm sewer maintenance of County EB/GV between the ramp terminal roundabouts as well as the storm water ponds as shown in gray.

## General/Storm Sewer Maintenance

**City of De Pere** shall perform roadway/sidewalk maintenance and snow removal on French Road and Innovation Court.

## General/Storm Sewer Maintenance

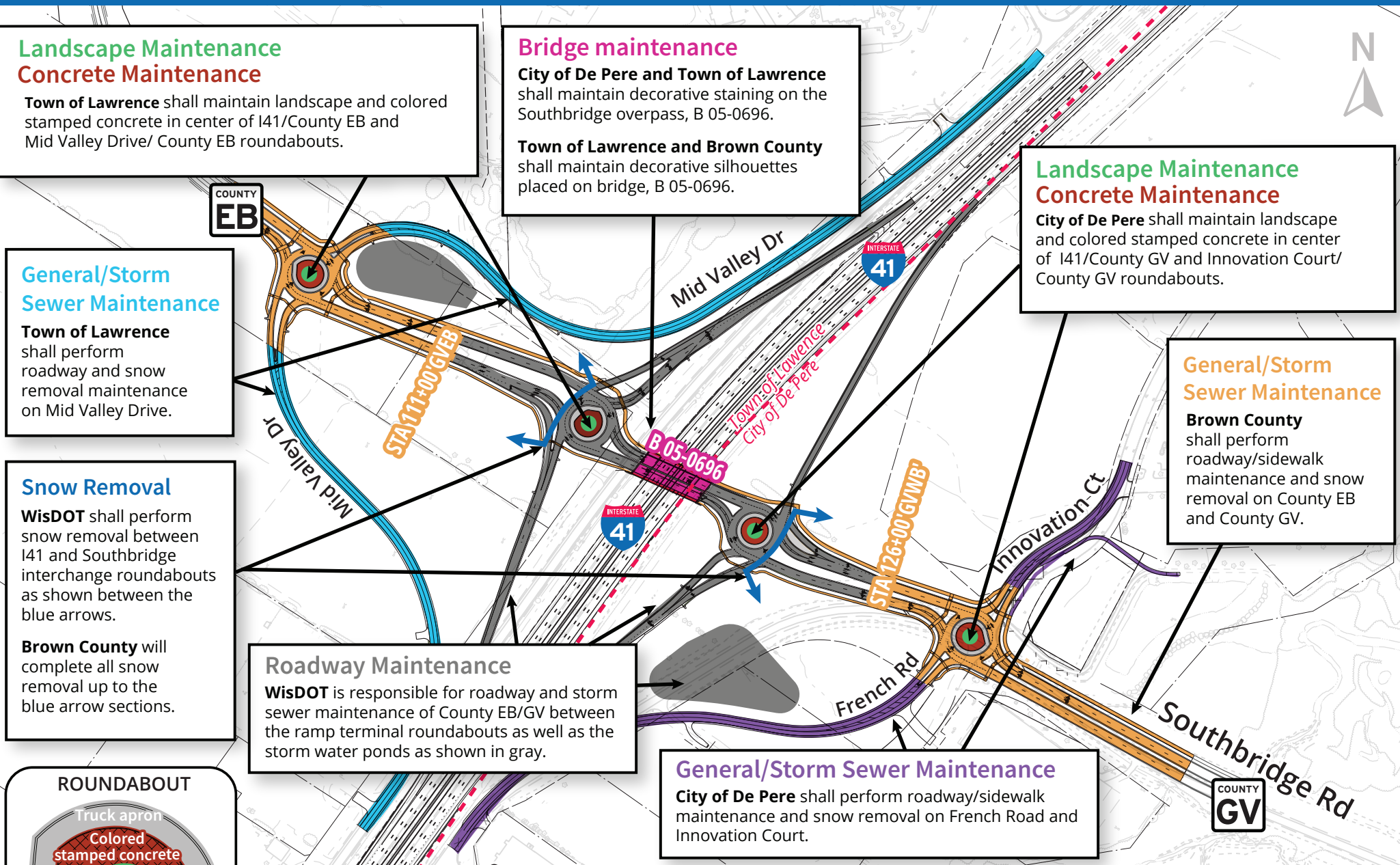
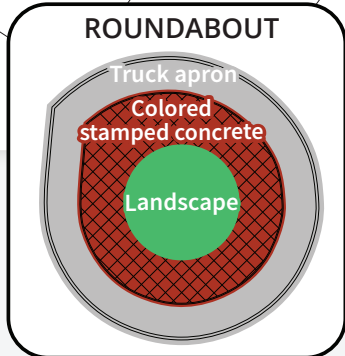
**Brown County** shall perform roadway/sidewalk maintenance and snow removal on County EB and County GV.

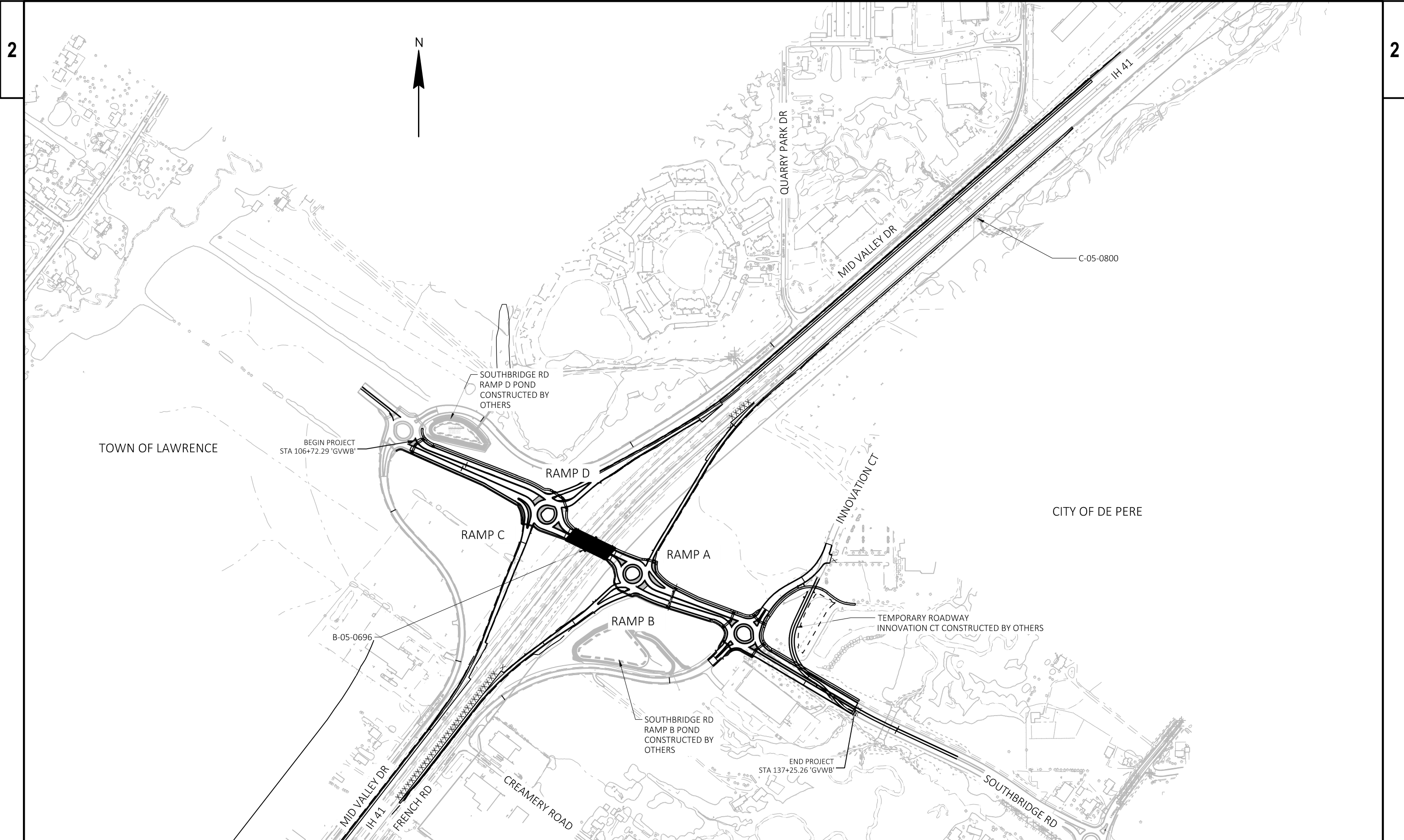
## Street Lighting

**Town of Lawrence** is responsible for lighting at County EB/Mid Valley Drive roundabout (STA 102+25 to 111+00).

**City of De Pere** is responsible for lighting at County GV/Innovation Court roundabout (STA 126+00 to 137+23).

**WisDOT** is responsible for maintenance of the lighting at the Southbridge interchange ramps and ramp roundabouts.





PROJECT NO: 1130-68-77

HWY: IH 41 - SOUTHBRIDGE

COUNTY: BROWN

PROJECT OVERVIEW

SHEET

4

E

FILE NAME : C:\USERS\DOTBSG\DC\ACCDOS\WISDOT\11306301\PROJECT FILES\DSGN\11306870\SHEETS\SHEETSPLAN\68-77\02 TYPICAL SECTION AND DETAILS\020201-PO.DWG  
LAYOUT NAME - 020201-po

PLOT DATE : 1/17/2025 6:20 AM

PLOT BY : GETLINGER, BRADLEY S

PLOT NAME :

PLOT SCALE : 1 IN:500 FT

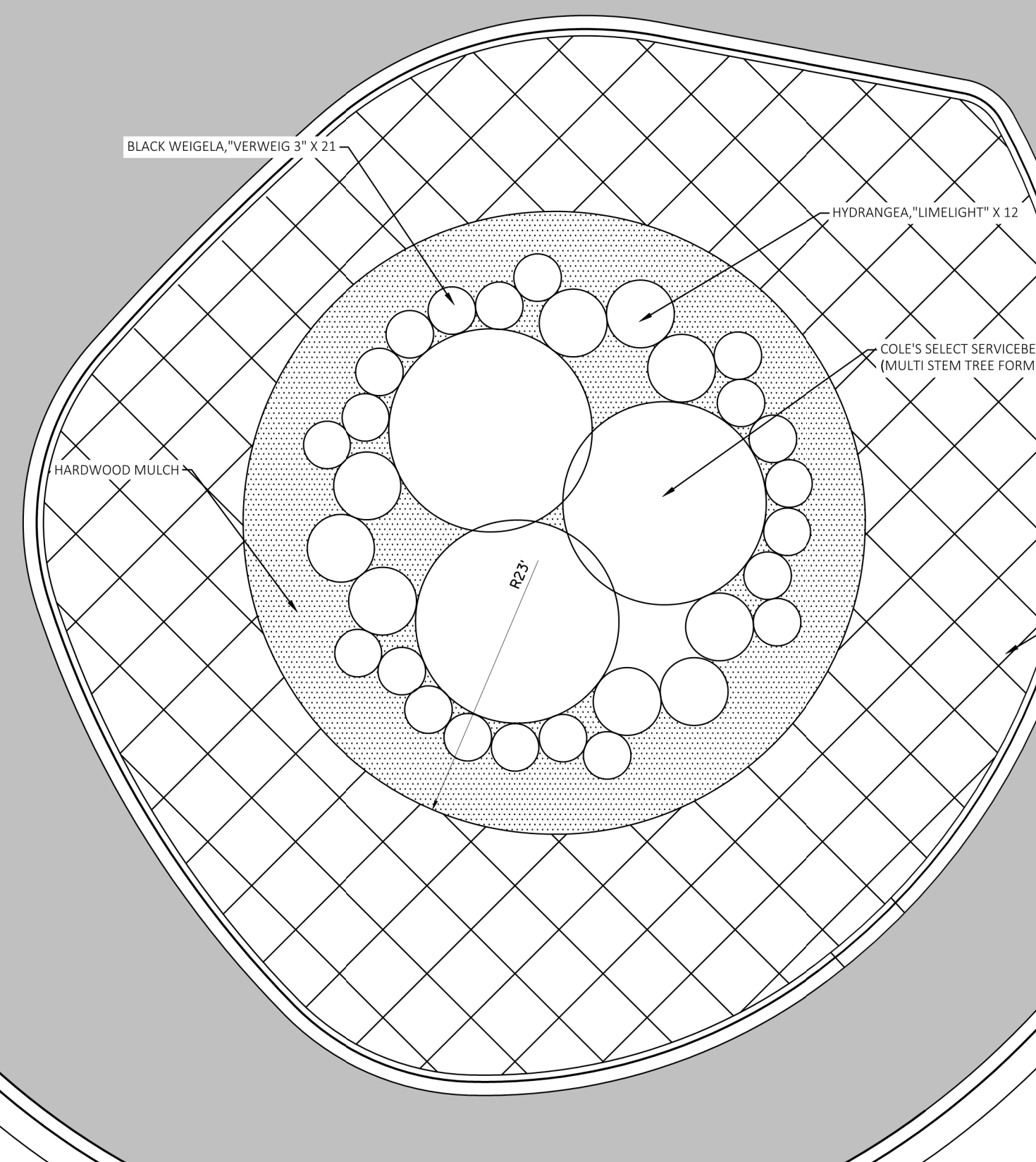
WISDOT/CADD SHEET 42

**Example**

2

2

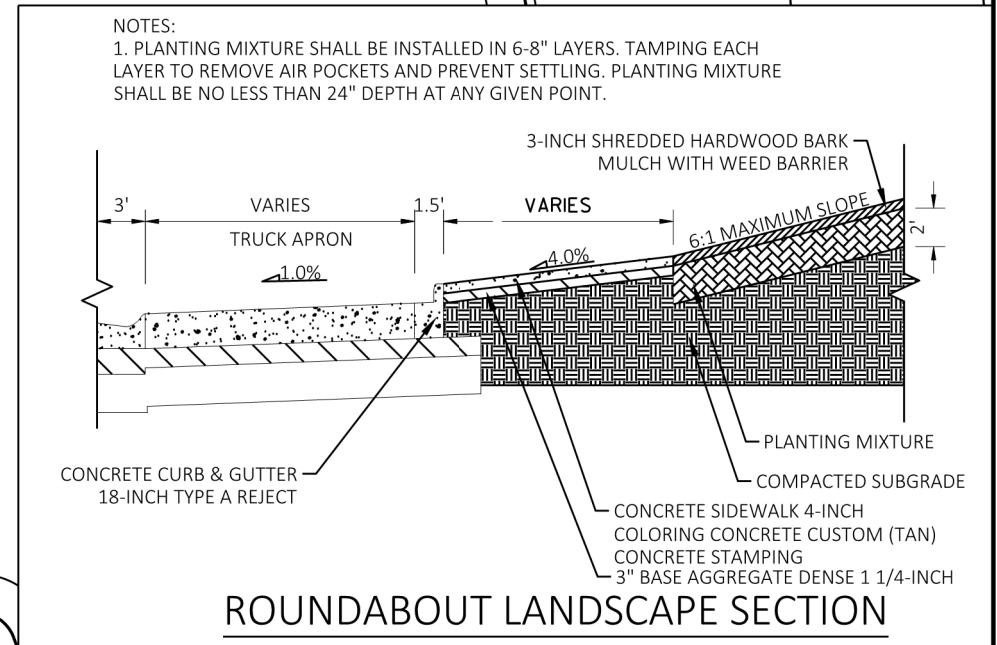
Plant Data Table										
Symbol	Common Name	Scientific Name	Average Mature Height	Size When Planted	Root Zone Mode	Minimum Size				
						Ball/Pot		Root Spread	Plant Hole	
						Diameter	Depth		Diameter	Depth
	Deciduous Ornamental Shrubs									
Cs	Cole's Select Serviceberry	Amelanchier x Grandiflora 'Cole's Select'	20' Ht.	5' Ht.	B&B	24"	12"	----	36"	12"
HI	Hydrangea, Limelight	Hydrangea paniculata 'Limelight'	7' Ht.	3' Ht./#5	CONT	12"	8"	----	36"	8"
Mb	Minor Black Weigela	Weigela Florida 'Verweig 3'	2' Ht.	12" Ht./#3	CONT	9"	6"	----	33"	6"



**LEGEND**

CONT Container Grown  
 B&B Balled and Burlapped  
 Ht. Height

PLANT SCHEDULE	
QTY	BOTANICAL / COMMON NAME
3	COLE'S SELECT SERVICEBERRY, B&B, 5-FT
9	HYDRANGEA, 'LIMELIGHT', CONT, 3-FT
21	BLACK WEIGELA, 'VERWEIG 3"', CONT, 3-FT
185 SY	DOUBLE SHREDDED HARDWOOD MULCH





City of De Pere, Wisconsin

III.3

**Request for Board of Public Works Action**

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**MEETING DATE:** January 12, 2026  
**DEPARTMENT:** Public Works  
**FROM:** Eric Rakers, City Engineer  
**SUBJECT:** Consideration and possible action on Approval of Project 4190-17-21 Transportation Plat\*  
**RECOMMENDED ACTION:** Staff recommends approval.

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ATTACHMENTS:  
2026 0112 CI\_BOPW\_Real Estate Plat, 4190-17-00\_71\_72 SMFA Revision 3, TPP\_4190-17-00\_STH 32, 4190-17-00\_STH 32\_TLE Exhibits

# CITY OF DE PERE MEMO



To: Honorable Mayor Boyd  
Members of the Board of Public Works  
From: Eric P. Rakers, P.E., City Engineer  
Date: September 8, 2025

RE: **Consideration and possible action on Approval of Project 4190-17-21 Transportation Plat\***

The City has entered into a State/Municipal Financial Agreement (SMFA) with the Wisconsin Department of Transportation (WisDOT) for pavement replacement on STH 32 (Main Avenue and Reid Street) from Eighth Street to Third Street under Project ID 4190-17-00/21/54/71/72. SMFA Revision #3 was signed by the City on September 17, 2025, and by WisDOT on September 29, 2025, and has been included in the packet. Under the Terms and Conditions of the agreement, the City is responsible for acquiring right-of-way required by the project and eligible for 100% reimbursement. Specifically, Item 8.b. states:

*“Project ID 4190-17-21, Real Estate: Acquisition of any necessary right-of-way within Connecting Highway limits is the responsibility of the Municipality. Right-of-way required for the project should be purchased by the municipality and may be eligible for up to 100% WisDOT participation and must be acquired in the municipality’s name. Real estate required for parking lanes is not eligible.”*

The City has a contract with Corre Inc. for acquiring right-of way for the project.

The next step in the process is for the City to approve the transportation plat for acquiring the right of way for the project. This information will be used by Corre Inc. to negotiate right-of-way acquisition.

### **Recommendation:**

Staff recommend approval of the attached Transportation Plat 4190-17-21 and associated TLE exhibits.

### **Attachments:**

4190-17-00_71_72 SMFA Revision 3	(PDF)
TPP_4190-17-00_STH 32	(PDF)
4190-17-00_STH32_TLE Exhibits	(PDF)



**Revision 3  
STATE/MUNICIPAL FINANCIAL  
AGREEMENT FOR A STATE- LET  
HIGHWAY PROJECT**

*This agreement supersedes the agreement signed by the Municipality on November 29, 2023 signed by WisDOT on December 4, 2023.*

Revision #3 Date: September 4, 2025  
 Revision #2 Date: December 4, 2023  
 Revision #1 Date: September 13, 2022  
 Original Date: November 24, 2021  
 I.D.: 4190-17-00/21/54/71/72  
 Road Name: STH 32  
 Title: Main & Reid St, C De Pere  
 Limits: 3<sup>rd</sup> Street – 8<sup>th</sup> Street  
 County: Brown  
 Roadway Length: 1.1 miles

The signatory **City of De Pere**, hereinafter called the Municipality, through its undersigned duly authorized officers or officials, hereby requests the State of Wisconsin Department of Transportation, hereinafter called the State, to initiate and affect the highway or street improvement hereinafter described.

The authority for the Municipality to enter into this agreement with the State is provided by Section 86.25(1), (2), and (3) of the Statutes.

**NEEDS AND ESTIMATE SUMMARY:**

**Existing Facility - Describe and give reason for request:**

The existing facility is a connecting highway.

Main Street, between Third Street and Sixth Street is an urban, 2-lane (one-way) non-divided section with parking on both sides, a bike lane, curb and gutter and sidewalk on both sides. This concrete section was constructed in 1953 and has not been overlaid. Main Street, between Sixth Street and Seventh Street is an urban, 3-lane (two-way) non-divided section with no parking, no bike lanes, curb and gutter and sidewalk along one side. This section has been overlaid. Main Street, between Seventh Street and Eighth Street is an urban, 4-lane (two-way) non-divided concrete section with no parking, no bike lanes, curb and gutter and sidewalk on both sides. This section has not been overlaid.

Reid Street’s section varies, the majority is an urban 2-lane (one-way) non-divided section with parking on both sides, no bike lane, curb and gutter and sidewalk on both sides. The section west of Fourth Street is asphalt and the section east of Fourth Street is concrete.

Third Street is an urban, 3-lane (one-way) non-divided section with parking on one side, a bike lane, curb and gutter and sidewalk on both sides. This section is concrete (constructed in 2007).

Improvements were identified on the 2020 Pavement Management Decision Support System (PMDSS).

**Proposed Improvement - Nature of work:** The proposed improvements will consist of a pavement replacement improvement (4190-17-71) and a pavement preservation project (4190-17-72).

Project 4190-17-71 will begin on Main Street between Third Street and Fourth Street and will extend to the Eighth Street intersection; it will also include Reid Street beginning at Sixth Street and ending just west of the Fourth Street intersection. The proposed improvements will consist of common excavation, concrete pavement, base aggregate, select crushed, storm sewer, curb ramps, curb and gutter, concrete sidewalk, street lighting, and incidentals.

Project 4190-17-72 will include Reid Street, beginning just west of the Fourth Street intersection and will extend to the intersection of Third Street; it will also include Third Street from Reid Street to the Claude Allouez Bridge. The proposed improvement will consist of concrete pavement repair and curb ramp replacements.



Project details will be further defined as this project continues through the design process.

**Describe non-participating work included in the project and other work necessary to finish the project completely which will be undertaken independently by the municipality:** It is anticipated that water and sanitary

sewer will be replaced prior to or in conjunction with these projects. The Municipality will also be responsible for any sanitary manhole or water valve adjustments. It is anticipated the city will include non-participating items in the projects such as parking lanes, sidewalk, community sensitive design (CSD) items, slope improvement, storm sewer laterals, hazmat cleanup necessitated by the project, and the Municipality's portion of street lighting.



This request is subject to the terms and conditions that follow (pages 3 – 6); is made by the undersigned under proper authority to make such request for the designated Municipality, and upon signature by the State and delivery to the Municipality shall constitute agreement between the Municipality and the State. A review of the existing State Municipal Maintenance Agreement (SMMA) or creation of a new SMMA signed by the Municipality and the State shall be completed in conjunction with this agreement. The initiation and accomplishment of the improvement will be subject to the applicable federal and state regulations. No term or provision of neither the State/Municipal Financial Agreement nor any of its attachments may be changed, waived or terminated orally but only by an instrument in writing executed by both parties to the State/Municipal Financial Agreement.

Signed for and in behalf of the <b>City of De Pere</b> (please sign in blue ink)	
Name <b>Kimberly T. Flom</b>	Title <b>City Manager</b>
Signature 	Date <b>9/17/2025</b>
Signed for and in behalf of the <b>State</b>	
Name <b>Scott A. Nelson, P.E.</b>	Title <b>NE Region Systems, Planning, and Operations Manager</b>
Signature 	Date <b>09/29/2025</b>

**TERMS AND CONDITIONS:**

1. The Municipality shall pay to the State all costs incurred by the State in connection with the improvement which exceeds federal/state financing commitments or are ineligible for federal/state financing. Local participation shall be limited to the items and percentages set forth in the Summary of Costs table, which shows Municipal funding participation. In order to guarantee the Municipality’s foregoing agreements to pay the State, the Municipality, through its above duly authorized officers or officials, agrees and authorizes the State to set off and withhold the required reimbursement amount as determined by the State from General Transportation Aids or any moneys otherwise due and payable by the State to the Municipality.
2. Funding of each project phase is subject to inclusion in an approved program and per the State’s Facility Development Manual (FDM) standards. Federal aid and/or state transportation fund financing will be limited to participation in the costs of the following items as specified in the Summary of Costs:
  - (a) Design engineering and state review services.
  - (b) Real Estate necessitated for the improvement.
  - (c) Compensable utility adjustment and railroad force work necessitated for the project.
  - (d) The grading, base, pavement, curb and gutter, and structure costs to State standards, excluding the cost of parking areas.
  - (e) Storm sewer mains, culverts, laterals, manholes, inlets, catch basins, and connections for surface water drainage of the improvement; including replacement and/or adjustments of existing storm sewer manhole covers and inlet grates as needed.
  - (f) Construction engineering incidental to inspection and supervision of actual construction work, except for inspection, staking, and testing of sanitary sewer and water main.
  - (g) Signing and pavement marking necessitated for the safe and efficient flow of traffic, including detour routes.
  - (h) Replacement of existing sidewalks necessitated by construction and construction of new sidewalk at the time of construction. Sidewalk is considered to be new if it’s constructed in a location where it has not existed before.

- (i) Replacement of existing driveways, in kind, necessitated by the project.
  - (j) New installations or alteration resulting from roadway construction of standard State street lighting and traffic signals or devices. Alteration may include salvaging and replacement of existing components.
  - (k) Eligible Community Sensitive Design (CSD) amenities considered to be the preference of the community, not to exceed CSD funding limit for the project.
3. Work necessary to complete the improvement to be financed entirely by the Municipality or other utility or facility owner includes the following items:
- (a) New installations of or alteration of sanitary sewers and connections, water, gas, electric, telephone, telegraph, fire or police alarm facilities, parking meters, and similar utilities.
  - (b) New installation or alteration of signs not necessary for the safe and efficient flow of traffic.
  - (c) Roadway and bridge width in excess of standards.
  - (d) Construction inspection, staking, and material testing and acceptance for construction of sanitary sewer and water main.
  - (e) Provide complete plans, specifications, and estimates for sanitary sewer and water main work. The Municipality assumes full responsibility for the design, installation, inspection, testing, and operation of the sanitary sewer and water system. This relieves the State and all of its employees from the liability for all suits, actions, or claims resulting from the sanitary sewer and water system construction.
  - (f) Parking lane costs.
  - (g) Coordinate, clean up, and fund any hazardous materials encountered during construction. All hazardous material cleanup work shall be performed in accordance to state and federal regulations.
  - (h) Damages to abutting property due to change in street or sidewalk widths, grades, or drainage.
  - (i) Conditioning, if required, and maintenance of detour routes.
  - (j) Repair of damages to roads or streets caused by reason of their use in hauling materials incidental to the improvement.
  - (k) 20% of costs of eligible Community Sensitive Design (CSD) amenities considered to be the preference of the community up to the CSD funding limit for the project, plus 100% of costs of eligible CSD amenities in excess of the CSD funding limit for the project.
4. As the work progresses, the Municipality will be billed for work completed which is not chargeable to federal/state funds. Upon completion of the project, a final audit will be made to determine the final division of costs.
5. If the Municipality should withdraw the project, it shall reimburse the State for any costs incurred by the State in behalf of the project.
6. The work will be administered by the State and may include items not eligible for federal/state participation.
7. The Municipality shall, in cooperation with the State, assist with public relations for the project and announcements to the press and such outlets as would generally alert the affected property owners and the community of the nature, extent, and timing of the project and arrangements for handling traffic within and around the project.
8. Basis for local participation:

- (a) Project ID 4190-17-00, Preliminary Engineering: The Municipality will be responsible for 25% of the design for the anticipated pavement replacement and pavement preservation projects. Any additional work per the request of the Municipality will be funded by the Municipality.
- (b) Project ID 4190-17-21, Real Estate: Acquisition of any necessary right-of-way within Connecting Highway limits is the responsibility of the Municipality. Right-of-way required for the project should be purchased by the municipality and may be eligible for up to 100% WisDOT participation and must be acquired in the municipality's name. Real estate required for parking lanes is not eligible.
- i) The State will reimburse the Municipality for real estate and all eligible acquisition costs necessitated by the roadway construction if the real estate is being acquired where roadway improvements are needed.
  - ii) It shall be the responsibility of the Municipality to provide all payments necessary for acquisition and relocation benefits. The Municipality will be given reimbursement for the approved real estate costs of the project based on the project cost share. Reimbursement can be submitted quarterly with payment requests in the amount of \$250,000 or greater, up to the final payment. Final payment may be less than \$250,000. Or the Municipality can make one submission for the whole project after real estate acquisition is complete. Approved real estate costs are those actual costs appropriately documented by the Municipality, and further approved by the Department for reimbursement. All eligible reimbursements must be submitted to the State for approval and payment no later than six (6) months after the real estate acquisition is complete.
  - iii) When State or Federal dollars are to be used to reimburse the Municipality for any real estate acquisitions or relocations related costs, all real estate activities are subject to reviews and approvals by the State. Required State reviews and approvals are identified in the Local Public Agency manual.
  - iv) All municipal lands, owned by the City of De Pere, required for this improvement project shall be dedicated/donated as right-of-way by specific resolution of the municipal governing body at no cost to the State. Exceptions to this dedication are those lands held by the Municipality under 4F and 6F Park lands, which will follow standard acquisition process.
  - v) Real Estate Remnant Parcels: Any remnant properties created by partial acquisitions and acquired as part of this public improvement project, or any additional lands deemed unnecessary for the project will be acquired by the City of De Pere. Title to any such remnant parcels to remain the name of the City of De Pere.
  - vi) Consultant real estate contractors engaged by Municipality to deliver real estate services must be members in good standing of the State approved roster of approved consultants. No substitutions shall be permitted without prior written consent of the State.
  - vii) The Municipality shall bear, at Municipality expense, all costs of litigation arising out of the acquisition of the real estate for the Project. The Municipality may qualify for reimbursement for some of the litigation expenses if it follows the procedures set forth in Chapter 7 of the LP RE Manual.
- (c) Project ID 4190-17-54, Railroad (Xing ID 180072X – Shared-Use Path Crossing): Railroad signal and fence improvements at shared-use path crossing are to be funded with 50% State/Federal funding and 50% local funding, with no maximum, limited to scope of work items shown below. The municipality or Railroad company, as determined by applicable state statutes or other agreements, shall be responsible for the energy, operation, maintenance, and all other improvements or alterations not included below, or that take place before or after the project within the specified limits of the shared-use path. The railroad crossing surface replacement at Crossing ID 180072X is proposed to be funded at 100% railroad costs following applicable

state statutes and other agreements. All costs associated with railroads must comply with all applicable state statutes, laws, OCR orders, and agreements or future negotiations with the with the railroads.

- Railroad fence - \$60,000
- Railroad signal alterations, replacement or salvaged, at crossing ID 180072X - \$200,000

(d) Project ID 4190-17-71, Non-Participating (cat 0020): Non-participating construction costs and cost share will be further defined as this project continues through the design process. Below is a list of known items.

- Parking Lanes (*Pavement, Base, Subgrade Improvement, and Signing/Marking for Parking Lanes*) - \$390,000
- Concrete Sidewalks and Terraces funded by the municipality (*For 4190-17-71, sub-total does not include stamping and coloring of concrete, which is included in cat 0050, CSD*) - \$207,000
- Slope Improvement on Main Avenue in area of CN Railroad bridge (*slope improvement type and design to be determined, estimate of an assumed improvement cost of concrete slope paving included*) – \$506,000
- Storm Laterals – \$46,000
- Utility Adjustments – \$35,000
- Hazardous Material Clean-Up – \$126,000

(e) Project ID 4190-17-71, Replacement Street Lighting (cat 0030): The State is responsible for replacement or salvaged street lighting designed to State standards that is necessitated by the state roadway project, excluding non-participating work. The Municipality shall be responsible for the energy, operation, maintenance, and replacement of the lighting system (including associated costs). Costs in excess of federal/state funding limits shall be the responsibility of the Municipality.

- Alterations of the existing continuous lighting system to State standards for an estimated 34 street light system (*Priority 1: 100% federal/state funding with funding cap*) - \$780,000
- Costs for lighting system in excess of standard State installation, new components to replace components that could be salvaged, and upgrades to existing components for an estimated 64 street light system. Additional roadway lights, decorative pedestrian lighting, and other decorative elements are not included in state standard lighting installations and includes an estimated 3 additional roadway lighting installations and 27 decorative lighting installations. (*Priority 2: 100% local funding*) – \$265,000

(f) Project ID 4190-17-71, New Street Lighting (cat 0040): New installations of State standard street lighting where previous continuous street lighting did not exist is funded with 50% federal/state funding to the cost equivalent of lighting meeting State standards. Federal/state funding not to exceed 50% of the actual cost of the lighting system. The Municipality shall be responsible for the energy, operation, maintenance, and replacement of the lighting system (including associated costs). Costs in excess of federal/state funding limits shall be the responsibility of the Municipality.

- State standard street lighting installation estimated at 7 street lights (*Priority 1: 50% local funding up to federal/state funding cap*) – \$162,000
- Upgrades beyond State standard street lighting for an estimated 14 street light system. Additional roadway lights, decorative pedestrian lighting, and other decorative elements are not included in state standard lighting installations and includes an estimated 0 additional roadway lighting

installations and 7 decorative lighting installations. (Priority 2: 100% local funding) – \$53,000

(g) Project ID 4190-17-71, CSD Amenities (cat 0050): CSD amenities are funded with 80% Federal funding up to a maximum of 102,073 when the Municipality agrees to provide the remaining 20% and any funds in excess of the CSD funding limit. CSD amenities included in the project are:

- Stamped and colored concrete for replaced concrete terraces and islands for locations identified in the preliminary plans on Main Ave. and Reid St. – \$207,000
- Decorative planter bed located within median at Main Ave. & Fort Howard intersection - \$23,000
- CSD funding is governed by Wis. Stat. 85.0205. The department will regularly review the total CSD funding on this and any associated improvement projects to ensure total CSD funding does not exceed statutory limits. If at any point CSD funding exceeds statutory limits, the department will notify the Municipality of any adjustments to CSD funding that may be required to remain in compliance with state statutes.

(h) Project ID 4190-17-71, Shared-Use Path, (cat 0060): Path alignment and profile changes, and any other improvements within the limits of the improved shared-use path limits are to be funded with 50% State/Federal funding and 50% local funding, with no maximum, limited to scope of work items shown below.

- Path alignment & profile changes - \$40,000
- Other costs associated with signing, marking, and safety improvements included in project – Costs to be determined as design progresses

(i) Project ID 4190-17-72, Non-Participating (cat 0020): Non-participating construction costs and cost share will be further defined as this project continues through the design process. Below is a list of known items.

- Main Ave Terraces widening – Third Street to Fourth Street (pavement, base, C&G, and incidentals to widen terrace along Main Ave. from approx. STA 52+90 to STA 54+74, 2.5 ft LT & 5 ft RT) - \$35,000
- Replacement of brick or concrete terraces, sidewalk, and other areas funded by the municipality, including replacing bricks with stamped and colored concrete - \$70,000
- Decorative planter bed located within median at Main Ave. & 3<sup>rd</sup> St. intersection - \$23,000
- The municipality is responsible for the costs for any replacement, salvaged or improved street lighting elected to include or necessitated by non-participating work and not necessitated by the roadway improvements. Current lighting system replacements and improvements are currently estimated at 9 roadway lighting installations and 5 decorative lighting installations. - \$172,000

Comments and Clarification: This agreement is an active agreement that may need to be amended as the project is designed. It is understood that these amendments may be needed as some issues have not been fully evaluated or resolved. The purpose of this agreement is to specify the local and state involvement in funding the project. A signed agreement is required before the State will prepare or participate in the preparation of detailed designs, acquire right-of-way, or participate in construction of a project that merits local involvement.

**TRANSPORTATION PROJECT PLAT NO: 4190-17-21-4.01**

PART OF LOT 1, CERTIFIED SURVEY MAP NUMBER 8187, VOL. 57, PG. 94 DOCUMENT NO. 2556558; PART OF LOT 1, CERTIFIED SURVEY MAP NUMBER 9637, DOCUMENT NO. 3039042; PART OF LOT 23, BLOCK 16 IN THE PLAT OF DE PERE COMPANY'S ADDITION, ALL BEING LOCATED IN PRIVATE CLAIM NO. 28 W.S.F.R.; PART OF LOT 2, CERTIFIED SURVEY MAP NUMBER 1244, VOL. 4, PG. 505 DOCUMENT NO. 782852; PART OF LOT 1, CERTIFIED SURVEY MAP NUMBER 8970, VOL. 63, PG. 672 DOCUMENT NO. 2837638; PART OF MAIN AVENUE BUSINESS CENTRE CONDOMINIUMS, ALL BEING LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R.; IN CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

RELOCATION ORDER STH 32 3RD STREET - 8TH STREET CITY OF DE PERE BROWN COUNTY

TO PROPERLY ESTABLISH, LAY OUT, WIDEN, ENLARGE, EXTEND, CONSTRUCT, RECONSTRUCT, IMPROVE, OR MAINTAIN A PORTION OF THE HIGHWAY DESIGNATED ABOVE, THE CITY OF DE PERE DEEMS IT NECESSARY TO RELOCATE OR CHANGE SAID HIGHWAY AND ACQUIRE CERTAIN LANDS AND INTERESTS OR RIGHTS IN LANDS FOR THE ABOVE NAMED PROJECT.

TO EFFECT THIS CHANGE, PURSUANT TO AUTHORITY GRANTED UNDER SUBSECTIONS 66.22 AND 62.23 (10) WISCONSIN STATUTES, THE CITY OF DE PERE HEREBY ORDERS THAT:

- THAT PORTION OF SAID HIGHWAY AS SHOWN ON THIS PLAT IS LAID OUT AND ESTABLISHED TO THE LINES AND WIDTHS AS SO SHOWN FOR THE ABOVE NAMED PROJECT.
- THE LANDS OR INTERESTS OR RIGHTS IN LANDS AS SHOWN ON THIS PLAT ARE REQUIRED BY THE CITY OF DE PERE FOR THE ABOVE PROJECT AND SHALL BE ACQUIRED IN THE NAME OF THE CITY OF DE PERE, PURSUANT TO THE PROVISIONS OF SUBSECTION 62.22 (1), WISCONSIN STATUTES.

**SCHEDULE OF LANDS AND INTERESTS REQUIRED**

PARCEL NUMBER	OWNER(S)	INTEREST(S)			FEE R/W AREA REQUIRED - SF			TLE SF
		REQUIRED	NEW	EXISTING	TOTAL	REQUIRED		
1	GF ENTERPRISES, LLC	FEE, TLE	87	-	87	815		
2	PARK PLACE HOLDINGS, LLC	TLE	-	-	-	116		
3	KWIK TRIP, INC.	FEE, TLE	108	-	108	14868		
4	ASSOCIATED BANK, NATIONAL ASSOCIATION	FEE, TLE	23	-	23	755		
6	MAIN AVENUE BUSINESS CENTRE CONDOMINIUMS ASSOCIATION	TLE	-	-	-	162		
7	KEITH J. BRUNETTE	TLE	-	-	-	117		

OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY

**UTILITY INTERESTS REQUIRED**

UTILITY NUMBER	UTILITY OWNERS	INTERESTS REQUIRED	EASEMENTS
101	SPECTRUM	RELEASE OF RIGHTS	DOC. 2741345 - PAR. 3
102	WISCONSIN PUBLIC SERVICE (ELECTRIC)	RELEASE OF RIGHTS	DOC. 2741345 - PAR. 3 NO EASEMENT OF RECORD - PAR. 3
103	AT&T	RELEASE OF RIGHTS	DOC. 2660871

POINT TABLE			POINT TABLE			POINT TABLE			CURVE TABLE					
POINT	STA	OFFSET	POINT	STA	OFFSET	POINT	Y	X	CURVE	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
1	77+86.04	0.89' RT	14	82+69.38	46.79' RT	9	543511.521	82441.008	3-4	15.91'	10.00'	91°10'30"	14.29'	571° 16' 13"W
2	77+86.51	38.70' LT	16	82+43.99	67.56' RT	17	82+34.92	117.09' RT	14-16	34.76'	25.00'	79°39'17"	32.02'	N76° 55' 29"E
3	81+55.36	34.61' LT	17	82+34.92	117.09' RT	18	82+35.53	239.48' RT	26-27	9.28'	19.50'	27°16'01"	9.19'	S49° 38' 34"E
4	81+65.38	44.79' LT	18	82+35.53	239.48' RT	19	81+60.51	239.86' RT	LINE TABLE					
5	77+86.05	0.00' RT	19	81+60.51	239.86' RT	20	81+59.77	91.02' RT	1-5	S25° 46' 20"W	0.89'			
6	81+64.48	94.78' LT	21	81+59.77	91.02' RT	22	81+54.10	67.59' RT	8-9	N18° 52' 40"W	16.77'			
7	82+39.46	96.14' LT	22	81+54.10	67.59' RT	23	81+51.30	62.57' RT	10-12	N26° 34' 12"E	1.58'			
8	82+40.36	46.61' LT	23	81+51.30	62.57' RT	24	81+42.15	53.33' RT	21-22	S13° 07' 42"W	24.11'			
10	83+18.48	0.00' RT	24	81+42.15	53.33' RT	25	81+28.28	46.17' RT	22-23	S02° 26' 31"E	5.75'			
11	83+17.77	35.91' LT	26	81+28.28	46.17' RT	27	81+19.34	44.00' RT	23-24	S17° 59' 14"E	13.00'			
12	83+18.51	1.58' RT	27	81+19.34	44.00' RT	28	77+85.57	40.77' RT	24-26	S35° 59' 00"E	15.61'			
13	83+19.38	45.97' RT	28	77+85.57	40.77' RT	FOUND MONUMENT TABLE								
									TYPE	Y	X	DESCRIPTION		
									500	543582.735	82481.865'	1" IRON PIPE		
									501	543639.463	82524.918'	1" IRON PIPE		
									502	543564.513	82571.417'	1" IRON PIPE		
									503	543528.402	82583.145'	1" IRON PIPE		
									504	543394.116	82849.521'	1" IRON PIPE WITH CAP		
									505	543376.002	82885.129'	1" IRON PIPE/PINCH TOP		
									506	543339.924	82781.953'	1" IRON PIPE		
									507	543373.327	82715.138'	1" IRON PIPE		

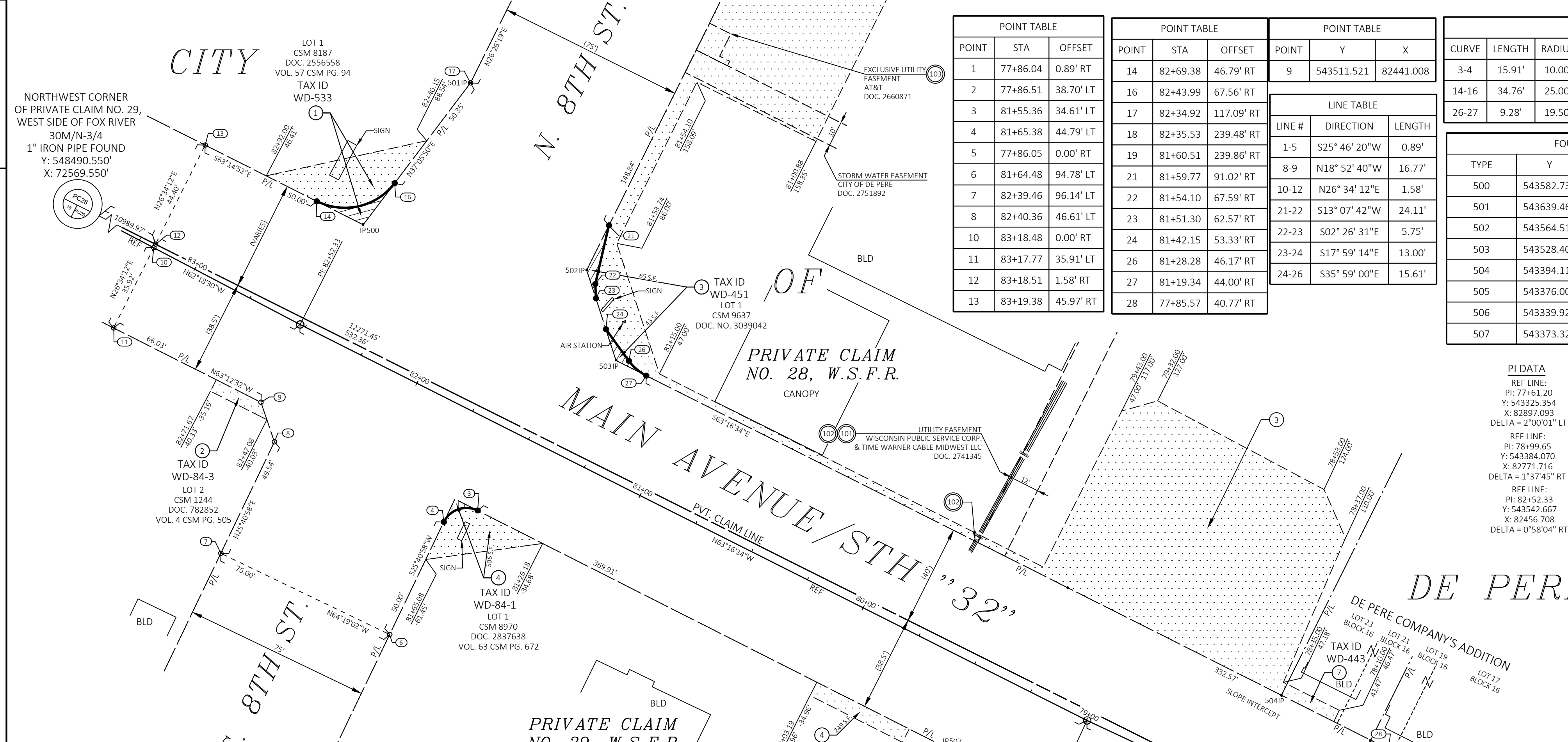
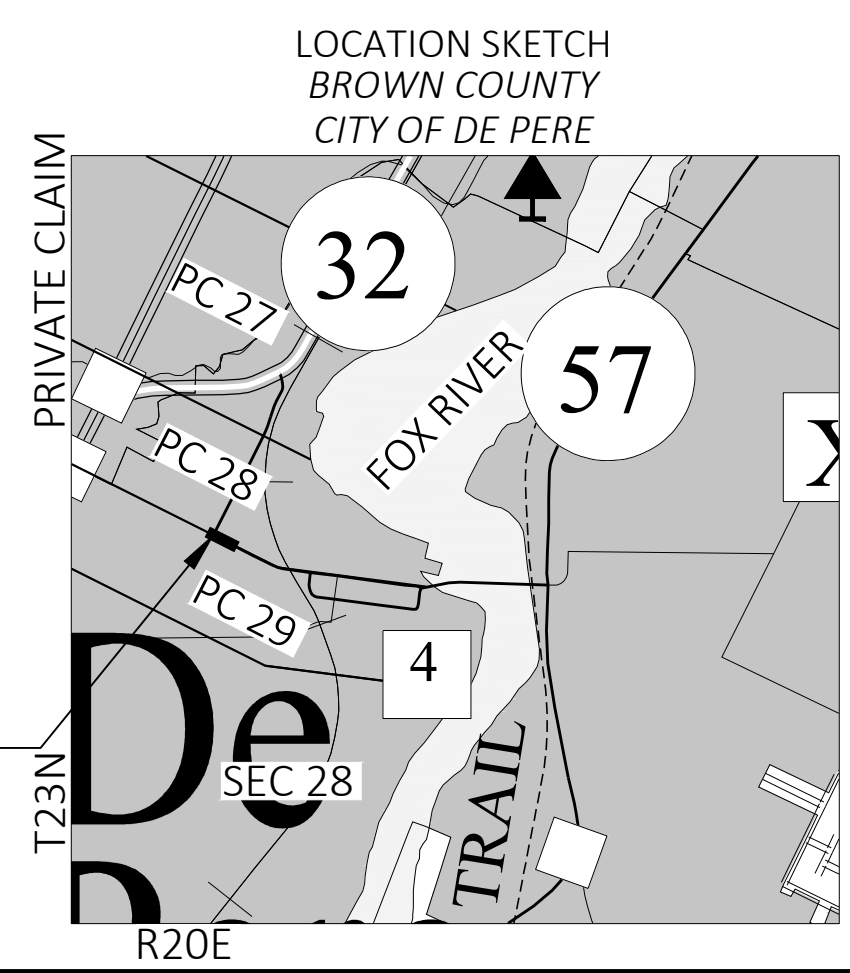
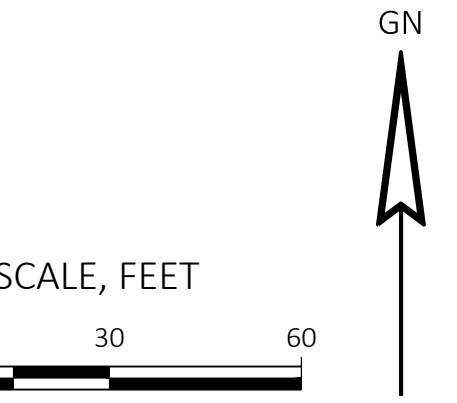
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X: 82771.716  
DELTA = 1°37'45" RT  
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DELTA = 0°58'04" RT

**CONVENTIONAL UTILITY SYMBOLS**

WATER	---
GAS	---
TELEPHONE	---
OVERHEAD TRANSMISSION LINES	---
ELECTRIC	---
CABLE TELEVISION	---
FIBER OPTIC	---
SANITARY SEWER	---
STORM SEWER	---
ELECTRIC TOWER	---

**CONVENTIONAL ABBREVIATIONS**

ACCESS RIGHTS	AR	POINT OF COMPOUND CURVE	PCC
ACRES	AC	POINT OF INTERSECTION	PI
AHEAD	AH	PROPERTY LINE	PL
ALUMINUM	ALUM	RECORDED AS	(100')
AND OTHERS	ET AL	REEL / IMAGE	R/I
BACK	BK	REFERENCE LINE	R/L
BLOCK	BLK	REMAINING	REM
C/L	C/L	RESTRICTIVE DEVELOPMENT	RDE
CERTIFIED SURVEY MAP	CSM	EASEMENT	EASEMENT
CONCRETE	CONC	RIGHT	RT
COUNTY	CO	RIGHT OF WAY	R/W
COUNTY TRUNK HIGHWAY	CTH	SECTION	SEC
DISTANCE	DIST	SEPTIC VENT	SEPV
CORNER	COR	SQUARE FEET	SF
DOCUMENT NUMBER	DOC	STATE TRUNK HIGHWAY	STH
EASEMENT	EASE	STATION	STA
EXISTING	EX	TELEPHONE PEDESTAL	TP
GAS VALVE	GV	TEMPORARY LIMITED	TLE
GRID NORTH	GN	EASEMENT	EASEMENT
HIGHWAY EASEMENT	HE	TRANSPORTATION PROJECT PLAT	TPP
IDENTIFICATION	ID	UNITED STATES HIGHWAY	USH
LAND CONTRACT	LC	VOLUME	V
LEFT	LT	<b>CURVE DATA ABBREVIATIONS</b>	
MONUMENT	MON	LONG CHORD	LCH
NATIONAL GEODETTIC SURVEY	NGS	LONG CHORD BEARING	LCB
NUMBER	NO	RADIUS	R
OUTLOT	OL	DEGREE OF CURVE	D
PAGE	P	CENTRAL ANGLE	L
POINT OF TANGENCY	PT	LENGTH OF CURVE	L
PERMANENT LIMITED	PL	TANGENT	T
EASEMENT	EASEMENT	DIRECTION AHEAD	DA
POINT OF BEGINNING	POB	DIRECTION BACK	DB
POINT OF CURVATURE	PC		



**NOTES:**  
POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), BROWN COUNTY, NAD83(2011), IN U.S. SURVEY FEET, VALUES ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.  
ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 1-INCH X 18-INCH IRON PIPE), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.  
PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.  
ALL RIGHT-OF-WAY LINES DEPICTED IN THE NON-ACQUISITION AREAS ARE INTENDED TO RE-ESTABLISH EXISTING RIGHT-OF-WAY LINES AS DETERMINED FROM PREVIOUS PROJECTS, OTHER RECORDED DOCUMENTS, CENTERLINE OF EXISTING PAVEMENTS AND/OR EXISTING OCCUPATIONAL LINES.  
RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF PUBLIC RECORD.  
DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.  
A TEMPORARY LIMITED EASEMENT (TLE) IS A RIGHT FOR CONSTRUCTION PURPOSES, AS DEFINED HEREIN, INCLUDING THE RIGHT TO OPERATE NECESSARY EQUIPMENT THEREON, THE RIGHT OF INGRESS AND EGRESS, AS LONG AS REQUIRED FOR SUCH PUBLIC PURPOSE, INCLUDING THE RIGHT TO PRESERVE, PROTECT, REMOVE, OR PLANT THEREON ANY VEGETATION THAT THE HIGHWAY AUTHORITIES MAY DEEM DESIRABLE. ALL TLE 'S IN THIS PLAT EXPIRE AT THE COMPLETION OF THE CONSTRUCTION PROJECT FOR WHICH THIS INSTRUMENT IS GIVEN.  
FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE CITY OF DE PERE.  
PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE TPP DETAIL PAGES.  
FOUND MONUMENT INFORMATION SHOWN REPRESENTS TYPE AND LOCATION OF EXISTING MONUMENTS WITHOUT OPINION AS TO THEIR VALIDITY AND USE AS A PROPERTY CORNER.

**TLE NOTE: ALL TEMPORARY LIMITED EASEMENTS ON THIS TRANSPORTATION PROJECT PLAT ARE FOR SLOPING AND CONSTRUCTION PURPOSES**

EXISTING HIGHWAY RIGHT-OF-WAY SHOWN IS BASED UPON THE FOLLOWING POINTS OF REFERENCE:

- EXISTING RIGHT OF WAY OF MAIN AVE/STH "32" IS BASED ON DE PERE'S COMPANY ADDITION, CSM NO. 8187 AND ASSASSOR'S SUBDIVISION OF LAND IN THE CITY OF NICOLET
- EXISTING RIGHT OF WAY OF 8TH STREET IS BASED ON CSM NO. 8970, CSM NO. 1244, CSM NO. 8187, CSM NO. 9637 & TPP 4085-42-21-4.01 IN DOC. 2713601

**Westwood** Phone (920) 735-6900 One Systems Drive  
Fax (920) 830-6100 Appleton, WI 54914-1654  
Toll Free (800) 571-6677 westwoodps.com  
Westwood Infrastructure, Inc.

I, TERRY L. VAN HOUT, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT IN FULL COMPLIANCE WITH THE PROVISIONS OF SECTION 84.095 OF THE WISCONSIN STATUTES AND UNDER THE DIRECTION OF THE CITY, I HAVE SURVEYED AND MAPPED THIS TRANSPORTATION PROJECT PLAT 4190-17-21-4.01 AND SUCH PLAT CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES OF THE SURVEYED LAND.

SIGNATURE: \_\_\_\_\_ DATE: 12-01-2025  
PRINT NAME: TERRY L. VAN HOUT  
REGISTRATION NUMBER: S-2526

THIS PLAT AND RELOCATION ORDER ARE APPROVED FOR THE CITY OF DE PERE

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_

# TRANSPORTATION PROJECT PLAT NO: 4190-17-21 - 4.02

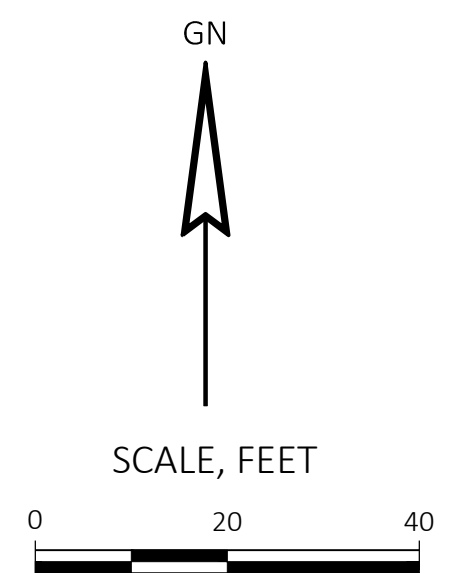
PART OF LOTS 28 & 29 OF CARABIN'S SECOND ADDITION TO WEST DE PERE; PART OF PRIVATE CLAIM NO. 29 W.S.F.R.; ALL LOCATED IN CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

RELOCATION ORDER STH 32 3RD STREET - 8TH STREET CITY OF DE PERE BROWN COUNTY

TO PROPERLY ESTABLISH, LAY OUT, WIDEN, ENLARGE, EXTEND, CONSTRUCT, RECONSTRUCT, IMPROVE, OR MAINTAIN A PORTION OF THE HIGHWAY DESIGNATED ABOVE, THE CITY OF DE PERE DEEMS IT NECESSARY TO RELOCATE OR CHANGE SAID HIGHWAY AND ACQUIRE CERTAIN LANDS AND INTERESTS OR RIGHTS IN LANDS FOR THE ABOVE NAMED PROJECT.

TO EFFECT THIS CHANGE, PURSUANT TO AUTHORITY GRANTED UNDER SUBSECTIONS 66.22 AND 62.23 (10) WISCONSIN STATUTES, THE CITY OF DE PERE HEREBY ORDERS THAT:

1. THAT PORTION OF SAID HIGHWAY AS SHOWN ON THIS PLAT IS LAID OUT AND ESTABLISHED TO THE LINES AND WIDTHS AS SO SHOWN FOR THE ABOVE NAMED PROJECT.
2. THE LANDS OR INTERESTS OR RIGHTS IN LANDS AS SHOWN ON THIS PLAT ARE REQUIRED BY THE CITY OF DE PERE FOR THE ABOVE PROJECT AND SHALL BE ACQUIRED IN THE NAME OF THE CITY OF DE PERE, PURSUANT TO THE PROVISIONS OF SUBSECTION 62.22 (1), WISCONSIN STATUTES.



RESERVED FOR REGISTER OF DEEDS  
PROJECT NUMBER: 4190-17-21-4.02  
SHEET 1 OF 1

## SCHEDULE OF LANDS AND INTERESTS REQUIRED

OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE DEPARTMENT

PARCEL NUMBER	OWNER(S)	INTEREST(S)				TLE SF REQUIRED
		REQUIRED	NEW	EXISTING	TOTAL	
36	JENNIFER BERENDSEN		188	-	188	749

UTILITY INTERESTS REQUIRED			
UTILITY NUMBER	UTILITY OWNERS	INTERESTS REQUIRED	EASEMENTS
103	AT&T	RELEASE OF RIGHTS	NO EASEMENT OF RECORD - PAR. 36

### NOTES:

POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), BROWN COUNTY, NAD83(2011), IN U.S. SURVEY FEET, VALUES ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.

ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 1-INCH X 18-INCH IRON PIPE), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.

PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.

ALL RIGHT-OF-WAY LINES DEPICTED IN THE NON-ACQUISITION AREAS ARE INTENDED TO RE-ESTABLISH EXISTING RIGHT-OF-WAY LINES AS DETERMINED FROM PREVIOUS PROJECTS, OTHER RECORDED DOCUMENTS, CENTERLINE OF EXISTING PAVEMENTS AND/OR EXISTING OCCUPATIONAL LINES.

RIGHT-OF-WAY BOUNDARIES ARE DEFINED WITH COURSES OF THE PERIMETER OF THE HIGHWAY LANDS REFERENCED TO THE U.S. PUBLIC LAND SURVEY SYSTEM OR OTHER "SURVEYS" OF PUBLIC RECORD.

DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.

A TEMPORARY LIMITED EASEMENT (TLE) IS A RIGHT FOR CONSTRUCTION PURPOSES, AS DEFINED HEREIN, INCLUDING THE RIGHT TO OPERATE NECESSARY EQUIPMENT THEREON, THE RIGHT OF INGRESS AND EGRESS, AS LONG AS REQUIRED FOR SUCH PUBLIC PURPOSE, INCLUDING THE RIGHT TO PRESERVE, PROTECT, REMOVE, OR PLANT THEREON ANY VEGETATION THAT THE HIGHWAY AUTHORITIES MAY DEEM DESIRABLE. ALL TLE 'S IN THIS PLAT EXPIRE AT THE COMPLETION OF THE CONSTRUCTION PROJECT FOR WHICH THIS INSTRUMENT IS GIVEN.

FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE CITY OF DE PERE.

PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE TPP DETAIL PAGES.

FOUND MONUMENT INFORMATION SHOWN REPRESENTS TYPE AND LOCATION OF EXISTING MONUMENTS WITHOUT OPINION AS TO THEIR VALIDITY AND USE AS A PROPERTY CORNER.

### CONVENTIONAL SYMBOLS

SECTION LINE	---	GOVERNMENT CORNER SYMBOL	⊙	R/W MONUMENT (TO BE SET)	●
QUARTER LINE	---	GOVERNMENT CORNER MONUMENT	⊕	NON-MONUMENTED R/W POINT	○
SIXTEENTH LINE	---	GEODETIC SURVEY MONUMENT	⊙	FOUND IRON PIN (1-INCH UNLESS NOTED)	IP
NEW REFERENCE LINE	---	SIXTEENTH CORNER MONUMENT	⊙	CHISELED "X" IN CONCRETE (TO BE SET)	⊗
NEW R/W LINE	---	SIGN	⊕	OFF-PREMISE SIGN	⊕
EXISTING R/W OR HE LINE	---	ELECTRIC POLE (COMMUNICATIONS, ELECTRIC, ETC.)	⊕	COMPENSABLE TELEPHONE POLE	⊕
PROPERTY LINE	---	PEDESTAL (LABEL TYPE) (TV, TEL, ELEC, ETC.)	⊕	NON-COMPENSABLE TELEPHONE POLE	⊕
LOT, TIE & OTHER MINOR LINES	---	ACCESS RESTRICTED BY ACQUISITION		NO ACCESS (BY STATUTORY AUTHORITY)	.....
SLOPE INTERCEPT	---	NO ACCESS (BY PREVIOUS PROJECT OR CONTROL)		NO ACCESS (NEW HIGHWAY)	▲▲▲▲
CORPORATE LIMITS	---	PARCEL NUMBER	⊕	UTILITY NUMBER	⊕
UNDERGROUND FACILITY (COMMUNICATIONS, ELECTRIC, ETC.)	---	PARALLEL OFFSETS	---		
NEW R/W (FEE OR HE) (HATCHING VARIES BY OWNER)	---				
TEMPORARY LIMITED EASEMENT AREA	---				
EASEMENT AREA (PERMANENT LIMITED OR RESTRICTED DEVELOPMENT)	---				
TRANSMISSION STRUCTURES	---				
BUILDING	---				
BRIDGE	---				

### CONVENTIONAL ABBREVIATIONS

ACCESS RIGHTS	AR	POINT OF COMPOUND CURVE	PCC
ACRES	AC	POINT OF INTERSECTION	PI
AHEAD	AH	PROPERTY LINE	PL
ALUMINUM	ALUM	RECORDED AS	(100')
AND OTHERS	ET AL	REEL / IMAGE	R/I
BACK	BK	REFERENCE LINE	R/L
BLOCK	BLK	REMAINING	REM
CENTERLINE	C/L	RESTRICTIVE DEVELOPMENT	RDE
CERTIFIED SURVEY MAP	CSM	EASEMENT	
CONCRETE	CONC	RIGHT	RT
COUNTY	CO	RIGHT OF WAY	R/W
COUNTY TRUNK HIGHWAY	CTH	SECTION	SEC
DISTANCE	DIST	SEPTIC VENT	SEPV
CORNER	COR	SQUARE FEET	SF
DOCUMENT NUMBER	DOC	STATE TRUNK HIGHWAY	STH
EASEMENT	EASE	STATION	STA
EXISTING	EX	TELEPHONE PEDESTAL	TP
GAS VALVE	GV	TEMPORARY LIMITED	TLE
GRID NORTH	GN	EASEMENT	
HIGHWAY EASEMENT	HE	TRANSPORTATION PROJECT PLAT	TPP
IDENTIFICATION	ID	UNITED STATES HIGHWAY	USH
LAND CONTRACT	LC	VOLUME	V
LEFT	LT		
MONUMENT	MON		
NATIONAL GEODETIC SURVEY	NGS		
NUMBER	NO		
OUTLOT	OL		
PAGE	P		
POINT OF TANGENCY	PT		
PERMANENT LIMITED EASEMENT	PLE		
POINT OF BEGINNING	POB		
POINT OF CURVATURE	PC		

### CONVENTIONAL UTILITY SYMBOLS

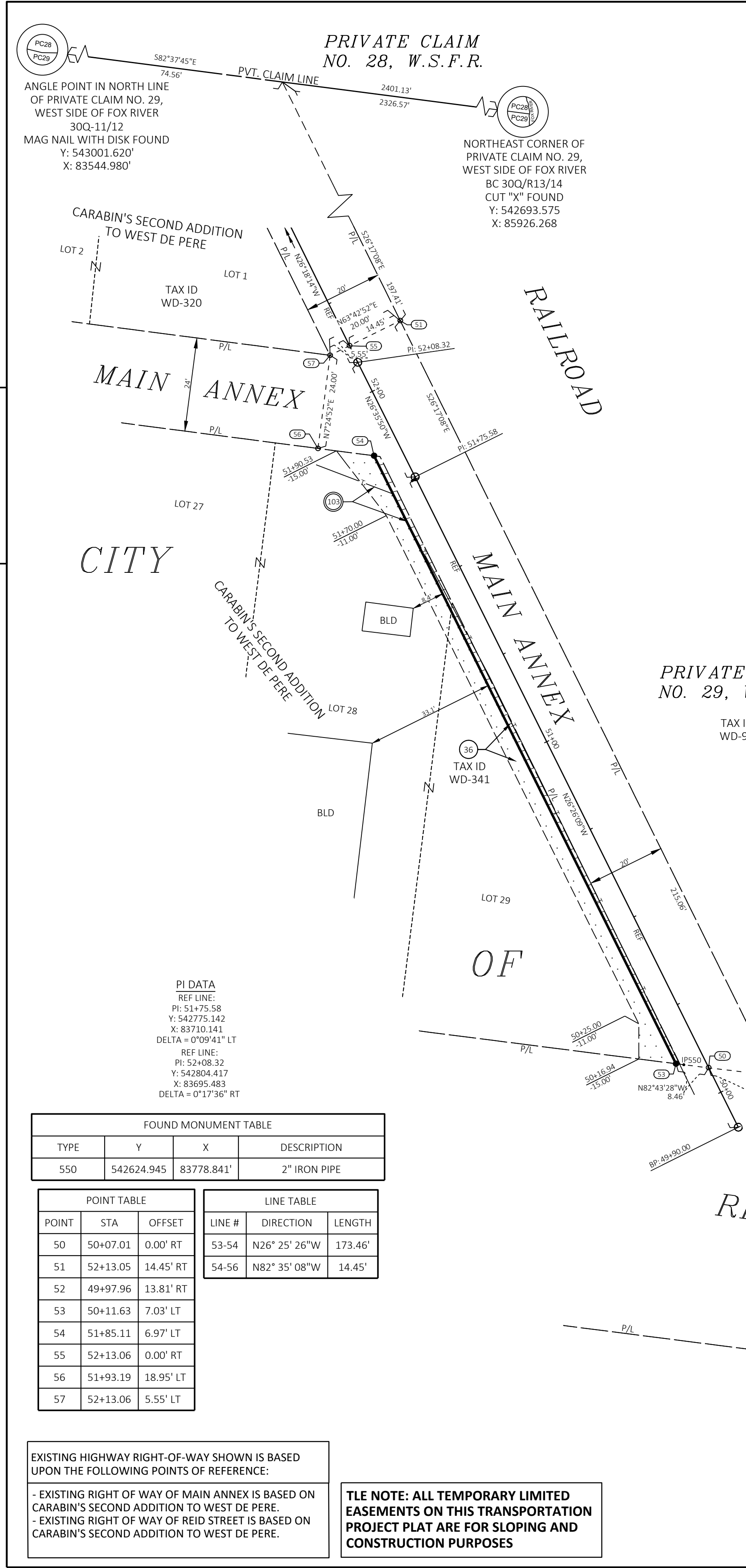
WATER	---
GAS	---
TELEPHONE	---
OVERHEAD TRANSMISSION LINES	---
ELECTRIC	---
CABLE TELEVISION	---
FIBER OPTIC	---
SANITARY SEWER	---
STORM SEWER	---
ELECTRIC TOWER	---

**Westwood** Phone (920) 735-6900 One Systems Drive  
Fax (920) 830-6100 Appleton, WI 54914-1654  
Toll Free (800) 571-6677 westwoodps.com  
Westwood Infrastructure, Inc.

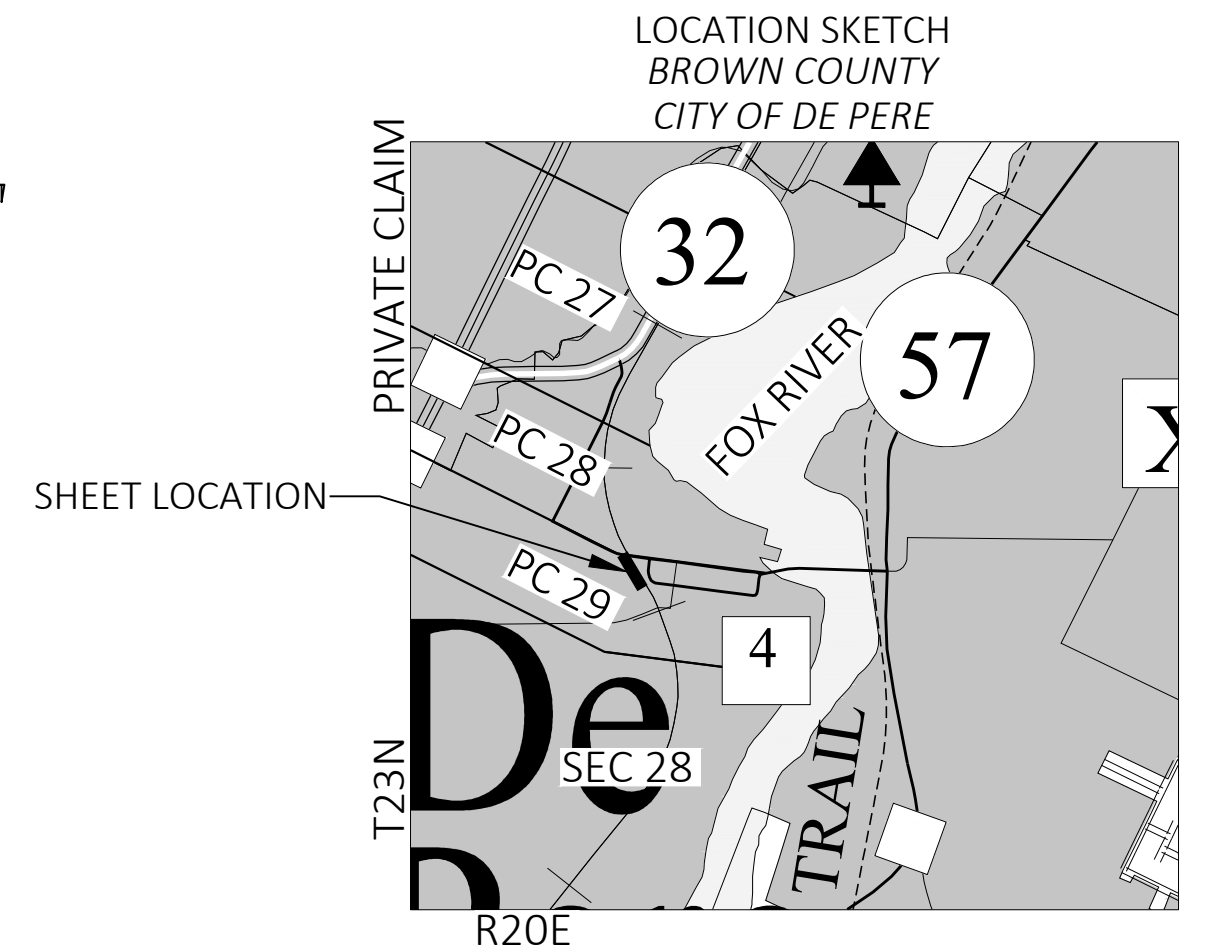
I, TERRY L. VAN HOUT, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT IN FULL COMPLIANCE WITH THE PROVISIONS OF SECTION 84.095 OF THE WISCONSIN STATUTES AND UNDER THE DIRECTION OF THE CITY, I HAVE SURVEYED AND MAPPED THIS TRANSPORTATION PROJECT PLAT 4190-17-21-4.01 AND SUCH PLAT CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES OF THE SURVEYED LAND.

SIGNATURE: \_\_\_\_\_ DATE: 12-01-2025  
PRINT NAME: \_\_\_\_\_  
REGISTRATION NUMBER: S-2526  
  
THIS PLAT AND RELOCATION ORDER ARE APPROVED FOR THE CITY OF DE PERE  
  
SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_

**DRAFT**



PRIVATE CLAIM NO. 29, W.S.F.R.



# TRANSPORTATION PROJECT PLAT NO: 4190-17-21-4.03

PART OF LOTS 85, 86, 88 & 89 OF THE PLAT OF WEST DE PERE; PART OF LOT 1, CERTIFIED SURVEY MAP NUMBER 9738, DOCUMENT NO. 3060956; ALL BEING LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R, CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

RELOCATION ORDER STH 32 3RD STREET - 8TH STREET CITY OF DE PERE BROWN COUNTY

TO PROPERLY ESTABLISH, LAY OUT, WIDEN, ENLARGE, EXTEND, CONSTRUCT, RECONSTRUCT, IMPROVE, OR MAINTAIN A PORTION OF THE HIGHWAY DESIGNATED ABOVE, THE CITY OF DE PERE DEEMS IT NECESSARY TO RELOCATE OR CHANGE SAID HIGHWAY AND ACQUIRE CERTAIN LANDS AND INTERESTS OR RIGHTS IN LANDS FOR THE ABOVE NAMED PROJECT.

TO EFFECT THIS CHANGE, PURSUANT TO AUTHORITY GRANTED UNDER SUBSECTIONS 66.22 AND 62.23 (10) WISCONSIN STATUTES, CITY OF DE PERE HEREBY ORDERS THAT:

- THAT PORTION OF SAID HIGHWAY AS SHOWN ON THIS PLAT IS LAID OUT AND ESTABLISHED TO THE LINES AND WIDTHS AS SO SHOWN FOR THE ABOVE NAMED PROJECT.
- THE LANDS OR INTERESTS OR RIGHTS IN LANDS AS SHOWN ON THIS PLAT ARE REQUIRED BY THE CITY OF DE PERE FOR THE ABOVE PROJECT AND SHALL BE ACQUIRED IN THE NAME OF CITY OF DE PERE, PURSUANT TO THE PROVISIONS OF SUBSECTION 62.22 (1), WISCONSIN STATUTES.

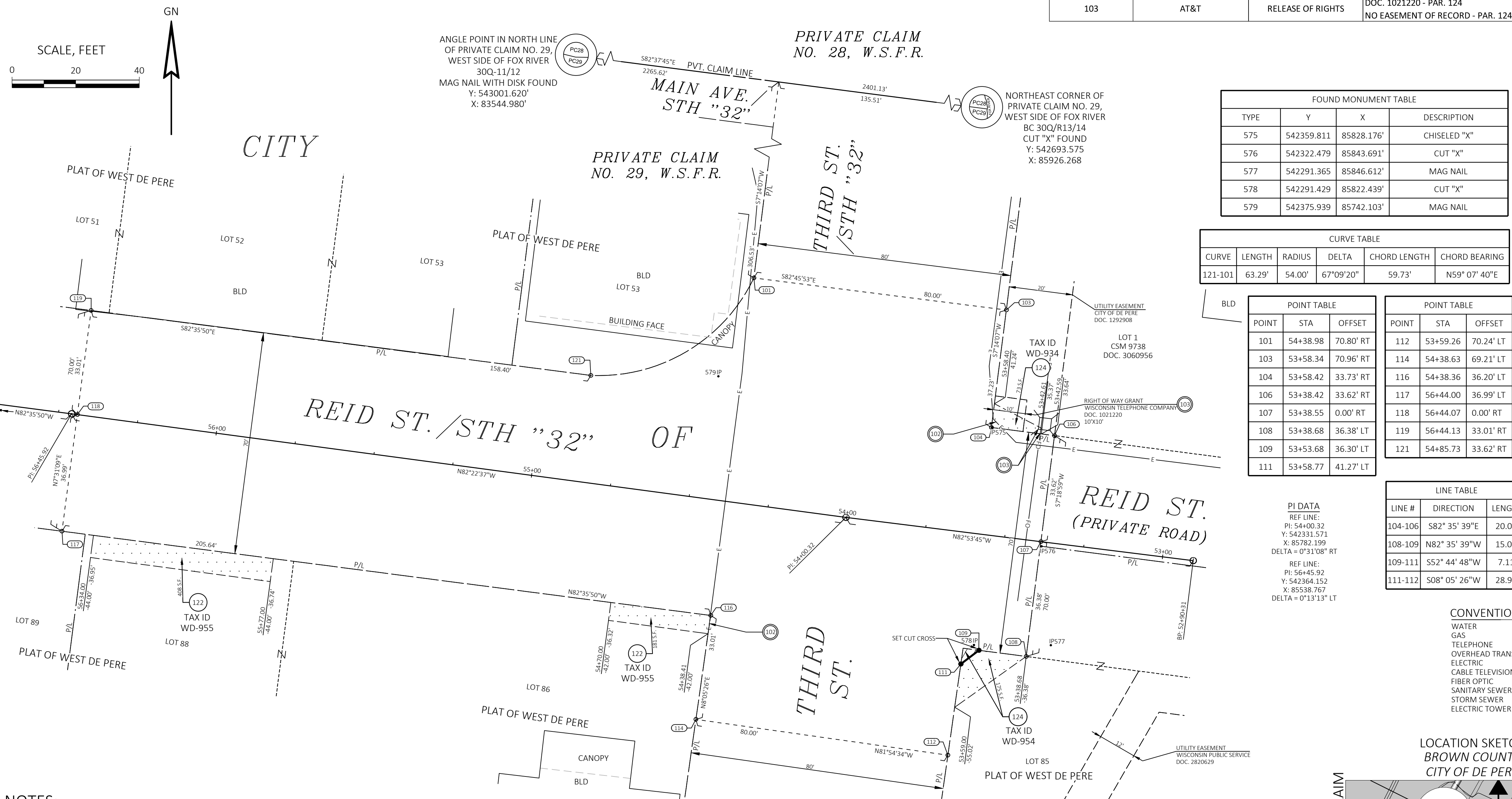
## SCHEDULE OF LANDS AND INTERESTS REQUIRED

PARCEL NUMBER	OWNER(S)	INTEREST(S)	FEE R/W AREA REQUIRED - SF			TLE SF
			REQUIRED	NEW	EXISTING	TOTAL
122	REID STREET RETAIL, LLC	TLE	-	-	-	589
124	ST. NORBERT COLLEGE, INC., A WISCONSIN CORPORATION	FEE, TLE	13	-	-	350

OWNER'S NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE DEPARTMENT

UTILITY INTERESTS REQUIRED			
UTILITY NUMBER	UTILITY OWNERS	INTERESTS REQUIRED	EASEMENTS
102	WISCONSIN PUBLIC SERVICE (ELECTRIC)	RELEASE OF RIGHTS	NO EASEMENT OF RECORD - PAR. 122 NO EASEMENT OF RECORD - PAR. 124
103	AT&T	RELEASE OF RIGHTS	DOC. 1021220 - PAR. 124 NO EASEMENT OF RECORD - PAR. 124

RESERVED FOR REGISTER OF DEEDS  
PROJECT NUMBER: 4190-17-21-4.03  
SHEET 1 OF 1



FOUND MONUMENT TABLE			
TYPE	Y	X	DESCRIPTION
575	542359.811	85828.176'	CHISELED "X"
576	542322.479	85843.691'	CUT "X"
577	542291.365	85846.612'	MAG NAIL
578	542291.429	85822.439'	CUT "X"
579	542375.939	85742.103'	MAG NAIL

CURVE TABLE					
CURVE	LENGTH	RADIUS	DELTA	CHORD LENGTH	CHORD BEARING
121-101	63.29'	54.00'	67°09'20"	59.73'	N59°07'40"E

POINT TABLE			POINT TABLE		
POINT	STA	OFFSET	POINT	STA	OFFSET
101	54+38.98	70.80' RT	112	53+59.26	70.24' LT
103	53+58.34	70.96' RT	114	54+38.63	69.21' LT
104	53+58.42	33.73' RT	116	54+38.36	36.20' LT
106	53+38.42	33.62' RT	117	56+44.00	36.99' LT
107	53+38.55	0.00' RT	118	56+44.07	0.00' RT
108	53+38.68	36.38' LT	119	56+44.13	33.01' RT
109	53+53.68	36.30' LT	121	54+85.73	33.62' RT
111	53+58.77	41.27' LT			

LINE TABLE		
LINE #	DIRECTION	LENGTH
104-106	S82° 35' 39"E	20.00'
108-109	N82° 35' 39"W	15.00'
109-111	S52° 44' 48"W	7.11'
111-112	S08° 05' 26"W	28.97'

PI DATA  
REF LINE:  
PI: 54+00.32  
Y: 542331.571  
X: 85782.199  
DELTA = 0°31'08" RT  
REF LINE:  
PI: 56+45.92  
Y: 542364.152  
X: 85538.767  
DELTA = 0°13'13" LT

### CONVENTIONAL SYMBOLS

SECTION LINE	--- --	GOVERNMENT CORNER SYMBOL	⊕	R/W MONUMENT (TO BE SET)	●
QUARTER LINE	--- --	GOVERNMENT CORNER MONUMENT	⊕	NON-MONUMENTED R/W POINT	○
SIXTEENTH LINE	--- --	GEODETIC SURVEY MONUMENT	⊕	FOUND IRON PIN (1-INCH UNLESS NOTED)	IP
NEW REFERENCE LINE	--- --	SIXTEENTH CORNER MONUMENT	⊕	CHISELED "X" IN CONCRETE (TO BE SET)	⊗
NEW R/W LINE	--- --	SIGN	⊕	OFF-PREMISE SIGN	⊕
EXISTING R/W OR HE LINE	--- --	COMPENSABLE	⊕	NON-COMPENSABLE	⊕
PROPERTY LINE	--- --	ELECTRIC POLE	⊕	TELEPHONE POLE	⊕
LOT, TIE & OTHER MINOR LINES	--- --	PEDESTAL (LABEL TYPE) (TV, TEL, ELEC, ETC.)	⊕	ACCESS RESTRICTED BY ACQUISITION	
SLOPE INTERCEPT	--- --	NO ACCESS (BY STATUTORY AUTHORITY)	.....	ACCESS RESTRICTED (BY PREVIOUS PROJECT OR CONTROL)	.....
CORPORATE LIMITS	--- --	NO ACCESS (NEW HIGHWAY)	.....	PARCEL NUMBER (25)	⊕
UNDERGROUND FACILITY (COMMUNICATIONS, ELECTRIC, ETC)	--- --	PARALLEL OFFSETS	--- --	UTILITY NUMBER (40)	⊕
NEW R/W (FEE OR HE) (HATCHING VARIES BY OWNER)	--- --	CONVENTIONAL ABBREVIATIONS			
TEMPORARY LIMITED EASEMENT AREA	--- --	ACCESS RIGHTS	AR	POINT OF COMPOUND CURVE	PCC
EASEMENT AREA (PERMANENT LIMITED OR RESTRICTED DEVELOPMENT)	--- --	ACRES	AC	POINT OF INTERSECTION	PI
TRANSMISSION STRUCTURES	--- --	AHEAD	AH	PROPERTY LINE	PL
BUILDING	--- --	ALUMINUM AND OTHERS	ALUM	RECORDED AS (100')	(100')
BRIDGE	--- --	BACK	BK	REEL / IMAGE	R/I
		BLOCK	BLK	REFERENCE LINE	R/L
		CENTERLINE	CL	REMAINING	REM
		CERTIFIED SURVEY MAP	CSM	RESTRICTIVE DEVELOPMENT	RDE
		CONCRETE	CONC	EASEMENT	EASE
		COUNTY	CO	RIGHT	RT
		COUNTY TRUNK HIGHWAY	CTH	RIGHT OF WAY	R/W
		DISTANCE	DIST	SECTION	SEC
		CORNER	COR	SEPTIC VENT	SEPV
		DOCUMENT NUMBER	DOC	SQUARE FEET	SF
		EASEMENT	EASE	STATE TRUNK HIGHWAY	STH
		EXISTING	EX	STATION	STA
		GAS VALVE	GV	TELEPHONE PEDESTAL	TP
		GRID NORTH	GN	TEMPORARY LIMITED	TLE
		HIGHWAY EASEMENT	HE	EASEMENT	EASE
		IDENTIFICATION	ID	TRANSPORTATION PROJECT PLAT	TPP
		LAND CONTRACT	LC	UNITED STATES HIGHWAY	USH
		LEFT	LT	VOLUME	V
		MONUMENT	MON		
		NATIONAL GEODETIC SURVEY	NGS		
		NUMBER	NO		
		OUTLOT	OL		
		PAGE	P		
		POINT OF TANGENCY	PT		
		PERMANENT LIMITED EASEMENT	PLE		
		POINT OF BEGINNING	POB		
		POINT OF CURVATURE	PC		

**NOTES:**  
POSITIONS SHOWN ON THIS PLAT ARE WISCONSIN COORDINATE REFERENCE SYSTEM COORDINATES (WISCRS), BROWN COUNTY, NAD83(2011), IN U.S. SURVEY FEET, VALUES ARE GRID COORDINATES, GRID BEARINGS, AND GRID DISTANCES. GRID DISTANCES MAY BE USED AS GROUND DISTANCES.

ALL NEW RIGHT-OF-WAY MONUMENTS WILL BE TYPE 2 (TYPICALLY 1-INCH X 18-INCH IRON PIPE), UNLESS OTHERWISE NOTED, AND WILL BE PLACED PRIOR TO THE COMPLETION OF THE PROJECT.

PROPERTY LINES SHOWN ON THIS PLAT FOR PROPERTIES BEING IMPACTED ARE DRAWN FROM DATA DERIVED FROM FILED/RECORDED MAPS AND DOCUMENTS OF PUBLIC RECORD. THIS PLAT MAY NOT BE A TRUE REPRESENTATION OF EXISTING PROPERTY LINES, EXCLUDING RIGHT-OF-WAY, AND SHOULD NOT BE USED AS A SUBSTITUTE FOR AN ACCURATE FIELD SURVEY.

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DIMENSIONING FOR THE NEW RIGHT-OF-WAY IS MEASURED ALONG AND PERPENDICULAR TO THE NEW REFERENCE LINES.

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FOR THE CURRENT ACCESS/DRIVEWAY INFORMATION, CONTACT THE CITY OF DE PERE.

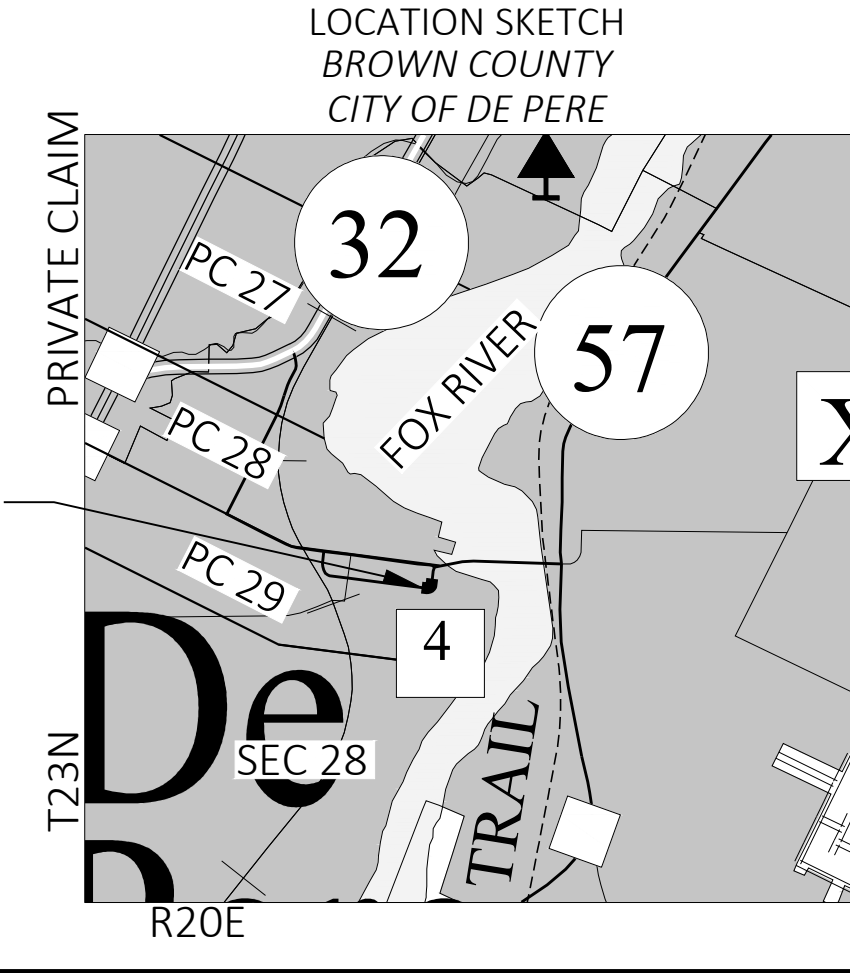
PARCEL AND UTILITY IDENTIFICATION NUMBERS MAY NOT POINT TO ALL AREAS OF ACQUISITION, AS NOTED ON THE TPP DETAIL PAGES.

FOUND MONUMENT INFORMATION SHOWN REPRESENTS TYPE AND LOCATION OF EXISTING MONUMENTS WITHOUT OPINION AS TO THEIR VALIDITY AND USE AS A PROPERTY CORNER.

**TLE NOTE: ALL TEMPORARY LIMITED EASEMENTS ON THIS TRANSPORTATION PROJECT PLAT ARE FOR SLOPING AND CONSTRUCTION PURPOSES**

EXISTING HIGHWAY RIGHT-OF-WAY SHOWN IS BASED UPON THE FOLLOWING POINTS OF REFERENCE:

- EXISTING RIGHT OF WAY OF STH "32"/REID STREET IS BASED ON THE PLAT OF WEST DE PERE
- EXISTING RIGHT OF WAY OF THIRD STREET IS BASED ON THE PLAT OF WEST DE PERE AND CSM NO. 9738



**Westwood** Phone (920) 735-6900 One Systems Drive  
Fax (920) 830-6100 Appleton, WI 54914-1654  
Toll Free (800) 571-6677 westwoods.com  
Westwood Infrastructure, Inc.

I, TERRY L. VAN HOUT, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY THAT IN FULL COMPLIANCE WITH THE PROVISIONS OF SECTION 84.095 OF THE WISCONSIN STATUTES AND UNDER THE DIRECTION OF THE CITY, I HAVE SURVEYED AND MAPPED THIS TRANSPORTATION PROJECT PLAT 4190-17-21-4.03 AND SUCH PLAT CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES OF THE SURVEYED LAND.

SIGNATURE: \_\_\_\_\_ DATE: 12-01-2025  
PRINT NAME: TERRY L. VAN HOUT  
REGISTRATION NUMBER: S-5256

THIS PLAT AND RELOCATION ORDER ARE APPROVED FOR THE CITY OF DE PERE

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_

**DRAFT**

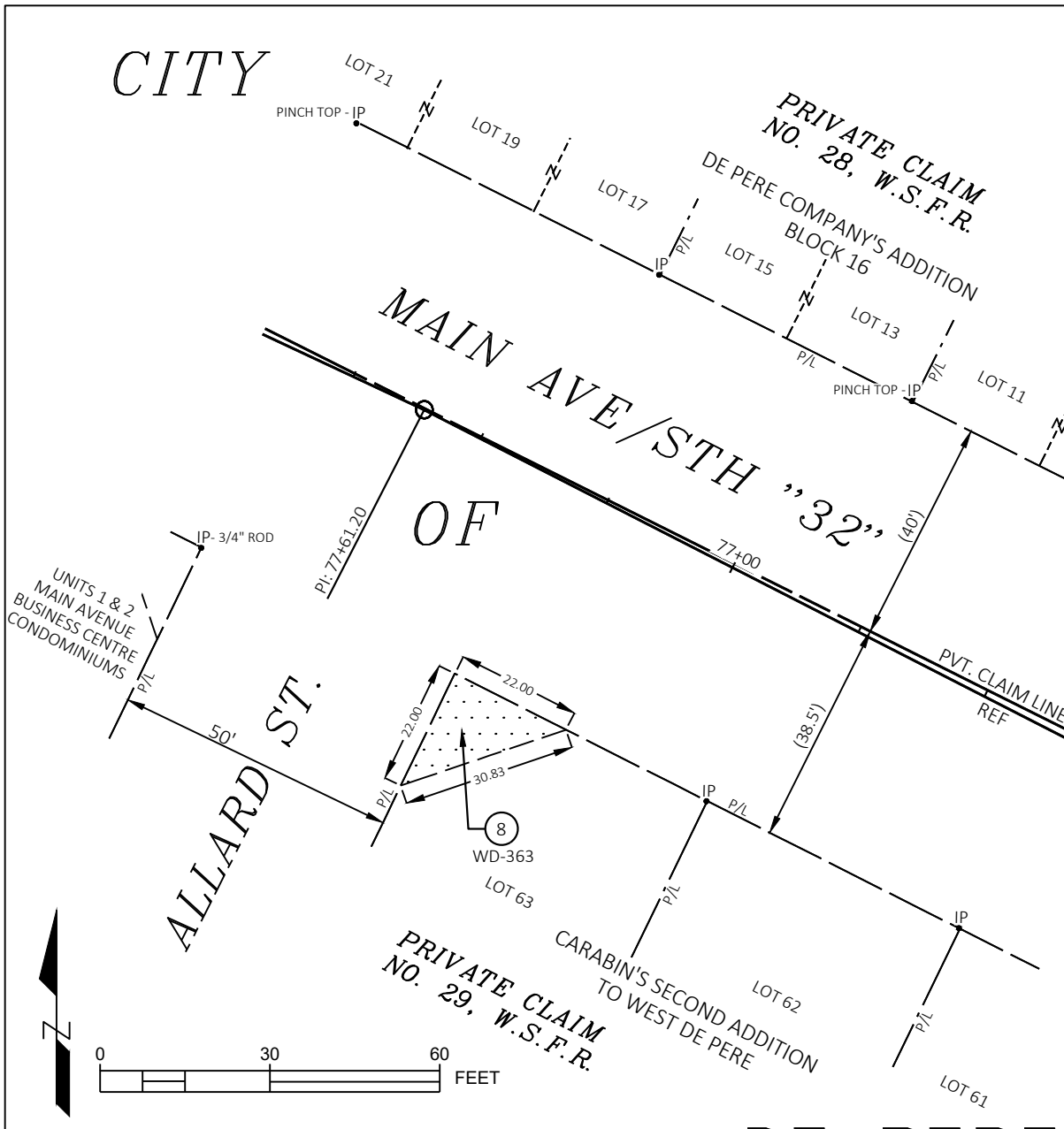
TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE BROWN COUNTY

PART OF LOT 63 OF CARABIN'S SECOND ADDITION TO WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

NOTES:  
THIS EXHIBIT IS A GRAPHIC REPRESENTATION AND IS FOR REFERENCE PURPOSES ONLY. REFER TO THE CONVEYANCE DOCUMENT FOR PARCEL RELATED DETAILS.

PURPOSE OF ALL TLE'S ARE FOR SLOPING, UNLESS OTHERWISE NOTED.

ALL FOUND IP'S ARE 1 INCH IRON PIPES, UNLESS OTHERWISE NOTED.



4

SCHEDULE OF LANDS AND INTERESTS REQUIRED	
PARCEL NUMBER	OWNER(S)
8	JOHN F. SAUBERT

OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY	
INTEREST(S) REQUIRED	TLE (SQ. FT.)
TLE	242

DE PERE

THIS MAP PREPARED BY WESTWOOD PROFESSIONAL SERVICES, FOR THE CITY OF DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

CITY

R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 2

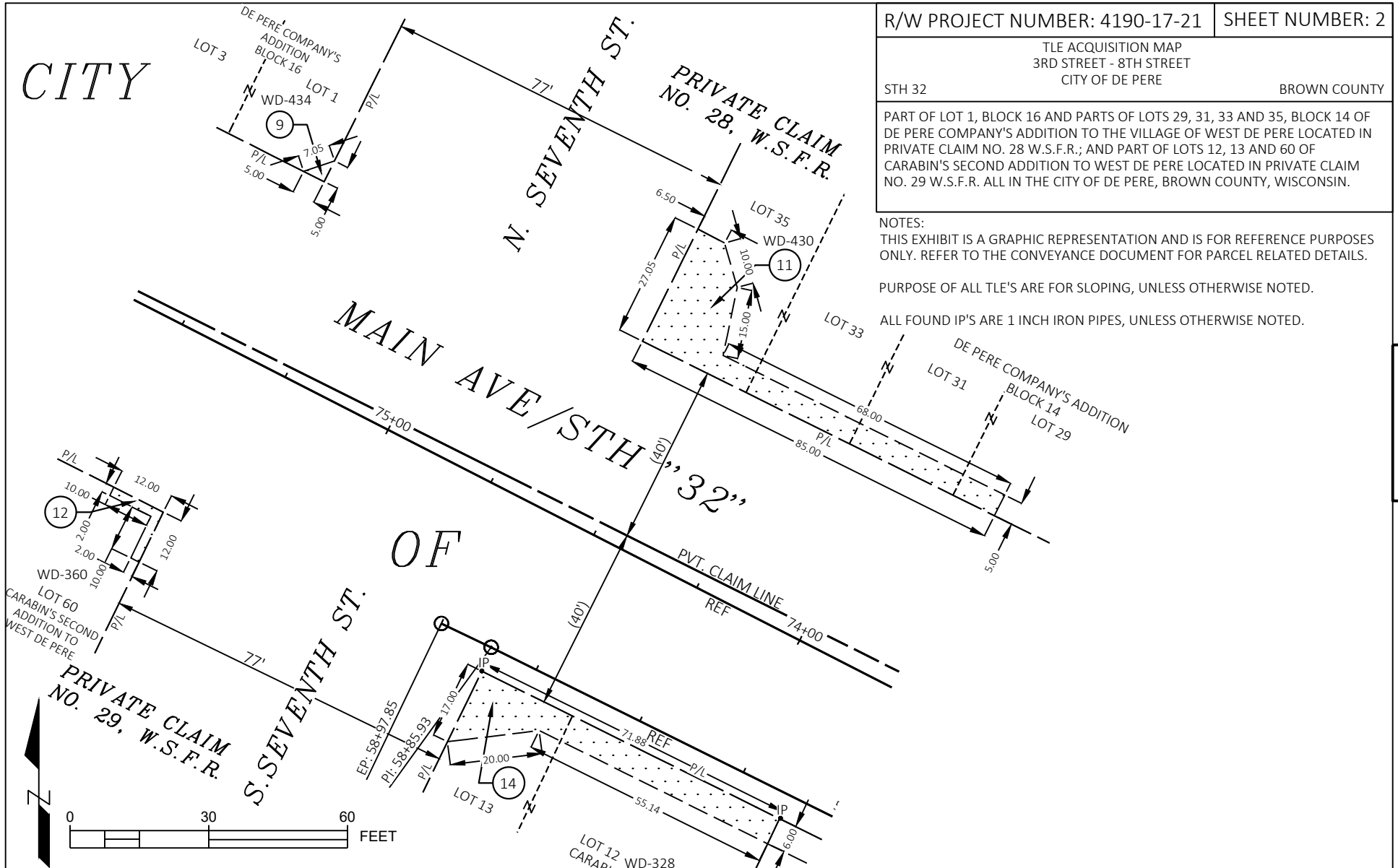
TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE BROWN COUNTY

PART OF LOT 1, BLOCK 16 AND PARTS OF LOTS 29, 31, 33 AND 35, BLOCK 14 OF DE PERE COMPANY'S ADDITION TO THE VILLAGE OF WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 28 W.S.F.R.; AND PART OF LOTS 12, 13 AND 60 OF CARABIN'S SECOND ADDITION TO WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. ALL IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

NOTES:  
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4

SCHEDULE OF LANDS AND INTERESTS REQUIRED

OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY

PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
9	KEITH BRUNETTE	TLE	13
11	GREEN BAY MONTESSORI CHILDREN'S WORLD, INC.	TLE	718
12	ALEX P. OLSZEWSKI	TLE	44
14	DKG INVESTMENTS	TLE	524

DE PERE

THIS MAP PREPARED BY WESTWOOD PROFESSIONAL SERVICES, FOR THE CITY OF DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

CITY

R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 3

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE

STH 32

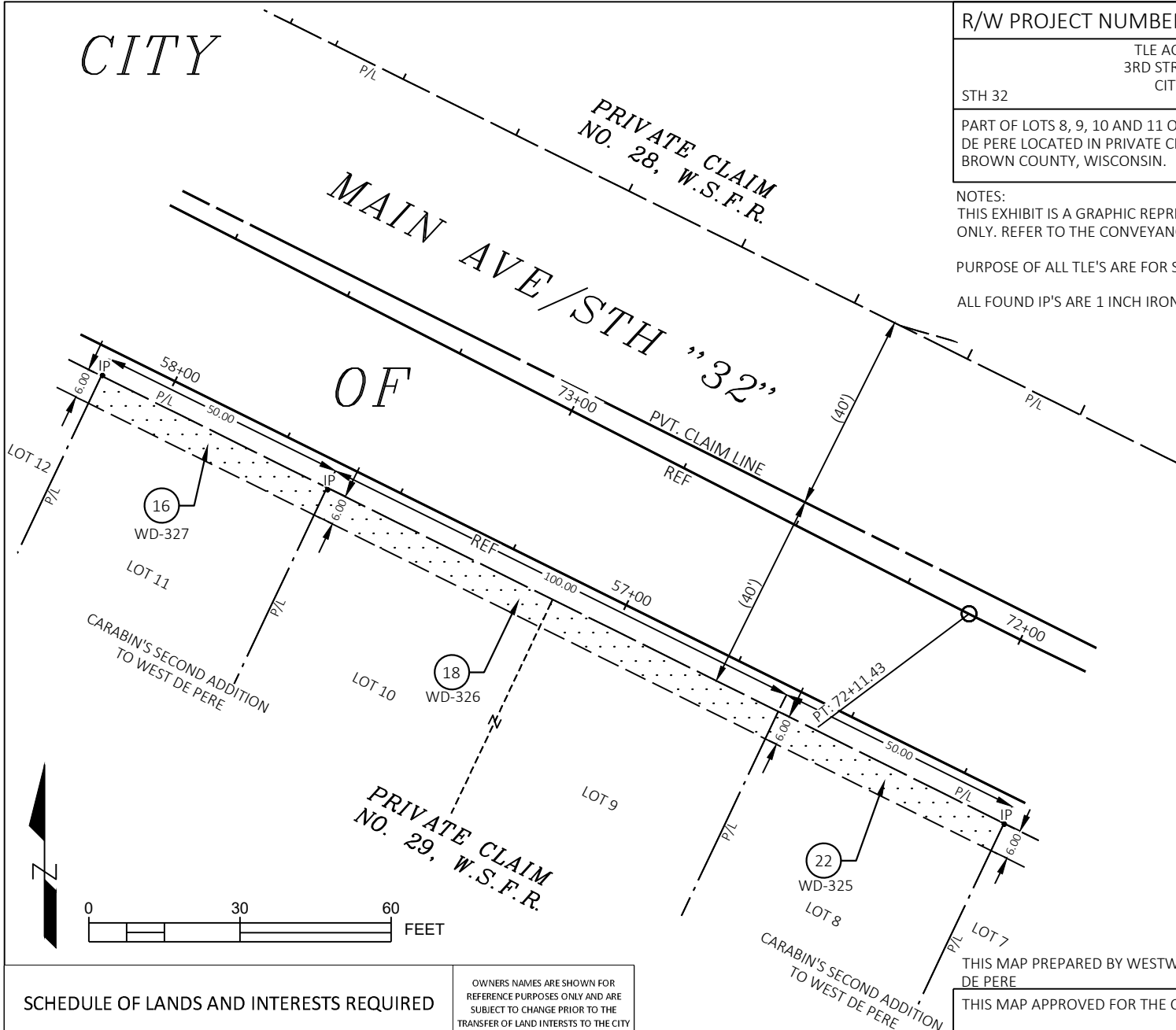
BROWN COUNTY

PART OF LOTS 8, 9, 10 AND 11 OF CARABIAN'S SECOND ADDITION TO WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

NOTES:  
THIS EXHIBIT IS A GRAPHIC REPRESENTATION AND IS FOR REFERENCE PURPOSES ONLY. REFER TO THE CONVEYANCE DOCUMENT FOR PARCEL RELATED DETAILS.

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ALL FOUND IP'S ARE 1 INCH IRON PIPES, UNLESS OTHERWISE NOTED.



4

SCHEDULE OF LANDS AND INTERESTS REQUIRED

OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY

PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
16	ROBERT E. & LINDA A. BROWN	TLE	300
18	KRISTY M. FRISQUE	TLE	600
22	REBECCA MARKOVSKY	TLE	300

DE PERE

THIS MAP PREPARED BY WESTWOOD PROFESSIONAL SERVICES, FOR THE CITY OF DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

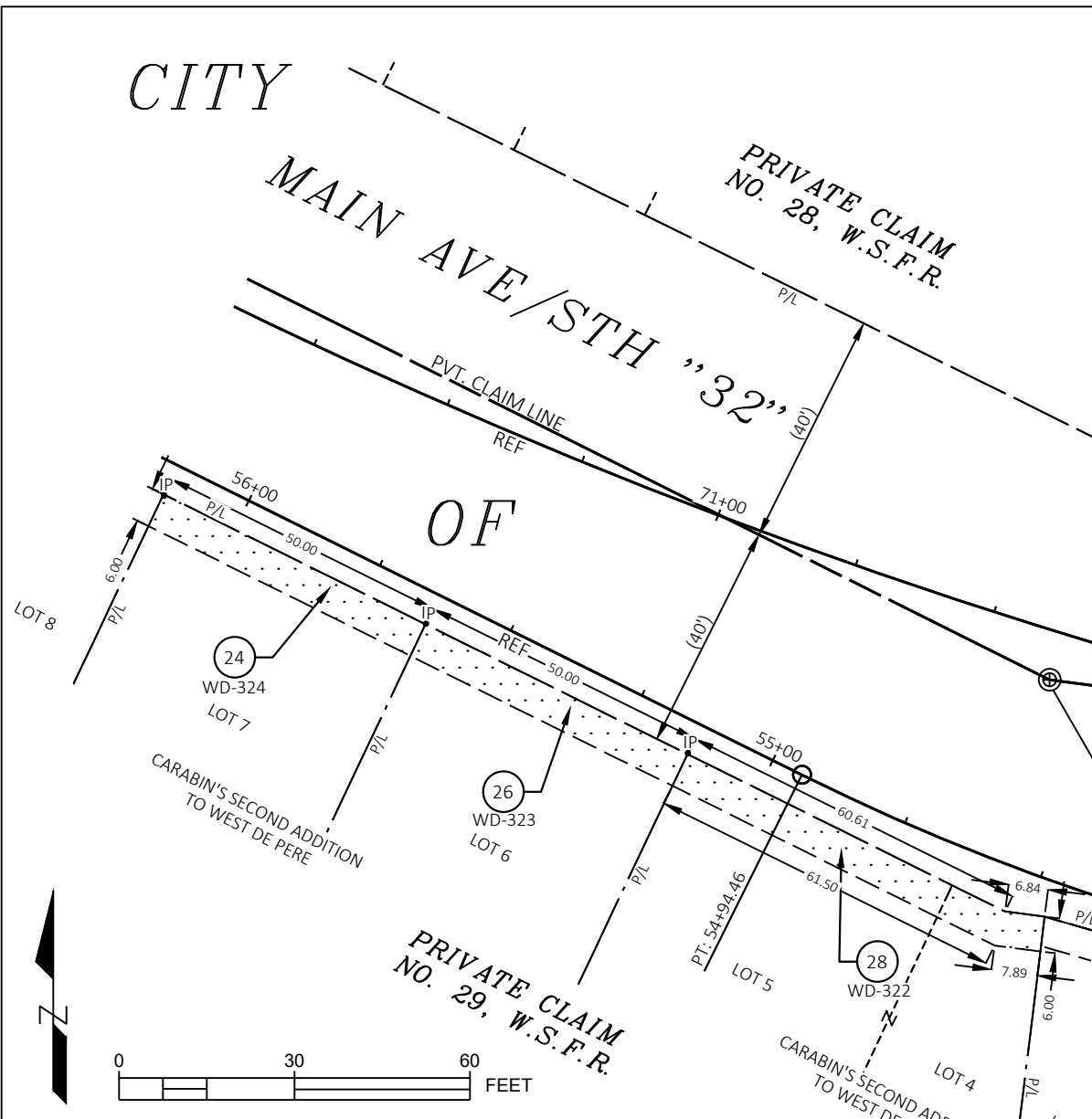
TLE ACQUISITION MAP  
 3RD STREET - 8TH STREET  
 CITY OF DE PERE  
 BROWN COUNTY

PART OF LOTS 4, 5, 6 AND 7 OF CARABIN'S SECOND ADDITION TO WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

NOTES:  
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ANGLE POINT IN NORTH LINE OF PRIVATE CLAIM NO. 29, WEST SIDE OF FOX RIVER 30Q-11/12 MAG NAIL WITH DISK FOUND  
 Y: 543001.598'  
 X: 83545.023'

4

SCHEDULE OF LANDS AND INTERESTS REQUIRED		OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY	
PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
24	ISAIAH J. & BRIANNE M. NOLL	TLE	300
26	JUNE D. JANZ	TLE	300
28	ZACHARY R. LASEE & CHELSEA M. LIPP	TLE	411

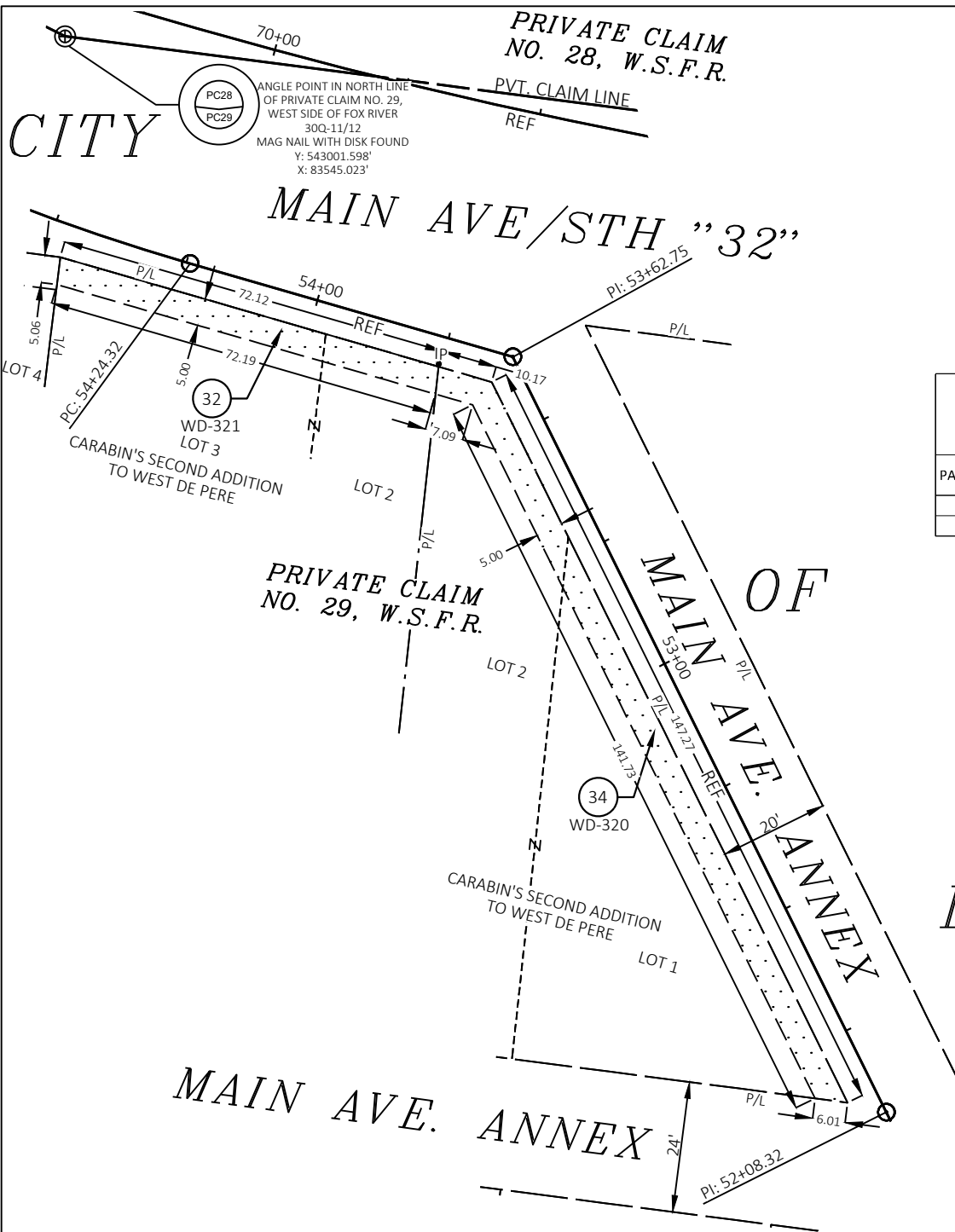
DE PERE

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PRINT NAME: \_\_\_\_\_



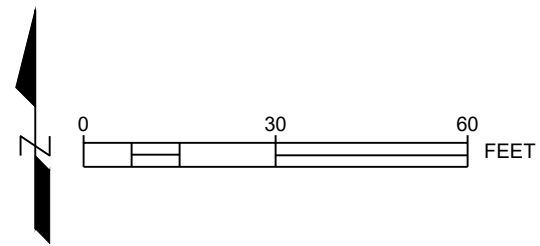
R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 5

TLE ACQUISITION MAP  
 3RD STREET - 8TH STREET  
 CITY OF DE PERE BROWN COUNTY

PART OF LOTS 1, 2 AND 3 OF CARABIAN'S SECOND ADDITION TO WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

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SCHEDULE OF LANDS AND INTERESTS REQUIRED		OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY	
PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
32	WILLIAM J. & JODY L. VAN CAMP	TLE	361
34	MARY J. FULGENCIO	TLE	766



*DE PERE*

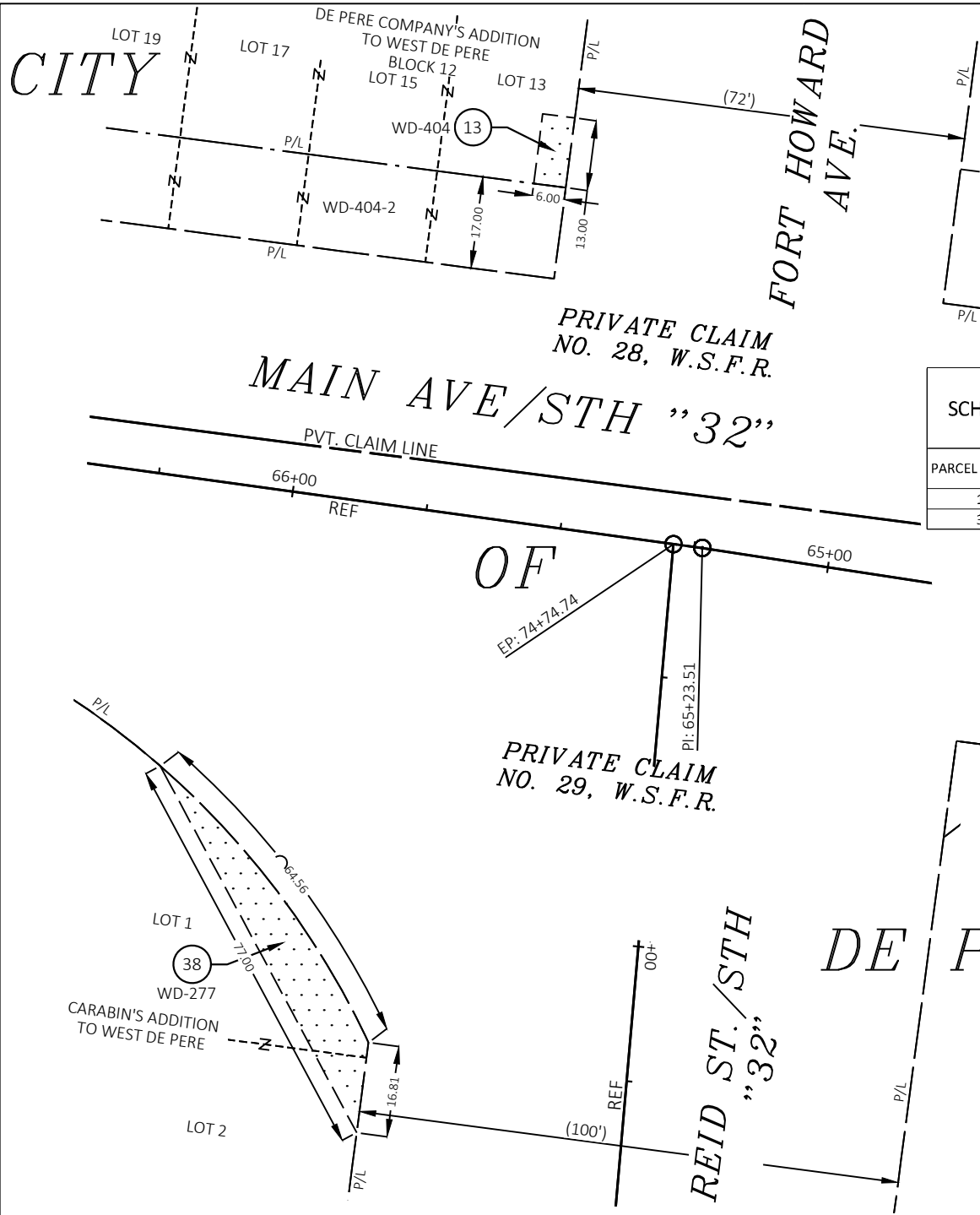
THIS MAP PREPARED BY WESTWOOD PROFESSIONAL SERVICES, FOR THE CITY OF DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

4



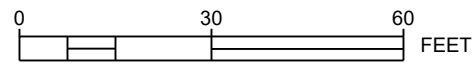
R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 6

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE BROWN COUNTY

STH 32  
PART OF LOT 13, BLOCK 12, OF DE PERE COMPANY'S ADDITION TO THE VILLAGE OF WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 28 W.S.F.R. AND PART OF LOTS 1 AND 2 OF CARABIN'S ADDITION TO WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. ALL IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

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SCHEDULE OF LANDS AND INTERESTS REQUIRED		OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY	
PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
13	DECLEENE PROPERTIES LLC	TLE	78
38	CITY OF DE PERE	TLE	521



THIS MAP PREPARED BY WESTWOOD PROFESSIONAL SERVICES, FOR THE CITY OF DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

4

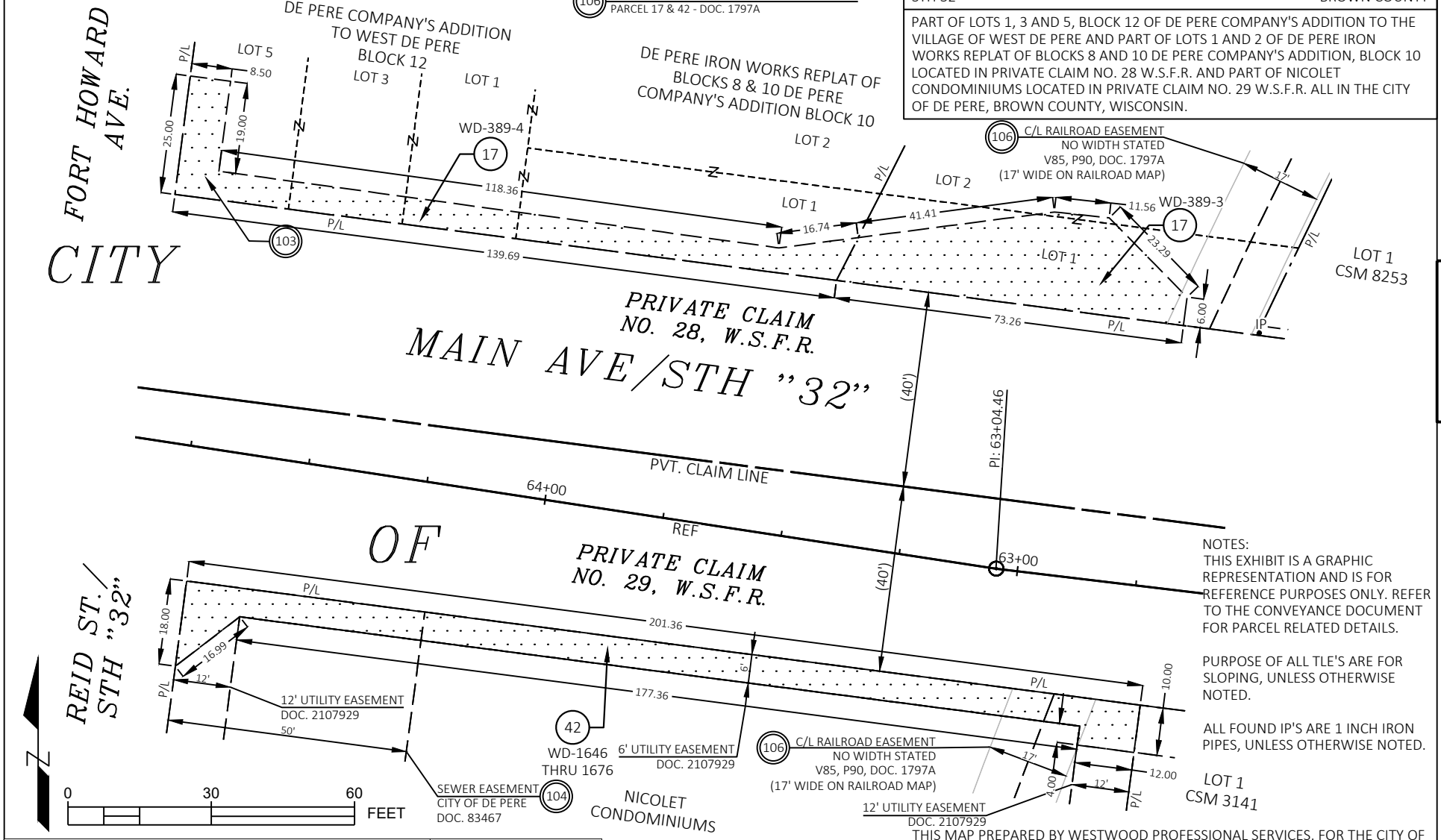
UTILITY	OWNER	INTERESTS REQUIRED
103	AT&T	RELEASE OF RIGHTS
104	CITY OF DE PERE	RELEASE OF RIGHTS
106	CHICAGO & NORTHWESTERN RAILWAY COMPANY	RELEASE OF RIGHTS

- (103) AT&T  
PARCEL 17 - NO EASEMENT OF RECORD
- (104) CITY OF DE PERE  
PARCEL 42 - DOC. 83467
- (106) CHICAGO & NORTHWESTERN RAILWAY COMPANY  
PARCEL 17 & 42 - DOC. 1797A

R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 7

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE  
STH 32  
BROWN COUNTY

PART OF LOTS 1, 3 AND 5, BLOCK 12 OF DE PERE COMPANY'S ADDITION TO THE VILLAGE OF WEST DE PERE AND PART OF LOTS 1 AND 2 OF DE PERE IRON WORKS REPLAT OF BLOCKS 8 AND 10 DE PERE COMPANY'S ADDITION, BLOCK 10 LOCATED IN PRIVATE CLAIM NO. 28 W.S.F.R. AND PART OF NICOLET CONDOMINIUMS LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. ALL IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.



4

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**SCHEDULE OF LANDS AND INTERESTS REQUIRED**

PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
17	CHRIST THE ROCK CHURCH, INC.	TLE	2062
42	NICOLET CONDOMINIUMS	TLE	1328

OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY

DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_

NOTES:  
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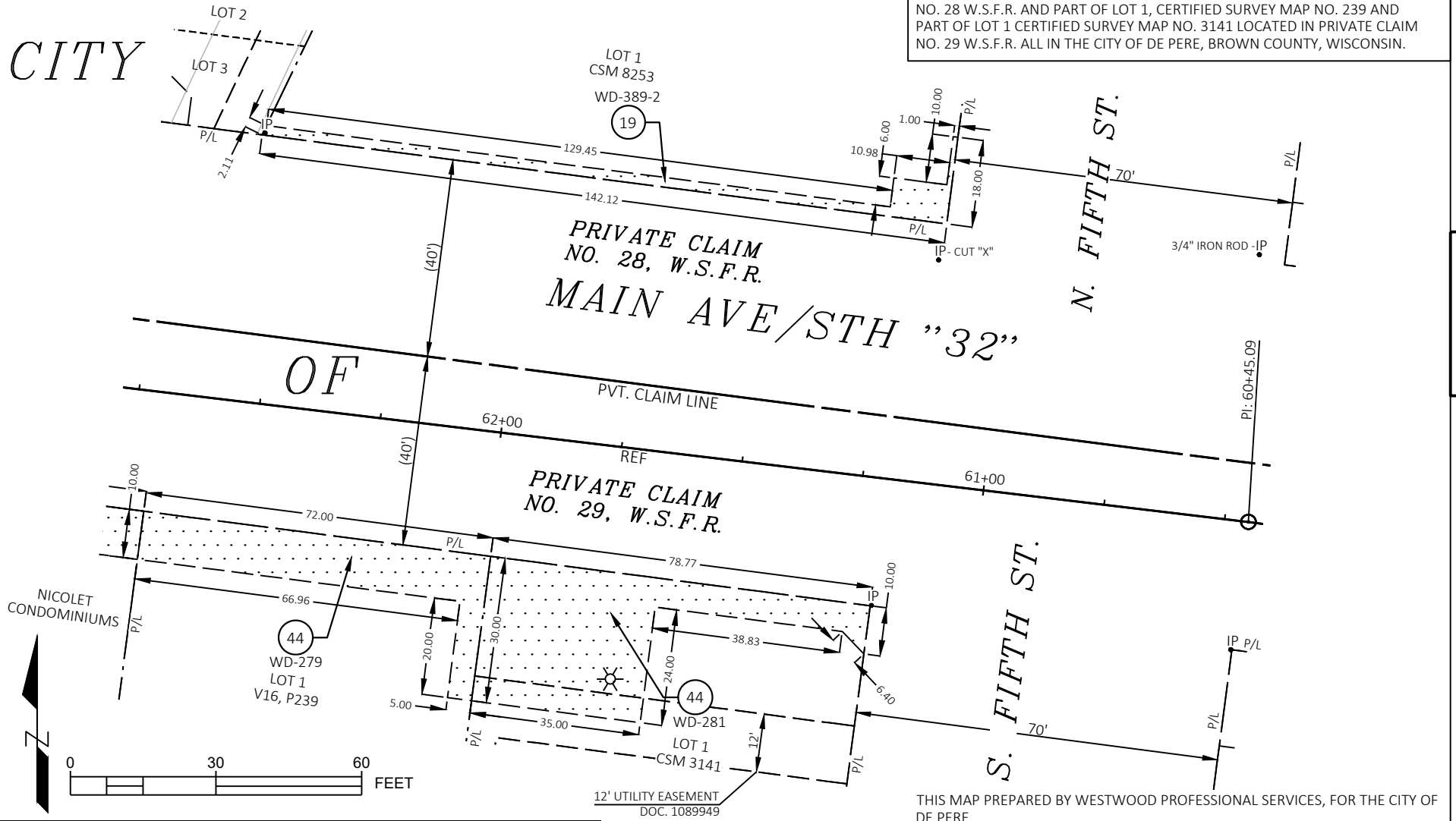
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R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 8

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE  
STH 32 BROWN COUNTY

PART OF LOT 1, CERTIFIED SURVEY MAP NO. 8253 LOCATED IN PRIVATE CLAIM NO. 28 W.S.F.R. AND PART OF LOT 1, CERTIFIED SURVEY MAP NO. 239 AND PART OF LOT 1 CERTIFIED SURVEY MAP NO. 3141 LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. ALL IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.



SCHEDULE OF LANDS AND INTERESTS REQUIRED

PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
19	DUTCH BOYZ DE PERE, LLC	TLE	366
44	CAPITAL CREDIT UNION	TLE	2142

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DE PERE

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SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

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R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 9

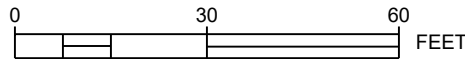
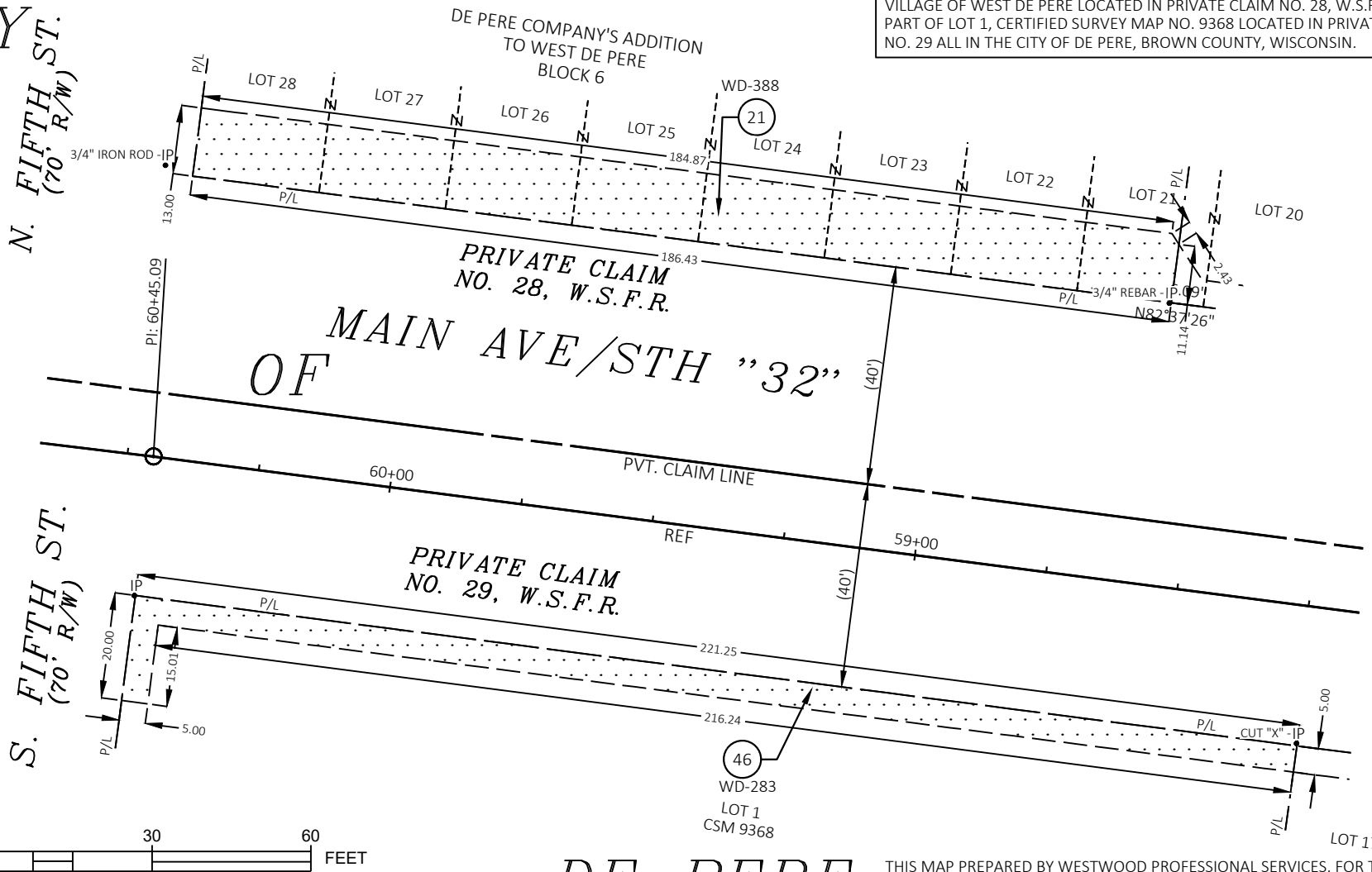
TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE  
STH 32 BROWN COUNTY

PART OF LOTS 21-28, BLOCK 6 OF DE PERE COMPANY'S ADDITION TO THE VILLAGE OF WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 28, W.S.F.R. AND PART OF LOT 1, CERTIFIED SURVEY MAP NO. 9368 LOCATED IN PRIVATE CLAIM NO. 29 ALL IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

CITY

N. FIFTH ST.  
(70' R/W)

S. FIFTH ST.  
(70' R/W)



DE PERE

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SCHEDULE OF LANDS AND INTERESTS REQUIRED

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PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
21	OLD NELL PROPERTIES, LLC	TLE	2422
46	DE PERE HOTEL GROUP, LLC	TLE	1181

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

4

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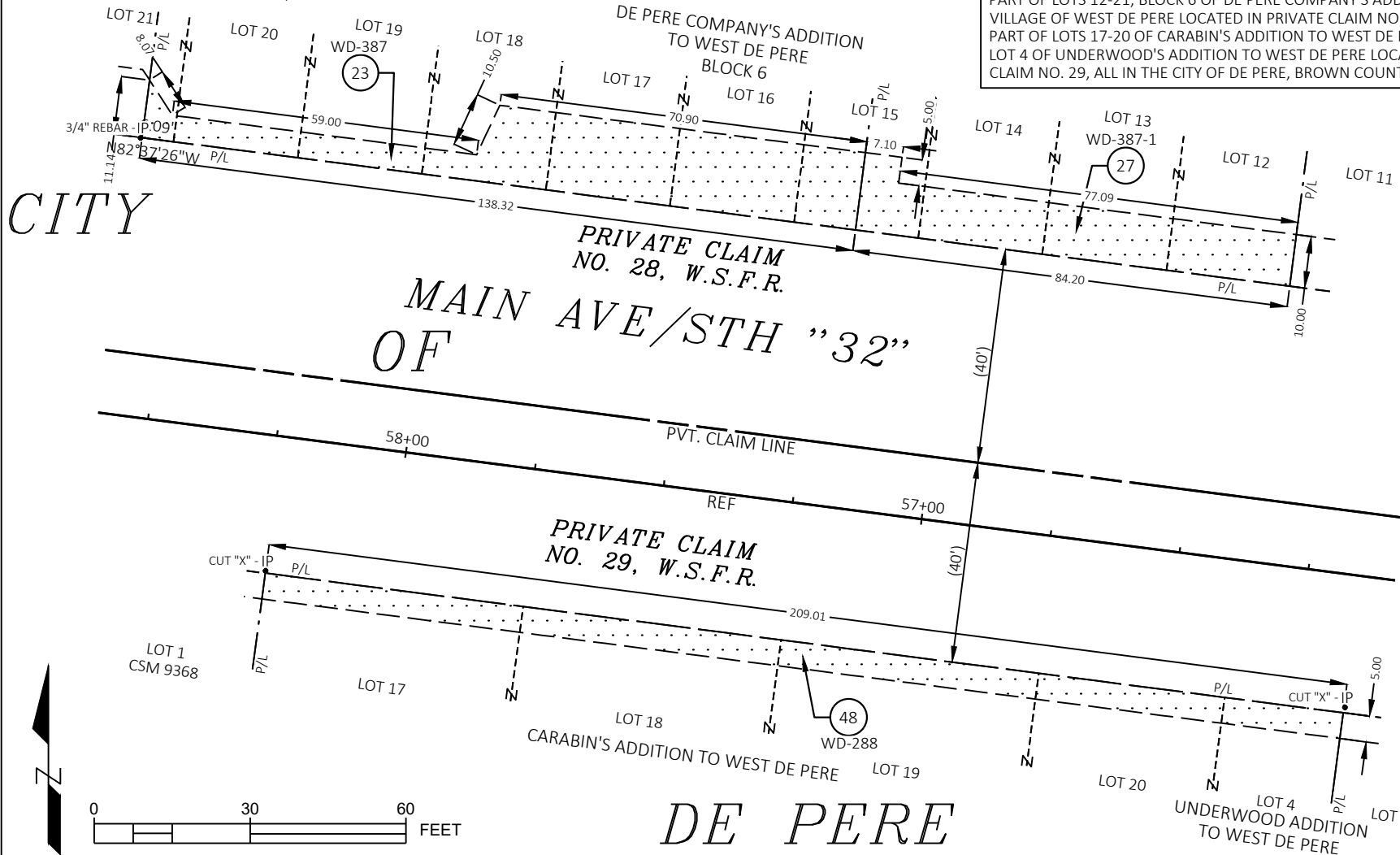
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R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 10

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE  
STH 32 BROWN COUNTY

PART OF LOTS 12-21, BLOCK 6 OF DE PERE COMPANY'S ADDITION TO THE VILLAGE OF WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 28 W.S.F.R. AND PART OF LOTS 17-20 OF CARABIN'S ADDITION TO WEST DE PERE AND PART OF LOT 4 OF UNDERWOOD'S ADDITION TO WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29, ALL IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.



4

SCHEDULE OF LANDS AND INTERESTS REQUIRED

OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY

PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
23	F & J PROPERTIES LLC	TLE	1433
27	JAMES J. KROPP	TLE	877
48	THE CHEDDAR HOUSE, LLC	TLE	1045

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PRINT NAME: \_\_\_\_\_

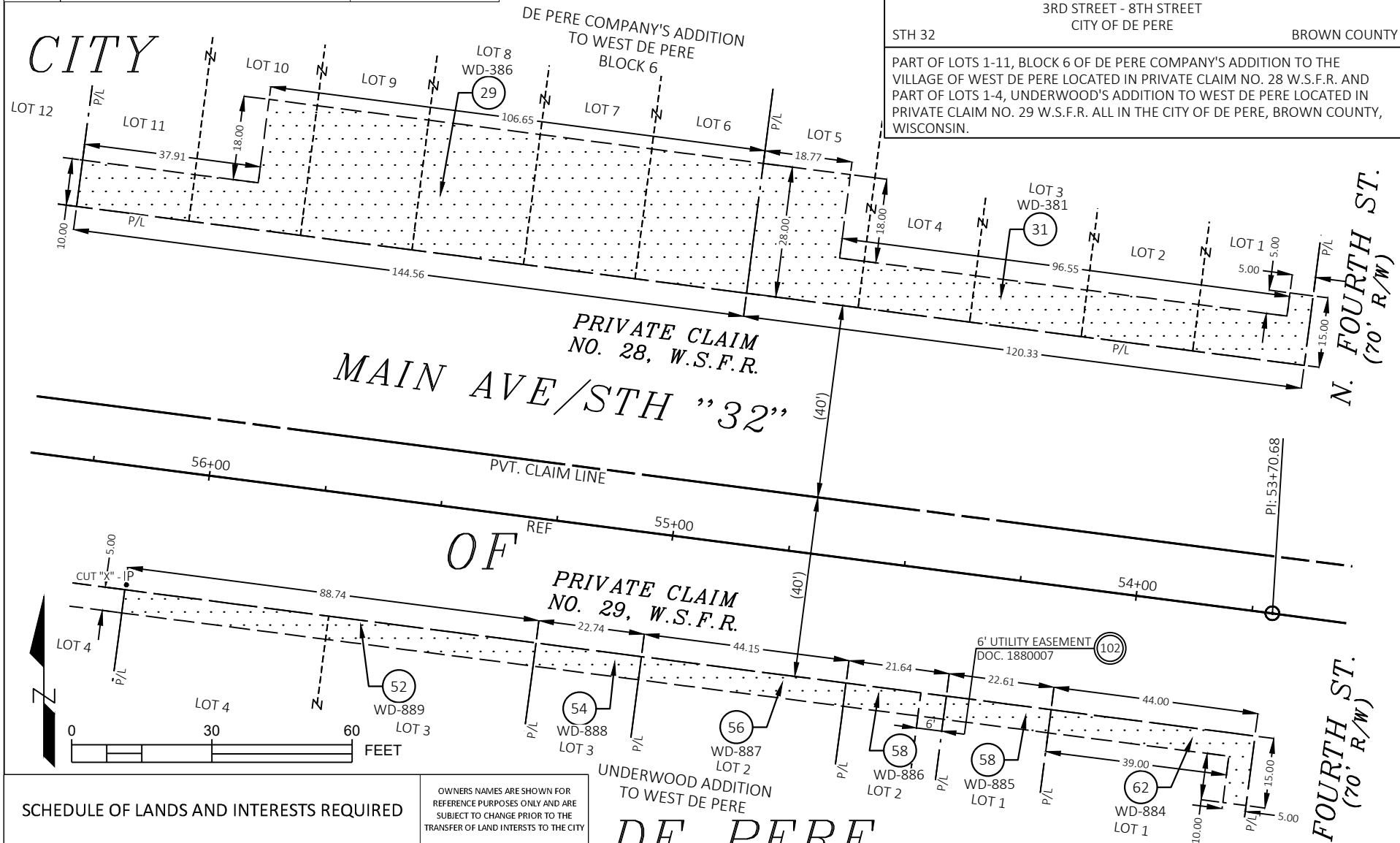
UTILITY	OWNER	INTERESTS REQUIRED
102	WE ENERGIES (ELECTRIC)	RELEASE OF RIGHTS

(102) WE ENERGIES (ELECTRIC)  
PARCEL 58 - DOC. 1880007

R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 11

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE  
STH 32 BROWN COUNTY

PART OF LOTS 1-11, BLOCK 6 OF DE PERE COMPANY'S ADDITION TO THE VILLAGE OF WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 28 W.S.F.R. AND PART OF LOTS 1-4, UNDERWOOD'S ADDITION TO WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. ALL IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.



4

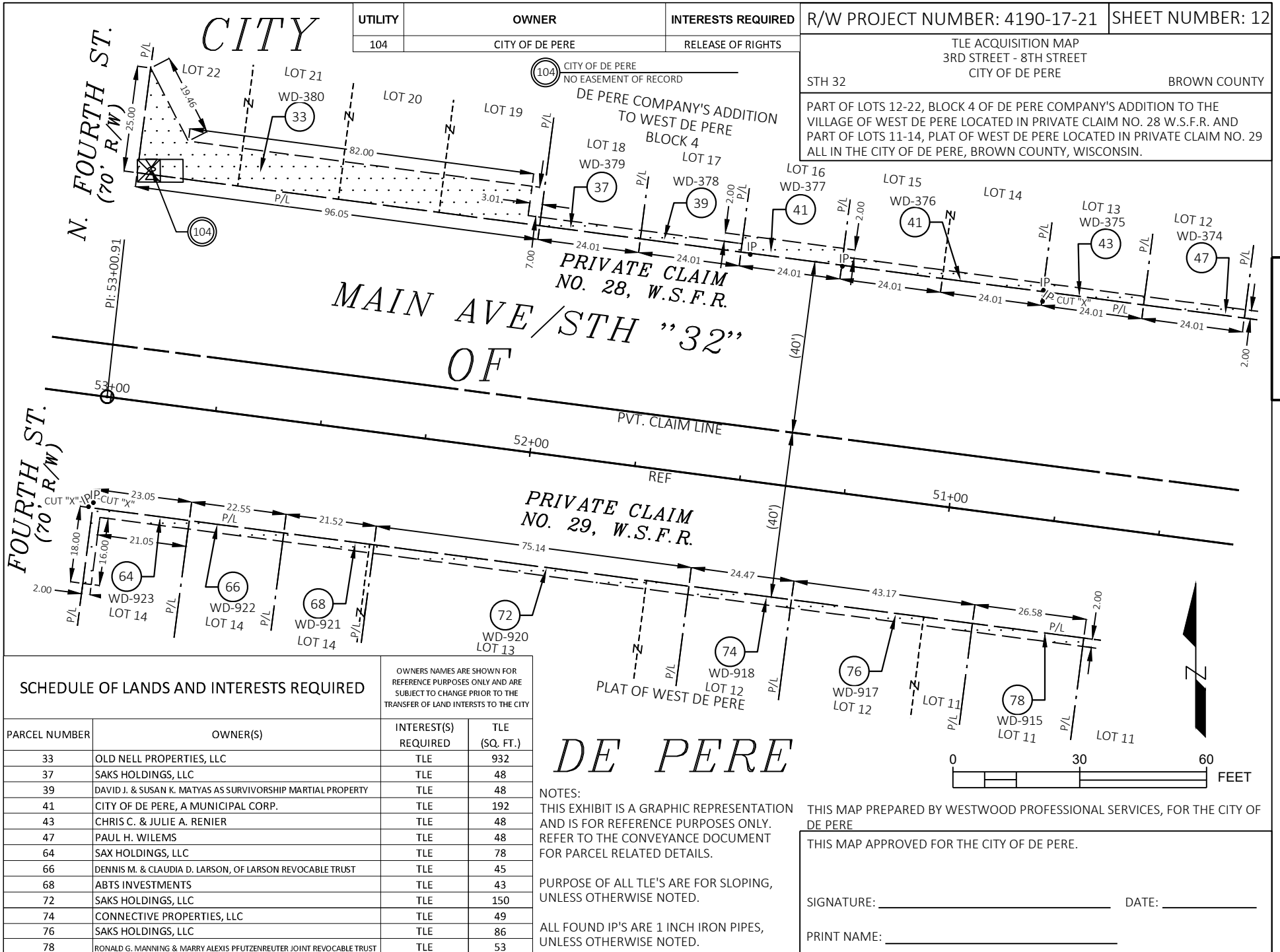
SCHEDULE OF LANDS AND INTERESTS REQUIRED		OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY	
PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
29	ISC PROPERTY, LLC	TLE	3365
31	WE4SECOR, LLC	TLE	1566
52	JAMES J. KROPP	TLE	444
54	417 MAIN, LLC	TLE	114
56	FORMULATE INFINITY HOMES LLC	TLE	221
58	LANCE A. KOLTZ AND SHANNA L. KOLTZ	TLE	221
62	SCHLEIS PROPERTIES, LLC	TLE	270

UNDERWOOD ADDITION TO WEST DE PERE

# DE PERE

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SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
PRINT NAME: \_\_\_\_\_



UTILITY	OWNER	INTERESTS REQUIRED
104	CITY OF DE PERE	RELEASE OF RIGHTS

R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 12

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE  
BROWN COUNTY

STH 32

PART OF LOTS 12-22, BLOCK 4 OF DE PERE COMPANY'S ADDITION TO THE VILLAGE OF WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 28 W.S.F.R. AND PART OF LOTS 11-14, PLAT OF WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29 ALL IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

SCHEDULE OF LANDS AND INTERESTS REQUIRED		OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY	
PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
33	OLD NELL PROPERTIES, LLC	TLE	932
37	SAKS HOLDINGS, LLC	TLE	48
39	DAVID J. & SUSAN K. MATYAS AS SURVIVORSHIP MARITAL PROPERTY	TLE	48
41	CITY OF DE PERE, A MUNICIPAL CORP.	TLE	192
43	CHRIS C. & JULIE A. RENIER	TLE	48
47	PAUL H. WILEMS	TLE	48
64	SAX HOLDINGS, LLC	TLE	78
66	DENNIS M. & CLAUDIA D. LARSON, OF LARSON REVOCABLE TRUST	TLE	45
68	ABTS INVESTMENTS	TLE	43
72	SAKS HOLDINGS, LLC	TLE	150
74	CONNECTIVE PROPERTIES, LLC	TLE	49
76	SAKS HOLDINGS, LLC	TLE	86
78	RONALD G. MANNING & MARRY ALEXIS PFUTZENREUTER JOINT REVOCABLE TRUST	TLE	53

# DE PERE

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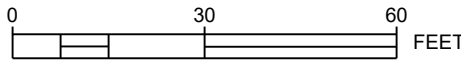
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UTILITY	OWNER	INTERESTS REQUIRED
102	WE ENERGIES (ELECTRIC)	RELEASE OF RIGHTS

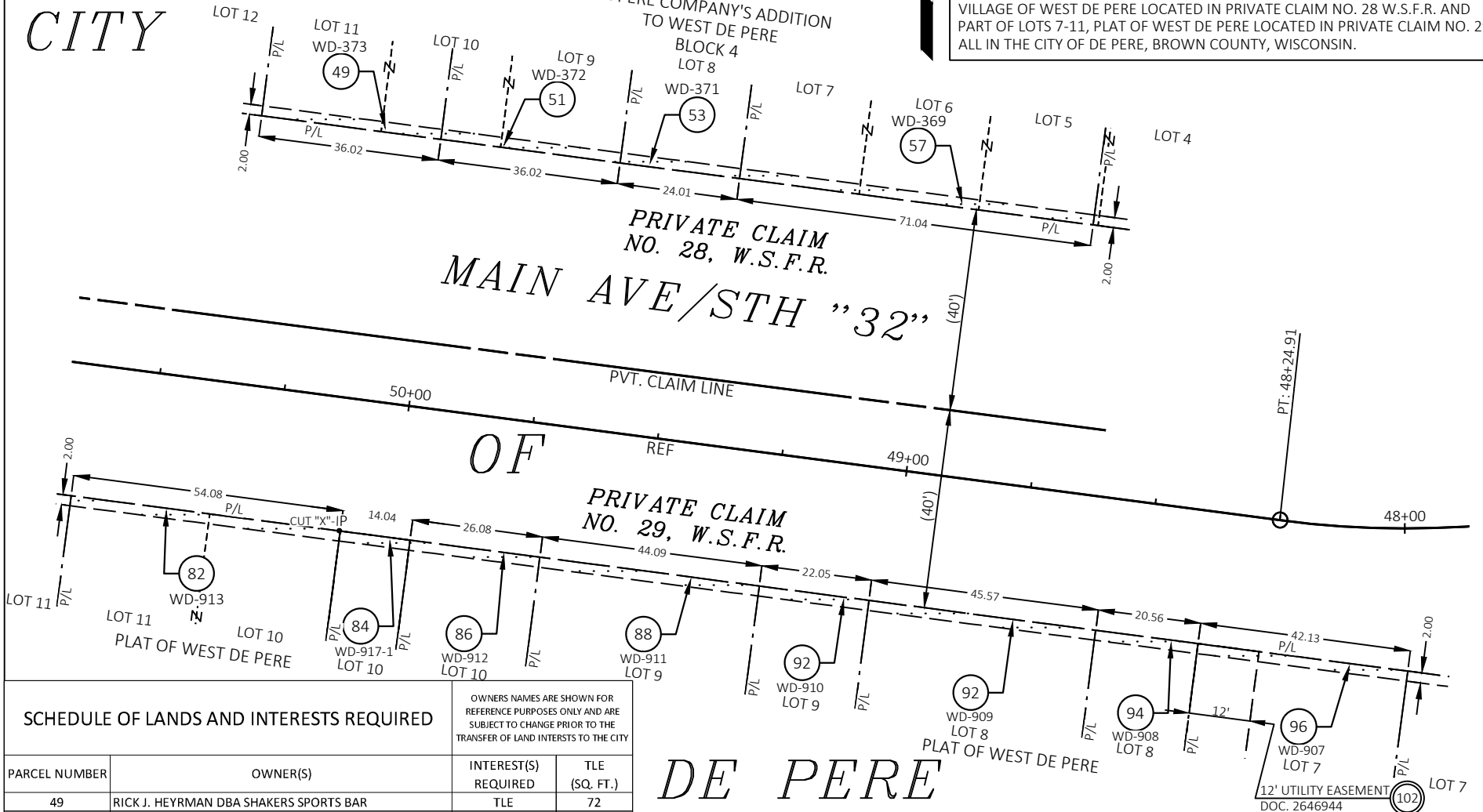
R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 13

102 WE ENERGIES (ELECTRIC)  
PARCEL 96 - DOC. 2646944



TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE  
BROWN COUNTY

PART OF LOTS 5-11, BLOCK 4 OF DE PERE COMPANY'S ADDITION TO THE VILLAGE OF WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 28 W.S.F.R. AND PART OF LOTS 7-11, PLAT OF WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29 ALL IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.



4

SCHEDULE OF LANDS AND INTERESTS REQUIRED		OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY	
PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
49	RICK J. HEYRMAN DBA SHAKERS SPORTS BAR	TLE	72
51	S&K LONGRANCH, LLC	TLE	72
53	STAGECOACH ENTERPRISES L.L.C.	TLE	48
57	THE CONNECTIVE, LLC	TLE	142
82	MIRHASHEMI, INC	TLE	108
84	CITY OF DE PERE	TLE	28
86	THOMAS M. & JOHN R. NICK D/B/A/ NICK BROTHERS PARTNERSHIP	TLE	52
88	TIKENS HOLDINGS LLC	TLE	88
92	LIFE CHURCH GREEN BAY, INC.	TLE	135
94	313 MAIN IN DE PERE, LLC	TLE	41
96	GAVIC HOLDINGS, LLC (F/K/A PHE WI, LLC)	TLE	84

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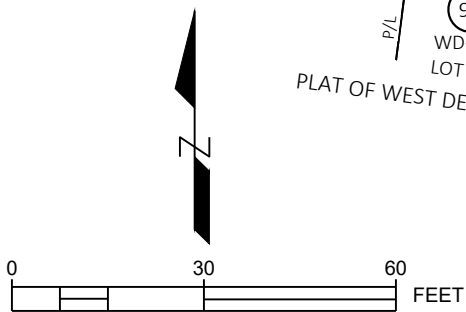
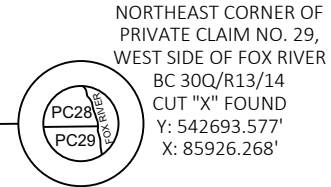
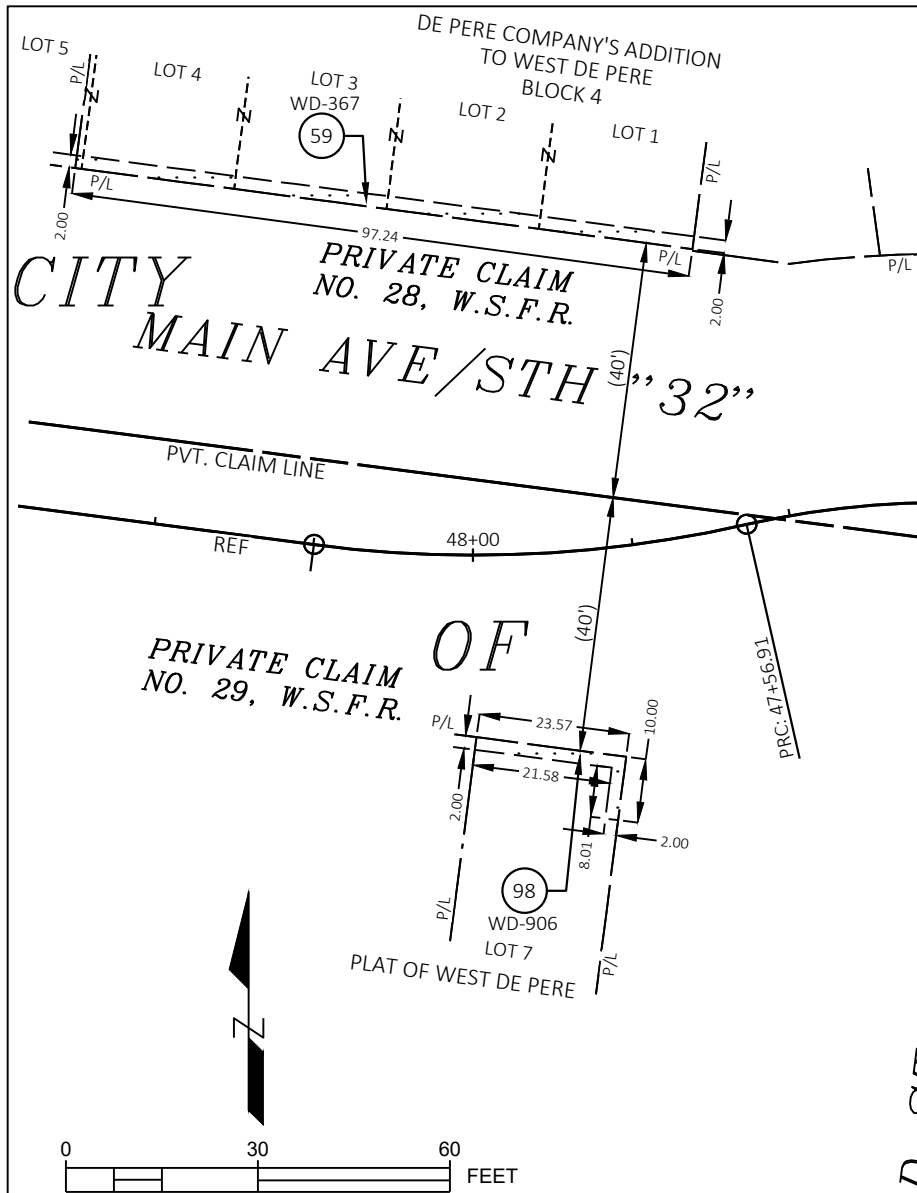
PRINT NAME: \_\_\_\_\_

PART OF LOTS 1-5, BLOCK 4 OF DE PERE COMPANY'S ADDITION TO THE VILLAGE OF WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 28 W.S.F.R., A PART OF LOT 7, PLAT OF WEST DE PERE AND A PART OF LOT 1, CERTIFIED SURVEY MAP 9738, LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. ALL IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

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SCHEDULE OF LANDS AND INTERESTS REQUIRED		OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY	
PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
59	HAWK HOLDINGS, LLC	TLE	194
61	ST. NORBERT COLLEGE, INC., A WISCONSIN CORPORATION	TLE	74
98	PHE WI, LLC	TLE	63

THIS MAP PREPARED BY WESTWOOD PROFESSIONAL SERVICES, FOR THE CITY OF DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

4

CITY

PRIVATE CLAIM  
NO. 29, W.S.F.R.

R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 15

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE BROWN COUNTY

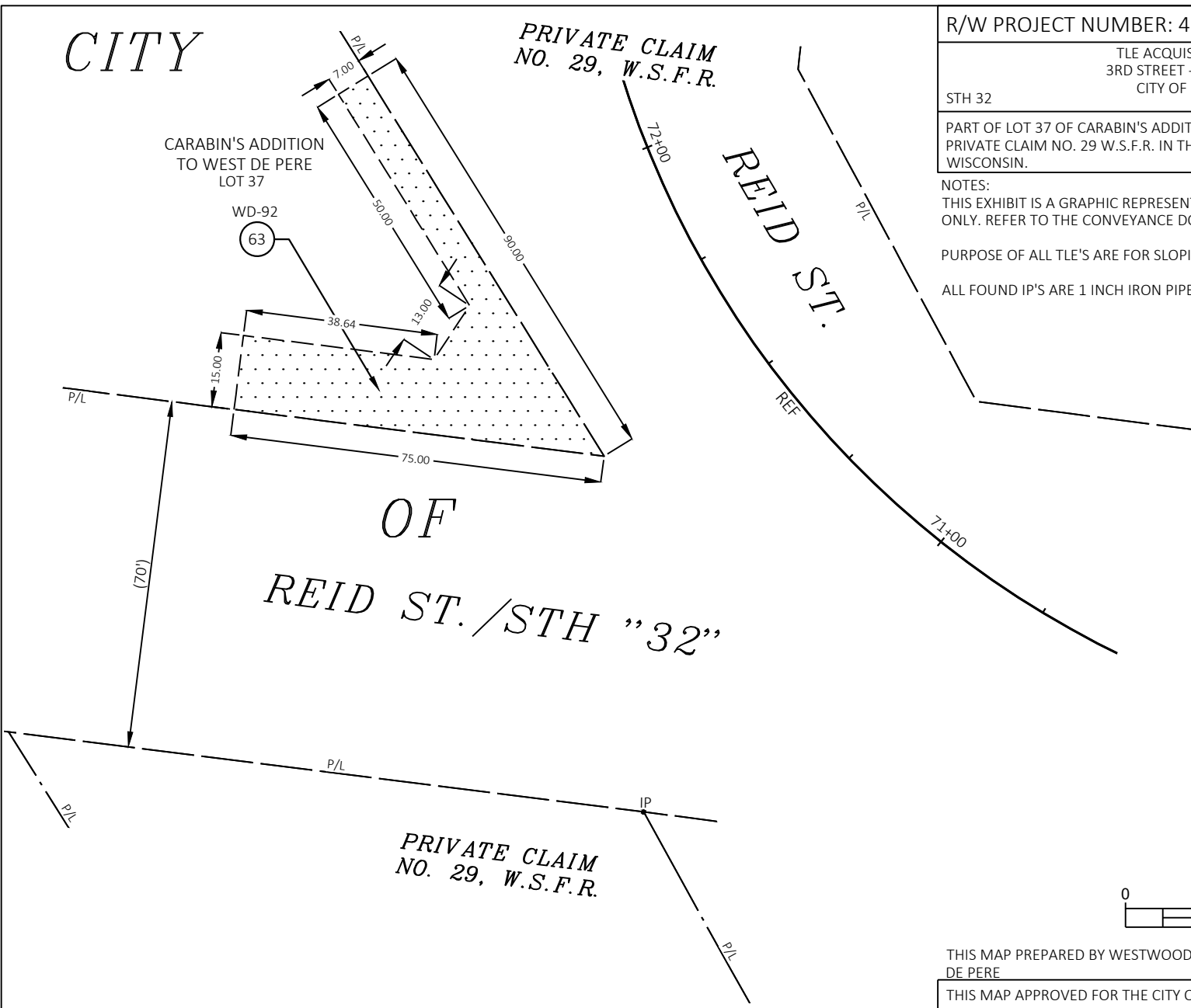
STH 32  
PART OF LOT 37 OF CARABIN'S ADDITION TO WEST DE PERE LOCATED IN  
PRIVATE CLAIM NO. 29 W.S.F.R. IN THE CITY OF DE PERE, BROWN COUNTY,  
WISCONSIN.

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CARABIN'S ADDITION  
TO WEST DE PERE  
LOT 37

WD-92  
63

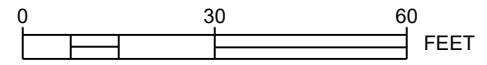


OF  
REID ST./STH "32"

PRIVATE CLAIM  
NO. 29, W.S.F.R.

DE PERE

4



THIS MAP PREPARED BY WESTWOOD PROFESSIONAL SERVICES, FOR THE CITY OF DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

SCHEDULE OF LANDS AND INTERESTS REQUIRED		OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY	
PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
63	WISCONSIN CENTRAL LTD F/K/A FOX VALLEY & WESTERN LTD	TLE	1597

UTILITY	OWNER	INTERESTS REQUIRED
105	WE ENERGIES (GAS)	RELEASE OF RIGHTS
106	CHICAGO & NORTHWESTERN RAILWAY COMPANY	RELEASE OF RIGHTS

105 WE ENERGIES (GAS)  
PARCEL 42 - NO EASEMENT OF RECORD

106 CHICAGO & NORTHWESTERN RAILWAY COMPANY  
PARCEL 42 & 102 - DOC. 1797A

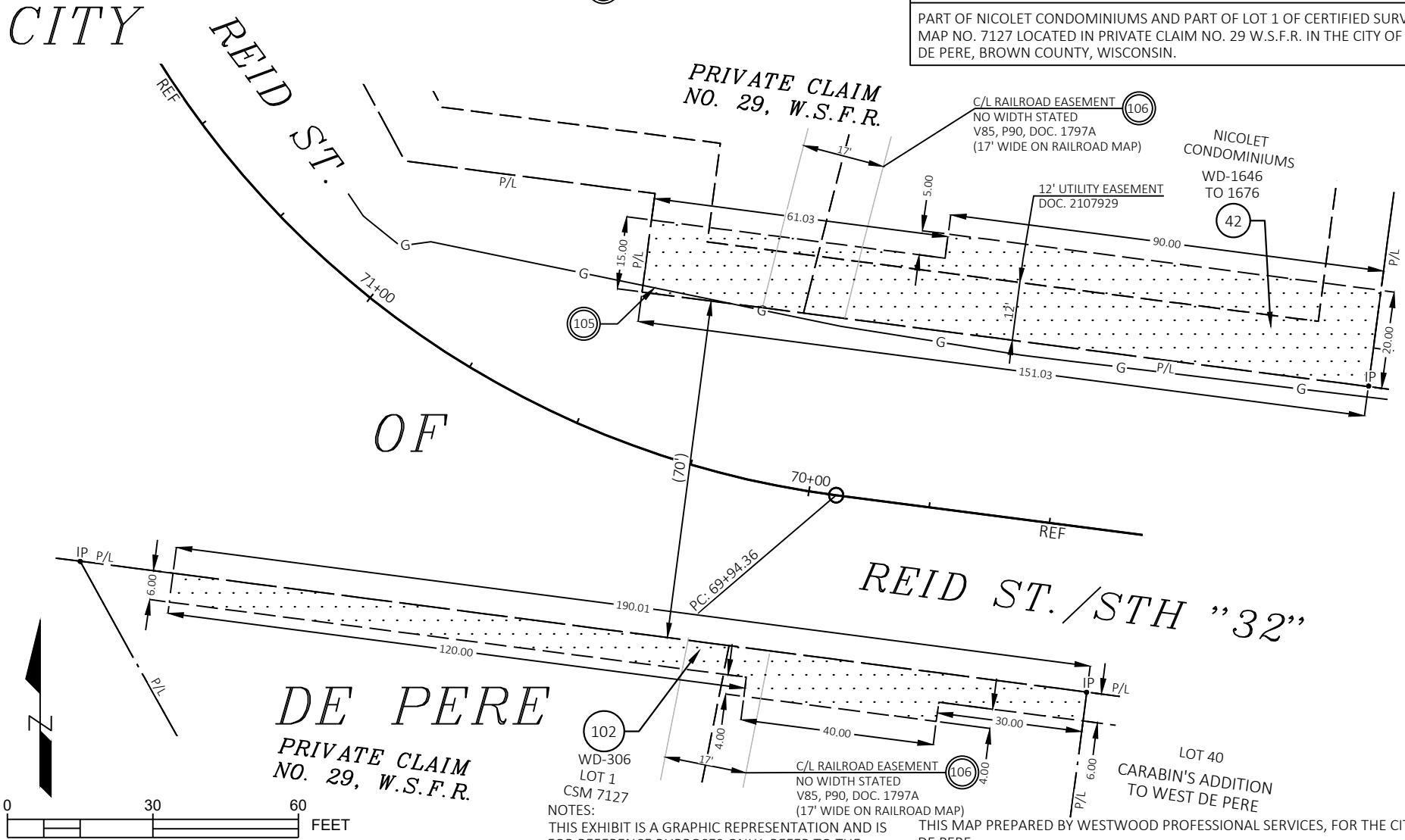
R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 16

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE

STH 32

BROWN COUNTY

PART OF NICOLET CONDOMINIUMS AND PART OF LOT 1 OF CERTIFIED SURVEY  
MAP NO. 7127 LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. IN THE CITY OF  
DE PERE, BROWN COUNTY, WISCONSIN.



4

NOTES:  
THIS EXHIBIT IS A GRAPHIC REPRESENTATION AND IS FOR REFERENCE PURPOSES ONLY. REFER TO THE CONVEYANCE DOCUMENT FOR PARCEL RELATED DETAILS.

THIS MAP PREPARED BY WESTWOOD PROFESSIONAL SERVICES, FOR THE CITY OF DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

**SCHEDULE OF LANDS AND INTERESTS REQUIRED**

OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY

PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
42	NICOLET CONDOMINIUMS	TLE	1322
102	N.E.W. DEVELOPERS, LLC	TLE	1300

PURPOSE OF ALL TLE'S ARE FOR SLOPING, UNLESS OTHERWISE NOTED.

ALL FOUND IP'S ARE 1 INCH IRON PIPES, UNLESS OTHERWISE NOTED.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

NOTES:  
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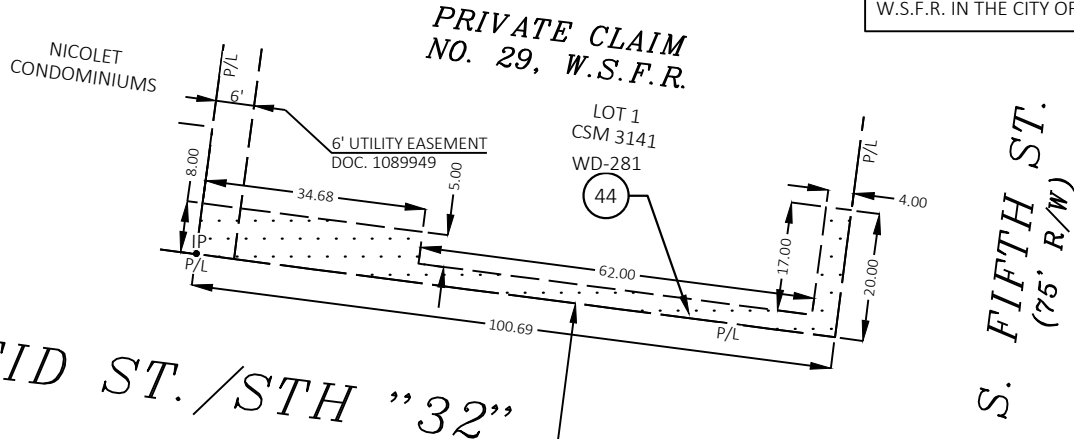
ALL FOUND IP'S ARE 1 INCH IRON PIPES, UNLESS OTHERWISE NOTED.

R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 17

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE  
STH 32 BROWN COUNTY

PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 7127 AND PART OF LOTS 40-42 OF CARABIN'S ADDITION TO WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

CITY

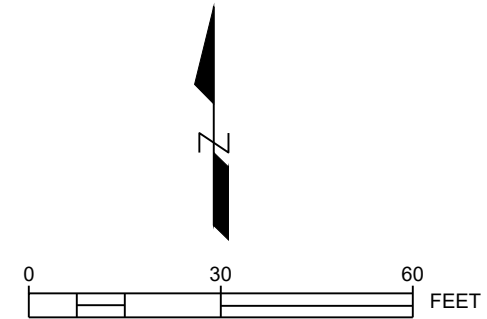


REID ST./STH "32"

S. FIFTH ST.  
(75' R/W)

OF

S. FIFTH ST.  
(75' R/W)



PRIVATE CLAIM  
NO. 29, W.S.F.R.

DE PERE

SCHEDULE OF LANDS AND INTERESTS REQUIRED

OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY

PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
44	CAPITAL CREDIT UNION	TLE	544
104	GRANT STREET HOLDINGS, LLC	TLE	505

THIS MAP PREPARED BY WESTWOOD PROFESSIONAL SERVICES, FOR THE CITY OF DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

4

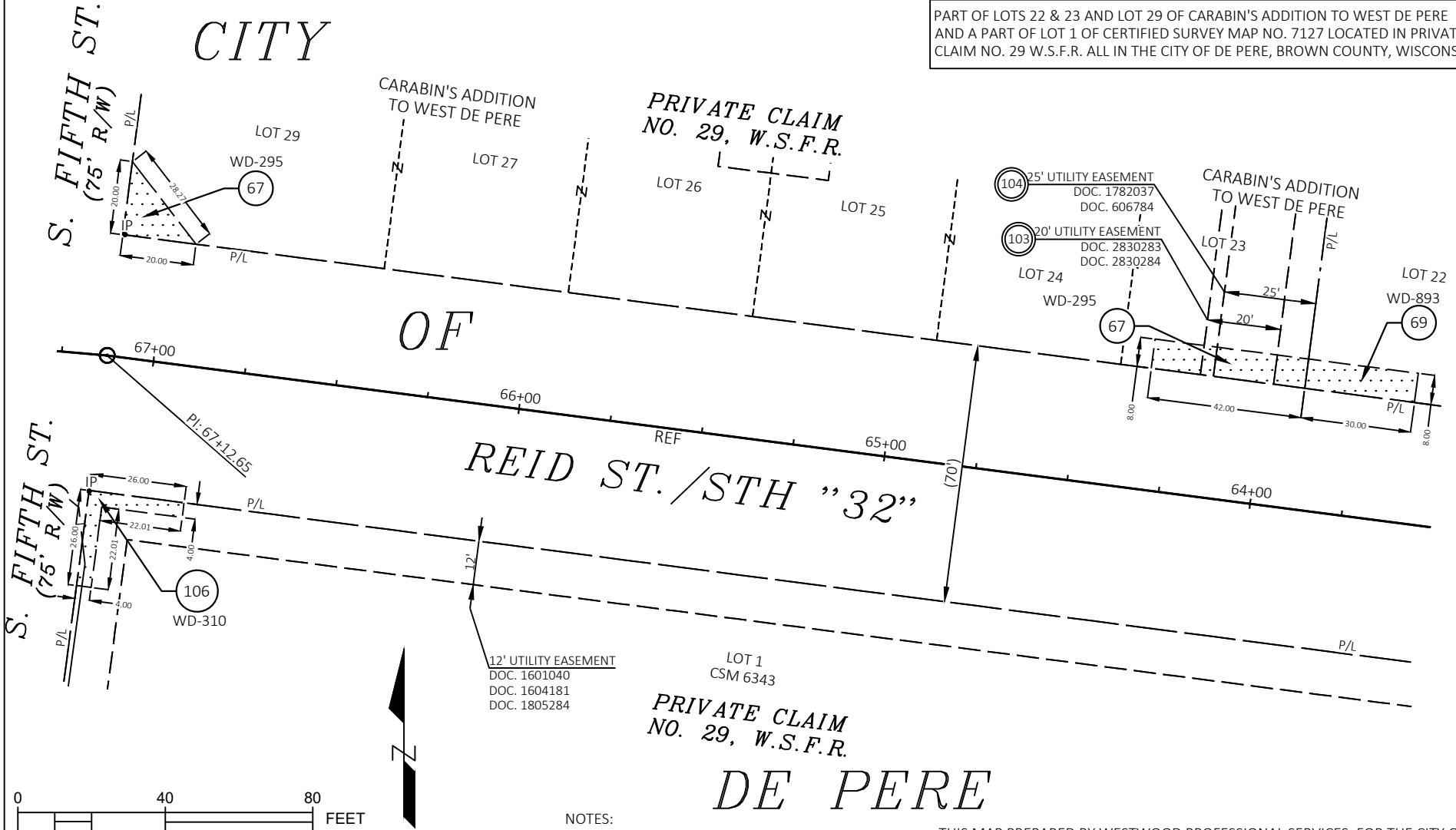
UTILITY	OWNER	INTERESTS REQUIRED
103	AT&T	RELEASE OF RIGHTS
104	CITY OF DE PERE	RELEASE OF RIGHTS

- (103) AT&T  
PARCEL 67 - DOC. 2830283 & 2830284
- (104) CITY OF DE PERE  
PARCEL 67 - DOC. 1782037 & 606784

R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 18

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE  
BROWN COUNTY

PART OF LOTS 22 & 23 AND LOT 29 OF CARABIN'S ADDITION TO WEST DE PERE AND A PART OF LOT 1 OF CERTIFIED SURVEY MAP NO. 7127 LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. ALL IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.



4

SCHEDULE OF LANDS AND INTERESTS REQUIRED		OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY	
PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
67	PARK PLACE HOLDINGS - REID STREET	TLE	535
69	PARK PLACE HOLDINGS - 400 REID, LLC	TLE	240
106	NICOLET HIGHLANDS, LLC	TLE	192

NOTES:  
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THIS MAP PREPARED BY WESTWOOD PROFESSIONAL SERVICES, FOR THE CITY OF DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

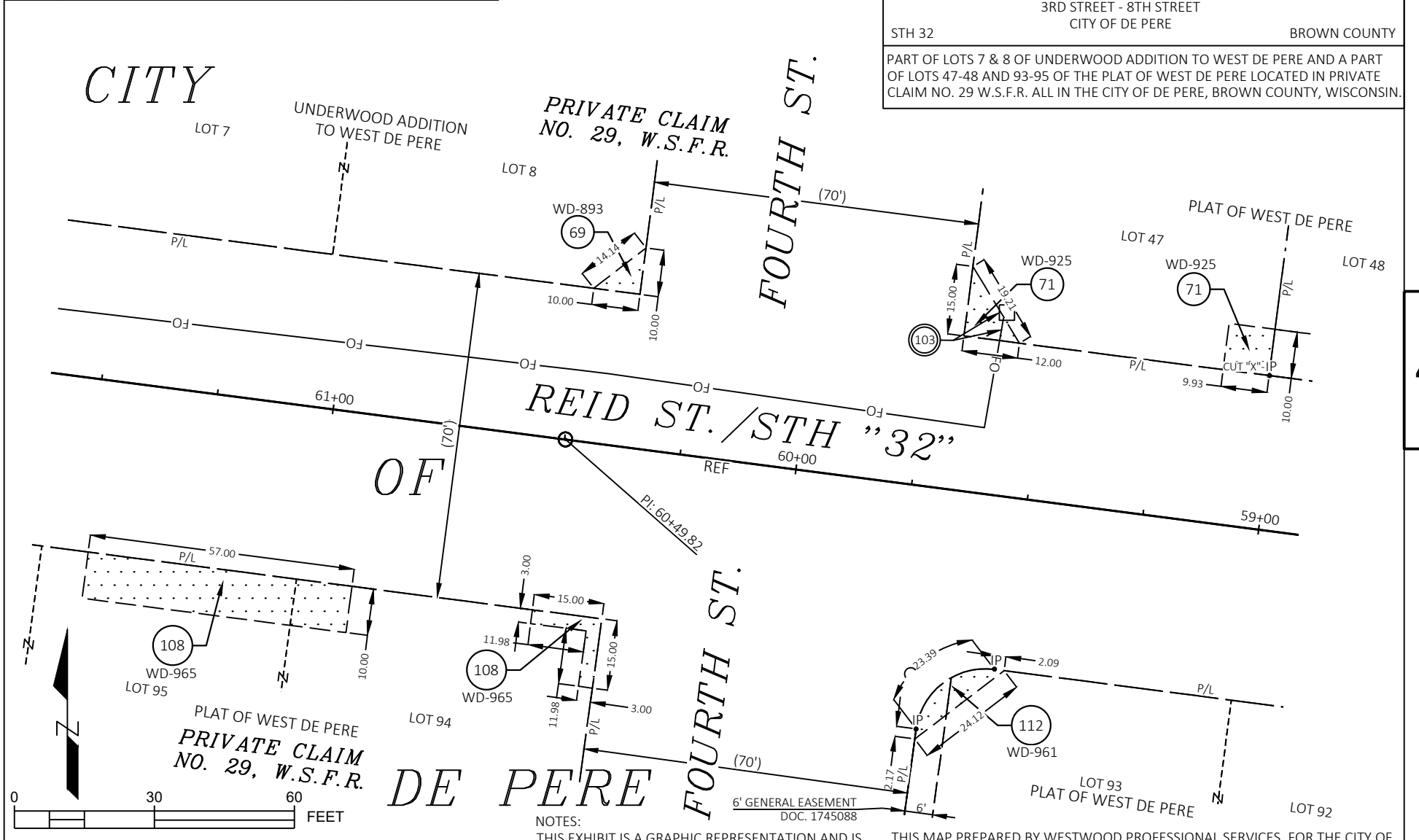
UTILITY	OWNER	INTERESTS REQUIRED
103	AT&T	RELEASE OF RIGHTS

103 AT&T  
PARCEL 71 - NO EASEMENT OF RECORD

R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 19

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE  
STH 32 BROWN COUNTY

PART OF LOTS 7 & 8 OF UNDERWOOD ADDITION TO WEST DE PERE AND A PART OF LOTS 47-48 AND 93-95 OF THE PLAT OF WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. ALL IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.



4

SCHEDULE OF LANDS AND INTERESTS REQUIRED			
PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
69	PARK PALCE HOLDINGS - 400 REID, LLC	TLE	50
71	BLACK PUCK REALTY LLC	TLE	189
108	JAYAMBEY LLC, A WISCONSIN LIABILITY CO	TLE	651
112	HOWALD LLC, A WISCONSIN LIABILITY COMPANY	TLE	97

OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY

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PURPOSE OF ALL TLE'S ARE FOR SLOPING, UNLESS OTHERWISE NOTED.  
  
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THIS MAP PREPARED BY WESTWOOD PROFESSIONAL SERVICES, FOR THE CITY OF DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_

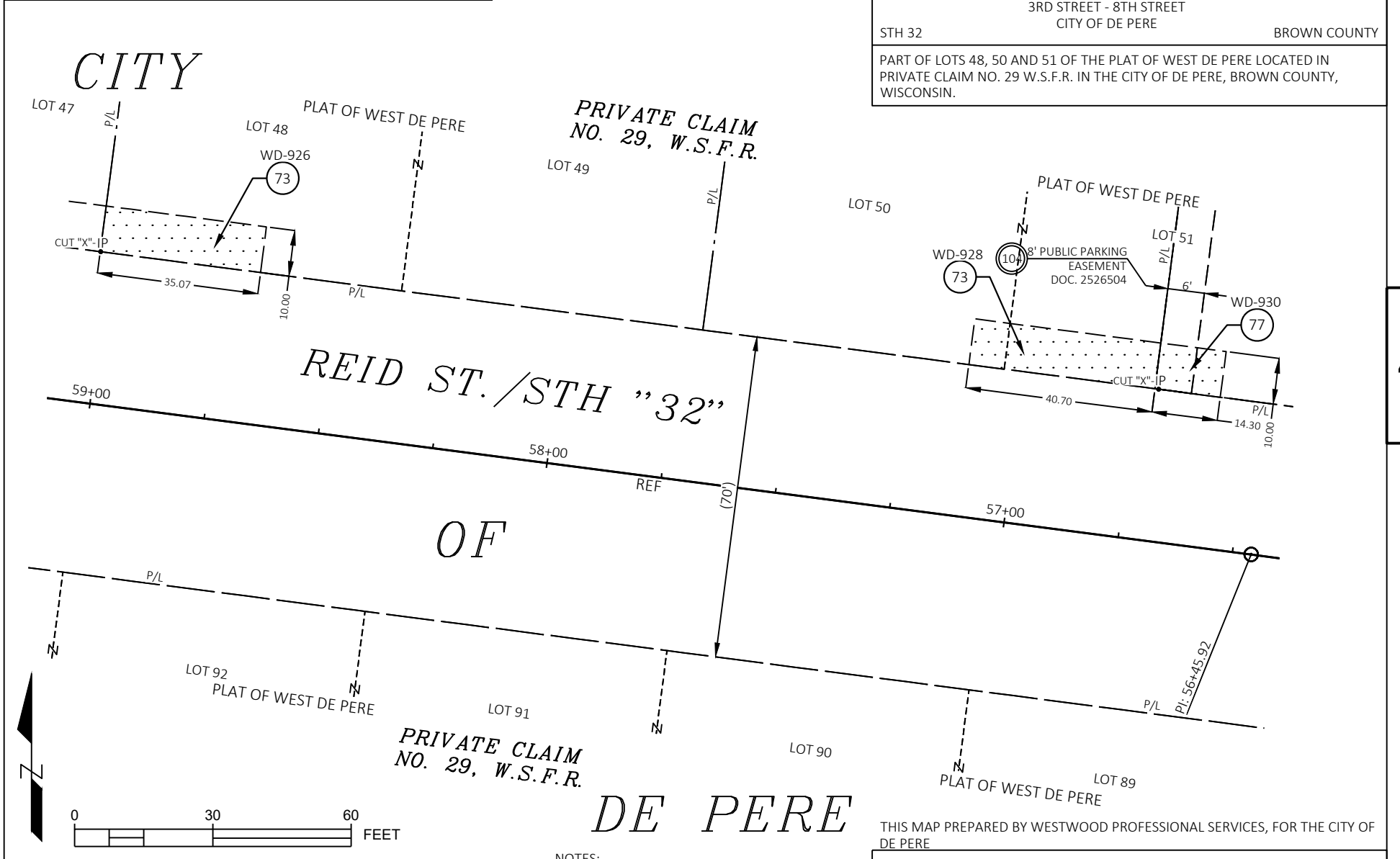
UTILITY	OWNER	INTERESTS REQUIRED
104	CITY OF DE PERE	RELEASE OF RIGHTS

104 CITY OF DE PERE  
PARCEL 77 - DOC. 2526504

R/W PROJECT NUMBER: 4190-17-21 SHEET NUMBER: 20

TLE ACQUISITION MAP  
3RD STREET - 8TH STREET  
CITY OF DE PERE  
BROWN COUNTY

PART OF LOTS 48, 50 AND 51 OF THE PLAT OF WEST DE PERE LOCATED IN PRIVATE CLAIM NO. 29 W.S.F.R. IN THE CITY OF DE PERE, BROWN COUNTY, WISCONSIN.



4

SCHEDULE OF LANDS AND INTERESTS REQUIRED		OWNERS NAMES ARE SHOWN FOR REFERENCE PURPOSES ONLY AND ARE SUBJECT TO CHANGE PRIOR TO THE TRANSFER OF LAND INTERESTS TO THE CITY	
PARCEL NUMBER	OWNER(S)	INTEREST(S) REQUIRED	TLE (SQ. FT.)
73	THE CITY OF DE PERE, A WISCONSIN MUNICIPAL CORP	TLE	758
77	LUTSEY ENTERPRISES, L.L.P.	TLE	143

NOTES:  
THIS EXHIBIT IS A GRAPHIC REPRESENTATION AND IS FOR REFERENCE PURPOSES ONLY. REFER TO THE CONVEYANCE DOCUMENT FOR PARCEL RELATED DETAILS.

PURPOSE OF ALL TLE'S ARE FOR SLOPING, UNLESS OTHERWISE NOTED.

THIS MAP PREPARED BY WESTWOOD PROFESSIONAL SERVICES, FOR THE CITY OF DE PERE

THIS MAP APPROVED FOR THE CITY OF DE PERE.

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_

PRINT NAME: \_\_\_\_\_



**Request for Board of Public Works Action**

---

**MEETING DATE:** January 12, 2026  
**DEPARTMENT:** Public Works  
**FROM:** Eric Rakers, City Engineer  
**SUBJECT:** Consideration and possible action on Sidewalk Access to Marquette Square  
**RECOMMENDED ACTION:** Staff does not have a formal recommendation but leans slightly towards Option 1 for long-term benefits.

---

ATTACHMENTS:  
2026 0112 CI\_BOPW\_Marquette Square Sidewalk, Existing Conditions Pedestrian Access,  
2026\_Marquette Square Exhibit1, Option 1 Pedestrian Access, Option 2 Pedestrian Access

# CITY OF DE PERE MEMO



To: Honorable Mayor Boyd  
Members of the Board of Public Works  
From: Eric P. Rakers, P.E., City Engineer  
Date: January 12, 2026

RE: **Consideration and possible action on Sidewalk Access to Marquette Square**

Aldersperson Defnet Ledvina has requested improved pedestrian access from Wisconsin Street into the Marquette Square Parking Lot. This memo outlines options for improving sidewalk connectivity to Marquette Square.

## **Background**

The east side of downtown De Pere is undergoing significant changes that impact the pedestrian accessibility to Marquette Square and the associated businesses. Marquette Square parking lot is a popular parking lot and used heavily by customers to the Lee Building and adjacent businesses.

Wisconsin Street (from approximately 150 feet south of James Street to Williams Street) was constructed without sidewalk on its west side. Adjacent areas were developed as parking lots (Marquette Square and Shopko), with pedestrian facilities located primarily on the east side of Wisconsin Street. An exhibit is attached showing the route options for pedestrians between the area north of James Street to Marquette Square as it exists today.

Recent and ongoing developments have increased pedestrian activity, including:

- Creation of Walsh Plaza (2020)
- Reconstruction of Wisconsin Street from James Street to Williams Street (2025-2026), adding sidewalk on the west side
- Construction of a hotel at 215 Wisconsin Street (completion in 2026)
- Construction of a regional parking garage (2026)
- Construction of a mixed-use building at 550 Williams Street (completion in 2026)

These changes will significantly increase pedestrian traffic and alter access patterns to Marquette Square.

## **Discussion**

Staff reviewed three options:

**Option 1 – Extend Sidewalk on the West Side of Wisconsin Street from James Street.**

Construct sidewalk from James Street to the existing Marquette Square sidewalk. An exhibit showing access from the north to Marquette Square is attached for Option 1.

Pros:

- Provides best pedestrian access long term.
- Mirrors the development to the north with sidewalk on the west side of Wisconsin Street.
- The other three quadrants of curb ramps at James and Wisconsin Street are already being reconstructed under the Wisconsin Street reconstruction project. Curb ramps to the southwest quadrant can be added at minimal cost.
- Intersection crosswalk preferred over mid-block crossings.

Cons:

- Highest cost; approximately \$75,500.
- Loss of four parking stalls.
- Requires removal/relocation of Lee Building sign.

For this option, the loss of parking stalls will be offset by the addition of the parking garage.

### **Option 2 – Midblock Crossing**

Install a mid-block crossing from Wisconsin Street to the south side sidewalk in the parking lot. An exhibit showing access from the north to Marquette Square is attached for Option 2.

Pros:

- Lower cost: approximately \$13,500

Cons:

- Does not meet long-term sidewalk requirements
- Limited future demand once sidewalk is added
- Rapid rectangular flashing beacons, if warranted, add \$25,000

### **Option 3 – No Action**

Maintain current conditions.

Pros:

- No cost.

Cons:

- Does not address pedestrian access concerns
- Longest route for pedestrians to reach Marquette Square

### **Recommendation**

Staff does not have a formal recommendation but leans slightly toward Option 1 for long-term benefits.

If Option 1 or 2 is selected, funding will be included in the 2027 budget.

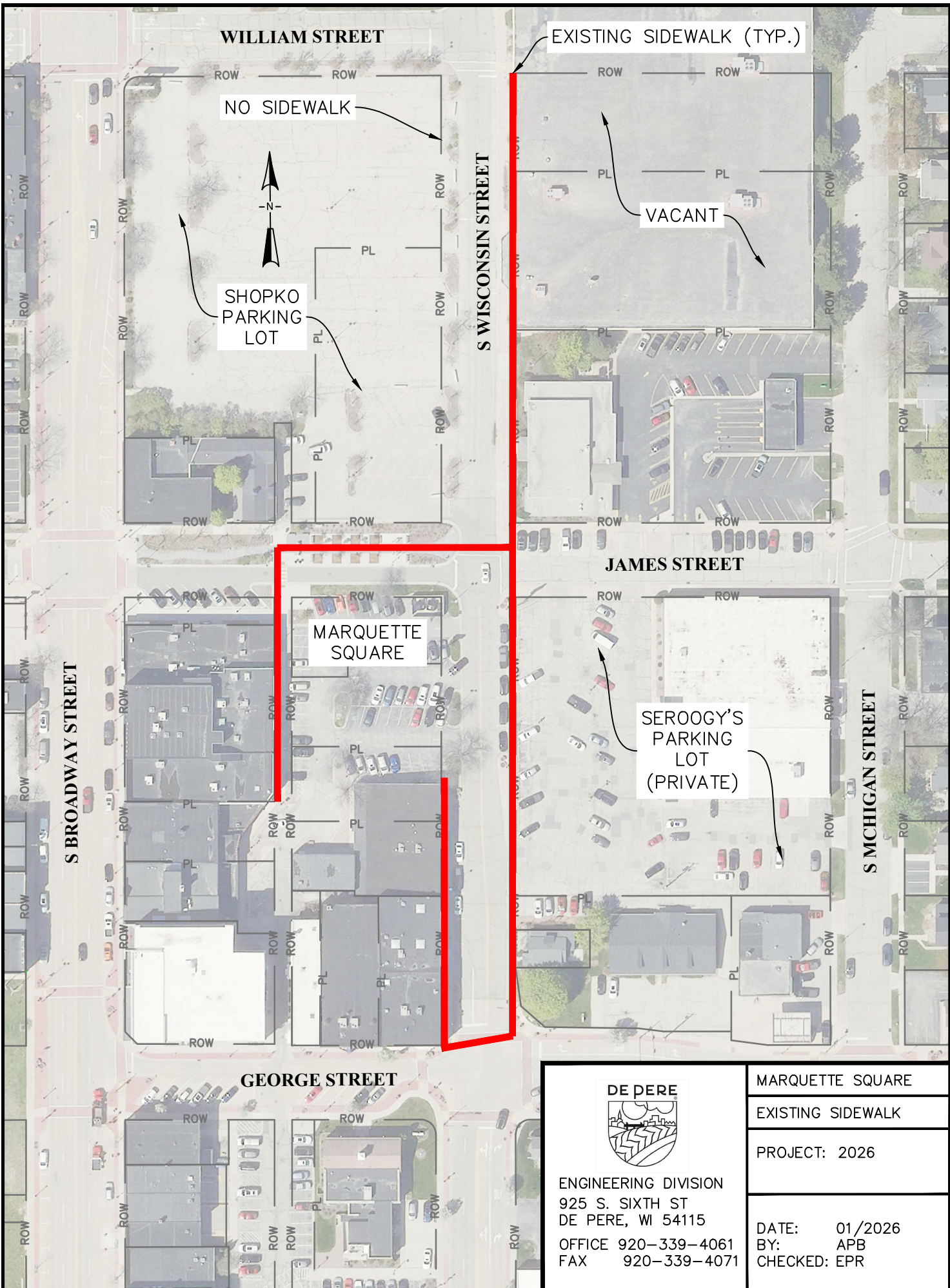
**Attachments:**

Existing Conditions Pedestrian Access (PDF)

2026 Marquette Square Exhibit 1 (PDF)

Option 1 Pedestrian Access (PDF)

Option 2 Pedestrian Access (PDF)



**WILLIAM STREET**

EXISTING SIDEWALK (TYP.)

NO SIDEWALK

VACANT

SHOPKO  
PARKING  
LOT

**S WISCONSIN STREET**

**JAMES STREET**

MARQUETTE  
SQUARE

SEROOGY'S  
PARKING  
LOT  
(PRIVATE)

**S BROADWAY STREET**

**S MICHIGAN STREET**

**GEORGE STREET**

DE PERE



MARQUETTE SQUARE

EXISTING SIDEWALK

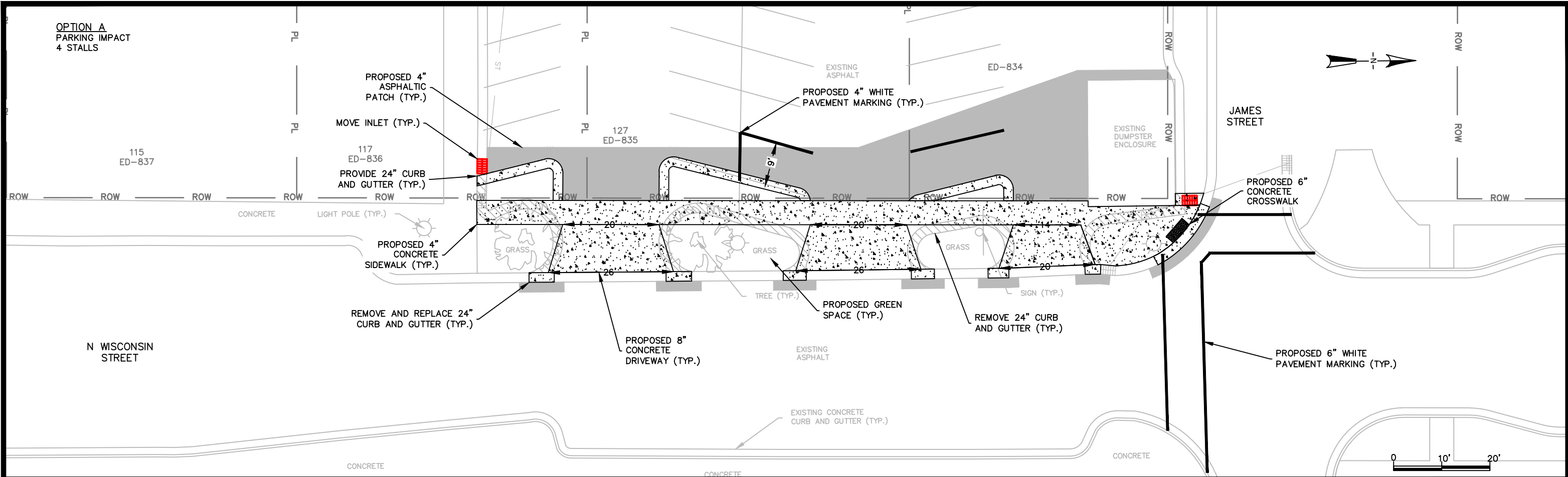
PROJECT: 2026

ENGINEERING DIVISION  
925 S. SIXTH ST  
DE PERE, WI 54115

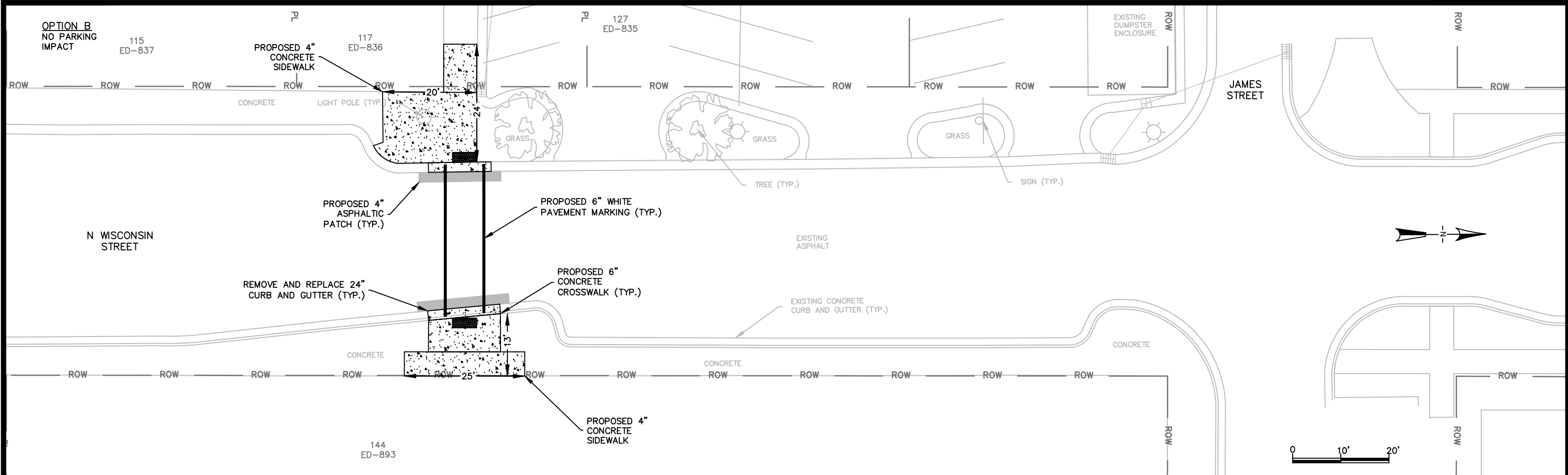
DATE: 01/2026  
BY: APB  
CHECKED: EPR

OFFICE 920-339-4061  
FAX 920-339-4071

**OPTION A**  
PARKING IMPACT  
4 STALLS



**OPTION B**  
NO PARKING IMPACT



**CITY OF DE PERE**

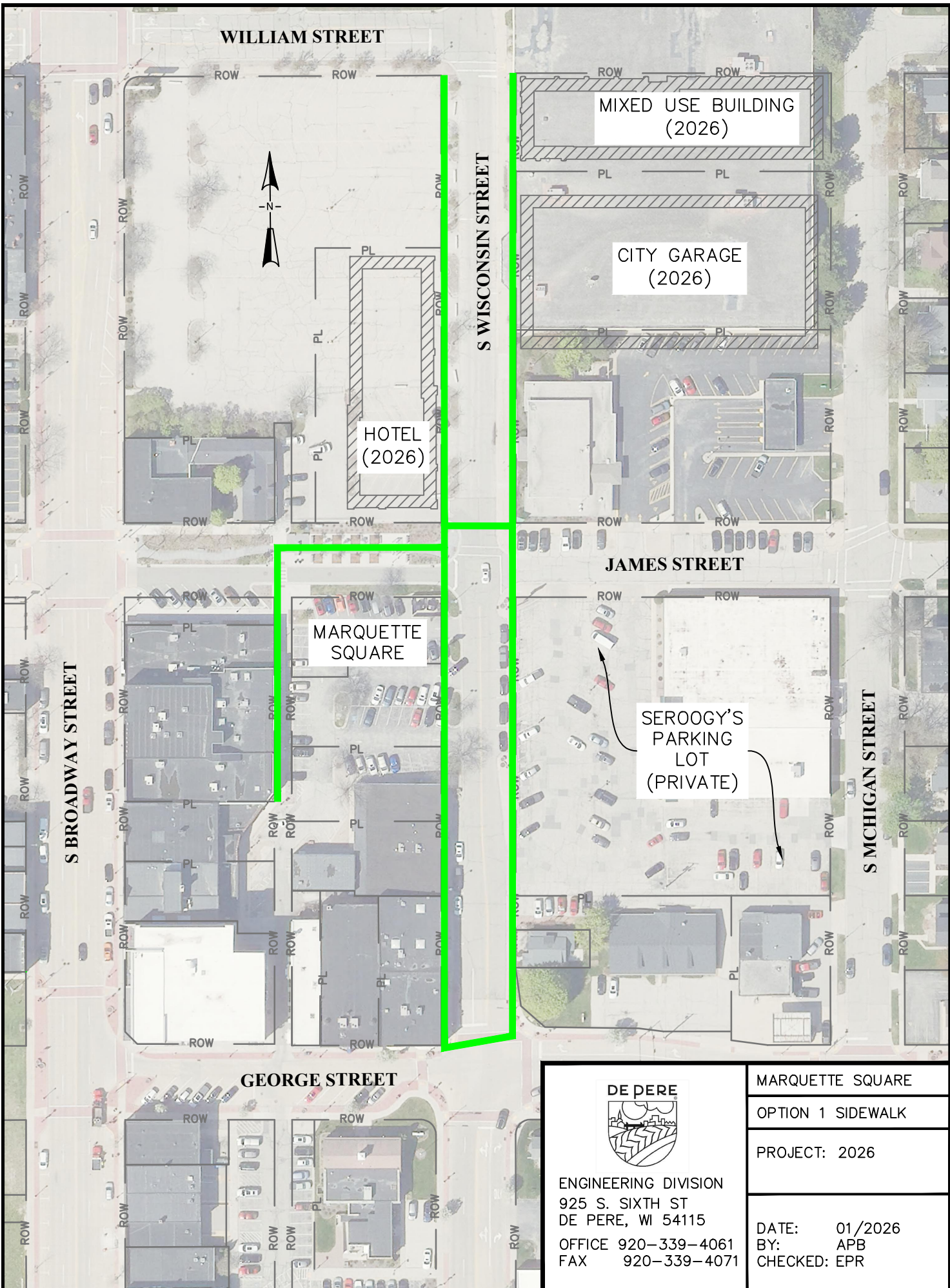
ENGINEERING DIVISION 925 S. SIXTH ST DE PERE WI 54115  
OFFICE: 920-339-4061 EMAIL: DPPUBWRKS@DEPEREWI.GOV


**MARQUETTE SQUARE**  
300' S/O JAMES STREET TO JAMES STREET  
CROSSWALKS AND SIDEWALKS

NAME:

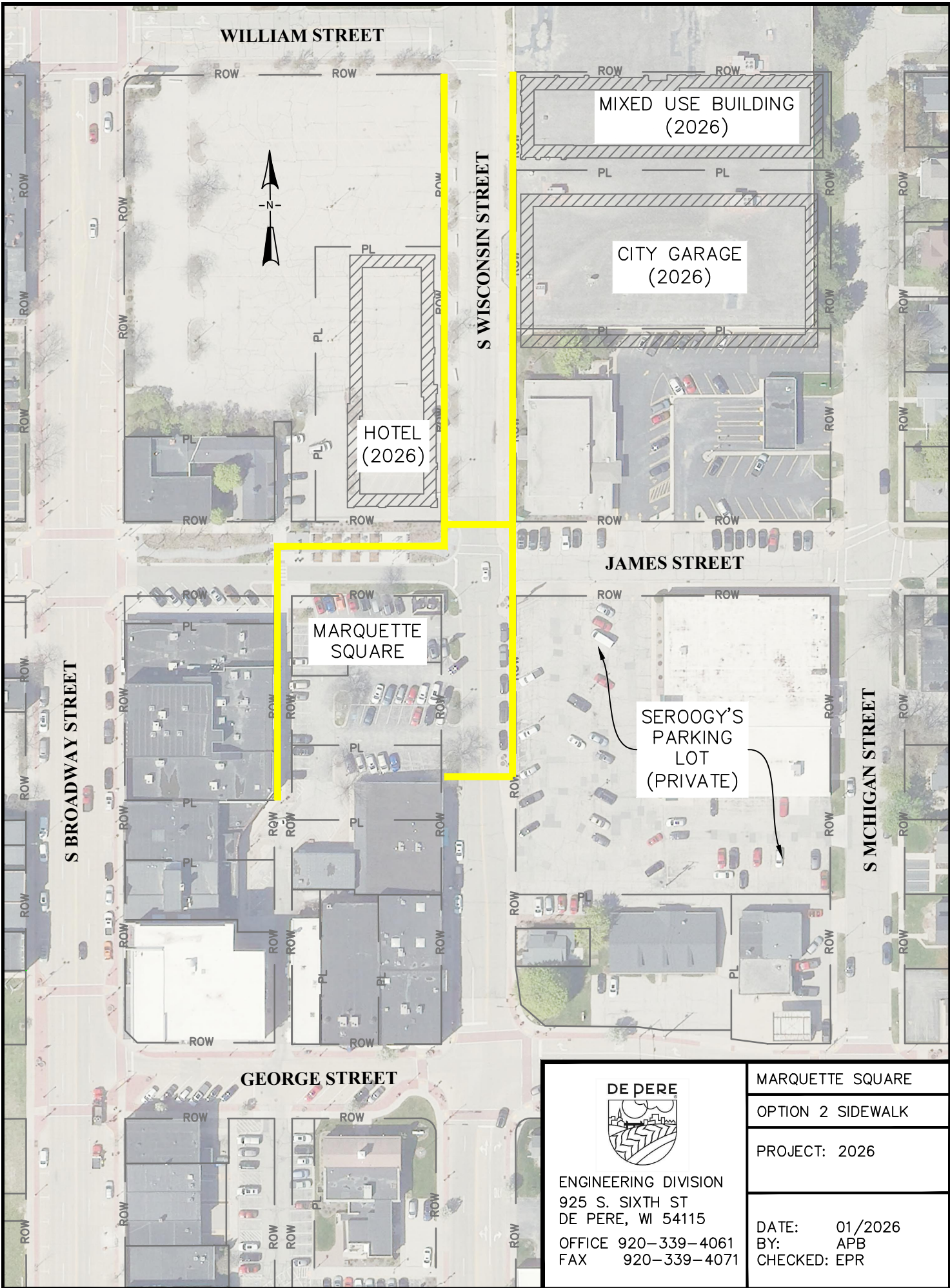
PROJECT

	BY	DATE	REVISIONS / ISSUES		PAGE NO.
			NO.	DATE	
SURVEYED					EX-1
DRAWN	APB	01-2026			
DESIGNED					
CHECKED	EPR	01-2026			





  
**DE PERE**
  
 ENGINEERING DIVISION
   
 925 S. SIXTH ST
   
 DE PERE, WI 54115
   
 OFFICE 920-339-4061
   
 FAX 920-339-4071

MARQUETTE SQUARE
OPTION 1 SIDEWALK
PROJECT: 2026
DATE: 01/2026
BY: APB
CHECKED: EPR



**DE PERE**



ENGINEERING DIVISION  
 925 S. SIXTH ST  
 DE PERE, WI 54115  
 OFFICE 920-339-4061  
 FAX 920-339-4071

MARQUETTE SQUARE
OPTION 2 SIDEWALK
PROJECT: 2026
DATE: 01/2026 BY: APB CHECKED: EPR



**Request for Board of Public Works Action**

---

**MEETING DATE:** January 12, 2026  
**DEPARTMENT:** Public Works  
**FROM:** Eric Rakers, City Engineer  
**SUBJECT:** Consideration and possible action on the 2026 Storm Lateral Assessment Charge for Existing Non-Residential Properties  
**RECOMMENDED ACTION:** Staff recommends approval of the 2026 storm assessments for non-residential lots in developed areas.

---

ATTACHMENTS:  
2026 0112 CI\_BOPW\_2026\_Non-Residential\_Storm\_Assessments, Schedule\_B&C\_2026\_Non-Residential\_Storm\_Assessments

# CITY OF DE PERE MEMO



To: Honorable Mayor Boyd  
Members of the Board of Public Works

From: Eric P. Rakers, P.E., City Engineer

Date: January 12, 2026

RE: **Consideration and Possible Action on the 2026 Storm Lateral Assessment Charge for Existing Non-Residential Properties**

The purpose for this item is to establish the special assessment cost for storm main and laterals installed in 2026 to non-residential parcels in developed areas.

## **Background**

In 2014, Section 13-8 (f) of the Municipal Code was updated for the assessment of new storm sewer and storm lateral provided to non-residential parcels in developed areas.

Based on the Municipal Code, the assessment will be presented to the Board of Public Works each year. The cost for the storm assessment will be based on the previous three year's construction cost for storm sewer and appurtenances on a weighted average for the cost and amount installed on applicable projects. The assessment will be based on the following charges:

- a. 100% of the storm lateral cost will be included in the assessment. This includes the lateral piping and connection to the storm sewer main. The lateral piping cost will be based on an average 35-foot-long storm sewer lateral length.
- b. 20% of the storm sewer main will be included in the assessment. The remaining 80% of the storm sewer main will be charged to the storm water utility. Storm sewer main cost will be based on the following:
  - i. 18-inch diameter storm sewer main.
  - ii. Four-foot diameter manholes with an average depth of five feet and a spacing of 300 feet.

Staff has reviewed the cost of storm sewer main and laterals for projects over the last three years. The calculations have been attached. Based on the calculations the special assessment rate for 2026 in existing non-residential areas is as follows:

- Storm Main Assessment - \$12.06 per foot of parcel frontage
- 6-Inch Storm Lateral Assessment - \$2,306.65 per each
- 8-Inch Storm Lateral Assessment - \$3,228.48 per each
- 12-Inch Storm Lateral Assessment - \$3,607.32 per each

Each individual parcel will have the appropriate lateral sized to accommodate projected runoff needs.

**Recommendation**

Staff recommends approval of the 2026 storm assessments for non-residential lots in developed areas as follows:

- Storm Main Assessment - \$12.06 per foot of parcel frontage
- 6-Inch Storm Lateral Assessment - \$2,306.65 per each
- 8-Inch Storm Lateral Assessment - \$3,228.48 per each
- 12-Inch Storm Lateral Assessment - \$3,607.32 per each

**Attachments**

Schedule\_B&C\_2026\_Non-Residential\_Storm\_Assessments

**Schedule B**

**2026 Storm Sewer Cost Evaluation - Existing Development Other Than Residential up to Two Units per Building  
Summary Based on 2023-2025 Asphalt Reconstruction and Resurfacing Projects.**

**City of De Pere**

**Date: January 7, 2026**

**Mainline Cost**

Project	Bid Item	Bid Item Description	Unit	Quantity	Cost	Total	Comment
24-02	ST-01	Remove and Relay 18" RCP Class IV	LF	379.00	\$90.50	\$34,299.50	
25-02	ST-02	Remove and Replace 18" RCP (Class III), or PP Storm Sewer (Granular Backfill)	LF	194.00	\$80.00	\$15,520.00	
<b>Total</b>				573.00		\$49,819.50	
<b>Average Cost Per Foot</b>						<b>\$86.95</b>	

**Schedule B**  
**2026 Storm Sewer Cost Evaluation - Existing Development Other Than Residential up to Two Units per Building**  
**Summary Based on 2023-2025 Asphalt Reconstruction and Resurfacing Projects.**

**City of De Pere**  
**Date: January 7, 2026**

**Storm Sewer Manhole**

Project	Bid Item	Bid Item Description	Unit	Quantity	Cost	Total	Comment
23-01	ST-11	Remove and Replace 4' Diameter Storm Manhole	VF	10.00	\$676.00	\$6,760.00	
23-01	ST-12	Provide 4' Diameter Storm Manhole	VF	96.00	\$867.00	\$83,232.00	
23-02	ST-02	Remove and Replace 4' Diameter Storm Manhole	VF	14.00	\$733.00	\$10,262.00	
24-01	ST-21	Provide 4' Diameter Storm Manhole	VF	51.21	\$731.00	\$37,434.51	
24-01	ST-22	Remove and Replace 4' Diameter Storm Manhole	VF	33.39	\$864.00	\$28,848.96	
24-02	ST-10	Remove and Replace 4' Diameter Storm Manhole	VF	12.40	\$700.00	\$8,680.00	
24-02	ST-11	Provide 4' Diameter Storm Manhole	VF	54.78	\$600.00	\$32,868.00	
25-01	ST-10	Provide 4' Diameter Storm Manhole	VF	47.42	\$890.00	\$42,203.80	
25-01	ST-13	Remove and Replace 4' Diameter Storm Manhole	VF	8.84	\$880.00	\$7,779.20	
25-02	ST-14	Provide 48" Diameter Storm Manhole	VF	65.30	\$920.00	\$60,076.00	
25-07	ST-02	Remove and Replace 4' Diameter Storm Manhole	VF	6.50	\$1,035.00	\$6,727.50	
<b>Total</b>				<b>399.84</b>		<b>\$324,871.97</b>	
<b>Cost Per Vertical Foot</b>						<b>\$812.50</b>	
<b>Cost for a 5 foot Deep Manhole</b>						<b>\$4,062.50</b>	
<b>Average Per Foot Cost with a 300 Foot Spacing</b>						<b>\$13.54</b>	

**Schedule B**  
**2026 Storm Sewer Cost Evaluation - Existing Development Other Than Residential up to Two Units per Building**  
**Summary Based on 2023-2025 Asphalt Reconstruction and Resurfacing Projects.**  
**City of De Pere**  
**Date: January 7, 2026**

**Lateral Cost**

Lateral 6"

Project	Bid Item	Bid Item Description	Unit	Quantity	Cost	Total	Comment
23-01	ST-08	Provide 6" PVC Storm Lateral	LF	1,896.0	\$53.00	\$100,488.00	
24-01	ST-11	Provide 6" PVC Storm Sewer Lateral	LF	2,160.8	\$43.50	\$93,994.80	
24-02	ST-06	Provide 6" PVC Storm Sewer Lateral	LF	970.5	\$46.00	\$44,643.00	
25-01	ST-06	Provide 6" PVC Storm Sewer Lateral	LF	1,407.8	\$55.00	\$77,429.00	
25-02	ST-06	Provide 6" PVC Storm Sewer Lateral	LF	1,017.3	\$52.50	\$53,408.25	
Total				7,452.4		\$369,963.05	
Average Cost Per Foot						\$49.64	
<b>Average Cost per Lot at 35 Feet of Lateral (100% to Owner)</b>						<b>\$1,737.40</b>	Average length of lateral is based on a 70 foot right of way.

Lateral 8"

Project	Bid Item	Bid Item Description	Unit	Quantity	Cost	Total	Comment
23-01	ST-06	Provide 8" PVC Storm Sewer	LF	1,116.00	\$66.00	\$73,656.00	
24-01	ST-08	Provide 8" PVC Storm Sewer (Granular Backfill)	LF	1,278.20	\$55.00	\$70,301.00	
24-01	ST-10	Provide 8" PVC Storm Sewer Lateral	LF	37.50	\$78.00	\$2,925.00	
24-02	ST-05	Provide 8" PVC Storm Sewer	LF	1,119.00	\$50.00	\$55,950.00	
25-01	ST-03	Provide 8" PVC Storm Sewer (Granular Backfill)	LF	995.00	\$61.00	\$60,695.00	
25-02	ST-05	Provide 8" PVC Storm Sewer (Granular Backfill)	LF	845.00	\$63.50	\$53,657.50	
Total				5,390.70		\$317,184.50	
Average Cost Per Foot						\$58.84	
<b>Average Cost per Lot at 35 Feet of Lateral (100% to Owner)</b>						<b>\$2,059.40</b>	Average length of lateral is based on a 70 foot right of way.

**Schedule B**  
**2026 Storm Sewer Cost Evaluation - Existing Development Other Than Residential up to Two Units per Building**  
**Summary Based on 2023-2025 Asphalt Reconstruction and Resurfacing Projects.**  
**City of De Pere**  
**Date: January 7, 2026**

**Lateral Cost**

Lateral 12"

Project	Bid Item	Bid Item Description	Unit	Quantity	Cost	Total	Comment
23-01	ST-03	Remove and Replace 12" PVC, RCP Class III, or PP Storm Sewer	LF	89.00	\$115.00	\$10,235.00	
23-01	ST-04	Provide 12" PVC, RCP Class III, or PP Storm Sewer (Granular Backfill)	LF	2,616.00	\$71.00	\$185,736.00	
23-01	ST-05	Provide 12" PVC, RCP Class III, or PP Storm Sewer (Natural Backfill)	LF	149.00	\$62.00	\$9,238.00	
23-02	ST-01	Provide 12" PVC, Class IV, or PP Storm Sewer	LF	68.00	\$89.00	\$6,052.00	
24-01	ST-05	Provide 12" PVC, RCP Class III, or PP Storm Sewer (Granular Backfill)	LF	314.20	\$62.50	\$19,637.50	
24-01	ST-06	Remove and Relay 12" PVC, RCP Class III, or PP Storm Sewer (Gran. Backfill)	LF	303.70	\$62.50	\$18,981.25	
24-01	ST-07	Remove and Relay 12" PVC, RCP Class III, or PP Storm Sewer (Nat. Backfill)	LF	13.10	\$98.00	\$1,283.80	
24-02	ST-02	Remove and Relay 12" PVC, RCP Class III, or PP Storm Sewer	LF	6.00	\$105.00	\$630.00	
24-02	ST-04	Provide 12" PVC or RCP Class II, or PP Storm Sewer	LF	455.00	\$56.00	\$25,480.00	
25-01	ST-01	Provide 12" PVC, RCP (Class III), or PP Storm Sewer (Granular Backfill)	LF	1,104.00	\$63.00	\$69,552.00	
25-01	ST-02	Remove and Replace 12" RCP (Class IV) Storm Sewer (Granular Backfill)	LF	64.00	\$70.00	\$4,480.00	
25-02	ST-04	Provide 12" RCP (Class III), PP or PVC Storm Sewer (Granular Backfill)	LF	899.00	\$68.00	\$61,132.00	
25-07	ST-01	Remove and Replace 12" PVC, RCP (Class III), or PP Storm Sewer	LF	4.00	\$130.00	\$520.00	
<b>Total</b>				<b>6,085.00</b>		<b>\$412,957.55</b>	
<b>Average Cost Per Foot</b>						<b>\$67.86</b>	
<b>Average Cost per Lot at 35 Feet of Lateral (100% to Owner)</b>						<b>\$2,375.10</b>	Average length of lateral is based on a 70 foot right of way.

**Schedule B**  
**2026 Storm Sewer Cost Evaluation - Existing Development Other Than Residential up to Two Units per Building**  
**Summary Based on 2023-2025 Asphalt Reconstruction and Resurfacing Projects.**  
**City of De Pere**  
**Date: January 7, 2026**

**Connection Cost**

**Storm Wye Cost (6")**

Project	Bid Item	Bid Item Description	Unit	Quantity	Cost	Total	Comment
23-01	ST-09	Provide 12" x 6" Storm Branch or Inserta Tee	EA	23	\$225.00	\$5,175.00	
23-01	ST-10	Provide 8" x 6" Storm Branch	EA	23	\$150.00	\$3,450.00	
24-01	ST-13	Provide 24"x6" Storm Branch or Inserta Tee	EA	2	\$257.00	\$514.00	
24-01	ST-14	Provide 21"x6" Storm Branch or Inserta Tee	EA	4	\$257.00	\$1,028.00	
24-01	ST-15	Provide 12"x6" Storm Branch or Inserta Tee	EA	20	\$70.00	\$1,400.00	
24-01	ST-16	Provide 8"x6" Storm Branch	EA	30	\$147.00	\$4,410.00	
24-02	ST-07	Provide 18"x6" Storm Branch or Inserta Tee	EA	4	\$286.00	\$1,144.00	
24-02	ST-09	Provide 8"x6" Storm Branch or Inserta Tee	EA	21	\$145.00	\$3,045.00	
25-01	ST-07	Provide 12"x6" Storm Branch or Inserta Tee	EA	21	\$300.00	\$6,300.00	
25-01	ST-08	Provide 8"x6" Storm Branch	EA	18	\$150.00	\$2,700.00	
25-02	ST-08	Provide 24"x6" Storm Branch or Inserta Tee	EA	10	\$300.00	\$3,000.00	
25-02	ST-09	Provide 15"x6" Storm Branch or Inserta Tee	EA	6	\$300.00	\$1,800.00	
25-02	ST-10	Provide 12"x6" Storm Branch or Inserta Tee	EA	5	\$300.00	\$1,500.00	
25-02	ST-11	Provide 8"x6" Storm Branch or Inserta Tee	EA	13	\$115.00	\$1,495.00	
Total				200		\$36,961.00	
<b>Average Cost Per Wye</b>						<b>\$184.81</b>	

**Core Storm Tee Cost (8" & 12")**

Project	Bid Item	Bid Item Description	Unit	Quantity	Cost	Total	Comment
24-01	ST-12	Provide 24"x12" Storm Branch or Inserta Tee	EA	1	\$631.00	\$631.00	
Total				1		\$631.00	
<b>Average Cost Per Connection/Core</b>						<b>\$631.00</b>	

**Schedule C**  
**2026 Storm Sewer Cost Evaluation - Existing Development Other Than Residential up to**  
**Two Units per Building**  
**Summary Based on 2023-2025 Asphalt Reconstruction and Resurfacing Projects.**  
**City of De Pere**  
**Date: January 7, 2026**

**Storm Mainline Cost**

Item Description	Cost Per LF	Comment
18" Storm Sewer Main	\$86.95	300 foot spacing with a 5' depth
4' Diameter Storm Manhole	\$13.54	
Mainline Cost Per Street Foot	\$100.49	Remaining 80% funded by Storm Water Utility
Cost Per Side of Street	\$50.25	
Assessable Amount (20%)	\$10.05	
Engineering and Administration (20%)	\$2.01	
<b>Total Mainline Cost Per Front Lot Foot</b>	<b>\$12.06</b>	

**Storm Lateral Cost**

Item Description	Cost Per EA	Comment
6" Storm Lateral	\$1,737.40	35 foot average length.
Storm Wye Cost	\$184.81	
Assessable Amount (100%)	\$1,922.21	
Engineering and Administration (20%)	\$384.44	
<b>Total Lateral Costs</b>	<b>\$2,306.65</b>	

**Storm Lateral Cost**

Item Description	Cost Per EA	Comment
8" Storm Lateral	\$2,059.40	35 foot average length. Average of cost to core pipe
Storm Wye Cost (Core)	\$631.00	
Assessable Amount (100%)	\$2,690.40	
Engineering and Administration (20%)	\$538.08	
<b>Total Lateral Costs</b>	<b>\$3,228.48</b>	

**Storm Lateral Cost**

Item Description	Cost Per EA	Comment
12" Storm Lateral	\$2,375.10	35 foot average length. Average of cost to core pipe
Storm Wye Cost (Core)	\$631.00	
Assessable Amount (100%)	\$3,006.10	
Engineering and Administration (20%)	\$601.22	
<b>Total Lateral Costs</b>	<b>\$3,607.32</b>	



**Request for Board of Public Works Action**

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<b>MEETING DATE:</b>	January 12, 2026
<b>DEPARTMENT:</b>	Public Works
<b>FROM:</b>	Eric Rakers, City Engineer
<b>SUBJECT:</b>	Consideration and possible action on the 2026 Storm Lateral Assessment Charge for Existing Residential Properties
<b>RECOMMENDED ACTION:</b>	Staff recommends approval of the 2026 storm assessments for residential lots.

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ATTACHMENTS:  
2026 0112 CI\_BOPW\_2026\_Residential\_Storm\_Assessments,  
Schedule\_B&C\_2026\_Residential\_Storm\_Assessments

# CITY OF DE PERE MEMO



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To: Honorable Mayor Boyd  
Members of the Board of Public Works  
From: Eric P. Rakers, P.E., City Engineer  
Date: January 12, 2026

RE: **Consideration and Possible Action on the 2026 Storm Lateral Assessment Charge for Existing Residential Properties**

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The purpose for this item is to establish the special assessment cost for storm main and laterals installed in 2026 to residential lots in developed areas.

## **Background**

In 2016, Section 13-8 (f) of the Municipal Code was updated for the assessment of new storm sewer and storm lateral provided to residential properties in developed areas.

Based on the Municipal Code, the assessment will be presented to the Board of Public Works each year. The cost for the storm assessment will be based on the previous three year's construction cost for storm sewer and appurtenances on a weighted average for the cost and amount installed on applicable projects. The assessment will be based on the following charges:

- a. 100% of the storm lateral cost will be included in the assessment. This includes the lateral piping and connection to the storm sewer main. The lateral piping cost will be based on an average 30-foot-long storm sewer lateral length.
- b. 20% of the storm sewer main will be included in the assessment. The remaining 80% of the storm sewer main will be charged to the storm water utility. Storm sewer main cost will be based on the following:
  - i. 12-inch diameter storm sewer main.
  - ii. Four-foot diameter manholes with an average depth of five feet and a spacing of 300 feet.
  - iii. Average lot width of 60 feet.

Staff has reviewed the cost of storm sewer main and laterals for projects in existing developed areas over the last three years. The calculations have been attached. Based on the calculations the special assessment rate for 2026 in existing residential areas is as follows:

- Storm Lateral Assessment - \$2,008.81 per each lateral.
- Storm Main Assessment - \$586.08 per parcel
- Total for a Lateral and the Main Assessment - \$2,594.89

**Recommendation**

Staff recommends approval of the 2026 storm assessments for residential lots in developed areas as follows:

- Storm Lateral Assessment - \$2,008.81 per each lateral
- Storm Main Assessment - \$586.08 per parcel

**Attachments**

Schedule\_B&C\_2026\_Residential\_Storm\_Assessments

**Schedule B**  
**2026 Storm Sewer Cost Evaluation - Residential**  
**Summary Based on 2023-2025 Asphalt Reconstruction and Resurfacing Projects**  
**City of De Pere**  
**Date: January 7, 2026**

**Mainline Cost**

Project	Bid Item	Bid Item Description	Unit	Quantity	Cost	Total	Comment
23-01	ST-03	Remove and Replace 12" PVC, RCP Class III, or PP Storm Sewer	LF	89.00	\$115.00	\$10,235.00	
23-01	ST-04	Provide 12" PVC, RCP Class III, or PP Storm Sewer (Granular Backfill)	LF	2,616.00	\$71.00	\$185,736.00	
23-01	ST-05	Provide 12" PVC, RCP Class III, or PP Storm Sewer (Natural Backfill)	LF	149.00	\$62.00	\$9,238.00	
23-02	ST-01	Provide 12" PVC, Class IV, or PP Storm Sewer	LF	68.00	\$89.00	\$6,052.00	
24-01	ST-05	Provide 12" PVC, RCP Class III, or PP Storm Sewer (Granular Backfill)	LF	314.20	\$62.50	\$19,637.50	
24-01	ST-06	Remove and Relay 12" PVC, RCP Class III, or PP Storm Sewer (Gran. Backfill)	LF	303.70	\$62.50	\$18,981.25	
24-01	ST-07	Remove and Relay 12" PVC, RCP Class III, or PP Storm Sewer (Nat. Backfill)	LF	13.10	\$98.00	\$1,283.80	
24-02	ST-02	Remove and Relay 12" PVC, RCP Class III, or PP Storm Sewer	LF	6.00	\$105.00	\$630.00	
24-02	ST-04	Provide 12" PVC or RCP Class II, or PP Storm Sewer	LF	455.00	\$56.00	\$25,480.00	
25-01	ST-01	Provide 12" PVC, RCP (Class III), or PP Storm Sewer (Granular Backfill)	LF	1,104.00	\$63.00	\$69,552.00	
25-01	ST-02	Remove and Replace 12" RCP (Class IV) Storm Sewer (Granular Backfill)	LF	64.00	\$70.00	\$4,480.00	
25-02	ST-04	Provide 12" RCP (Class III), PP or PVC Storm Sewer (Granular Backfill)	LF	899.00	\$68.00	\$61,132.00	
25-07	ST-01	Remove and Replace 12" PVC, RCP (Class III), or PP Storm Sewer	LF	4.00	\$130.00	\$520.00	
<b>Total</b>				6,085.00		\$412,957.55	
<b>Average Cost Per Foot</b>						<b>\$67.86</b>	

**Schedule B**  
**2026 Storm Sewer Cost Evaluation - Residential**  
**Summary Based on 2023-2025 Asphalt Reconstruction and Resurfacing Projects**  
**City of De Pere**  
**Date: January 7, 2026**

**Lateral Cost**

Project	Bid Item	Bid Item Description	Unit	Quantity	Cost	Total	Comment
23-01	ST-08	Provide 6" PVC Storm Lateral	LF	1,896.0	\$53.00	\$100,488.00	
24-01	ST-11	Provide 6" PVC Storm Sewer Lateral	LF	2,160.8	\$43.50	\$93,994.80	
24-02	ST-06	Provide 6" PVC Storm Sewer Lateral	LF	970.5	\$46.00	\$44,643.00	
25-01	ST-06	Provide 6" PVC Storm Sewer Lateral	LF	1,407.8	\$55.00	\$77,429.00	
25-02	ST-06	Provide 6" PVC Storm Sewer Lateral	LF	1,017.3	\$52.50	\$53,408.25	
<b>Total</b>				7,452.40		\$369,963.05	
<b>Average Cost Per Foot</b>						\$49.64	
<b>Average Cost per Lot at 30 Feet of Lateral (100% to Resident)</b>						<b>\$1,489.20</b>	Average length of lateral is based on a 60 foot right of way and several laterals being connected to inlets.

**Storm Wye Cost**

Project	Bid Item	Bid Item Description	Unit	Quantity	Cost	Total	Comment
23-01	ST-09	Provide 12" x 6" Storm Branch or Inserta Tee	EA	23	\$225.00	\$5,175.00	
23-01	ST-10	Provide 8" x 6" Storm Branch	EA	23	\$150.00	\$3,450.00	
24-01	ST-13	Provide 24"x6" Storm Branch or Inserta Tee	EA	2	\$257.00	\$514.00	
24-01	ST-14	Provide 21"x6" Storm Branch or Inserta Tee	EA	4	\$257.00	\$1,028.00	
24-01	ST-15	Provide 12"x6" Storm Branch or Inserta Tee	EA	20	\$70.00	\$1,400.00	
24-01	ST-16	Provide 8"x6" Storm Branch	EA	30	\$147.00	\$4,410.00	
24-02	ST-07	Provide 18"x6" Storm Branch or Inserta Tee	EA	4	\$286.00	\$1,144.00	
24-02	ST-09	Provide 8"x6" Storm Branch or Inserta Tee	EA	21	\$145.00	\$3,045.00	
25-01	ST-07	Provide 12"x6" Storm Branch or Inserta Tee	EA	21	\$300.00	\$6,300.00	
25-01	ST-08	Provide 8"x6" Storm Branch	EA	18	\$150.00	\$2,700.00	
25-02	ST-08	Provide 24"x6" Storm Branch or Inserta Tee	EA	10	\$300.00	\$3,000.00	
25-02	ST-09	Provide 15"x6" Storm Branch or Inserta Tee	EA	6	\$300.00	\$1,800.00	
25-02	ST-10	Provide 12"x6" Storm Branch or Inserta Tee	EA	5	\$300.00	\$1,500.00	
25-02	ST-11	Provide 8"x6" Storm Branch or Inserta Tee	EA	13	\$115.00	\$1,495.00	
<b>Total</b>				200		\$36,961.00	
<b>Average Cost Per Wye</b>						<b>\$184.81</b>	

**Schedule B**  
**2026 Storm Sewer Cost Evaluation - Residential**  
**Summary Based on 2023-2025 Asphalt Reconstruction and Resurfacing Projects**  
**City of De Pere**  
**Date: January 7, 2026**

**Storm Sewer Manhole**

Project	Bid Item	Bid Item Description	Unit	Quantity	Cost	Total	Comment
23-01	ST-11	Remove and Replace 4' Diameter Storm Manhole	VF	10.00	\$676.00	\$6,760.00	
23-01	ST-12	Provide 4' Diameter Storm Manhole	VF	96.00	\$867.00	\$83,232.00	
23-02	ST-02	Remove and Replace 4' Diameter Storm Manhole	VF	14.00	\$733.00	\$10,262.00	
24-01	ST-21	Provide 4' Diameter Storm Manhole	VF	51.21	\$731.00	\$37,434.51	
24-01	ST-22	Remove and Replace 4' Diameter Storm Manhole	VF	33.39	\$864.00	\$28,848.96	
24-02	ST-10	Remove and Replace 4' Diameter Storm Manhole	VF	12.40	\$700.00	\$8,680.00	
24-02	ST-11	Provide 4' Diameter Storm Manhole	VF	54.78	\$600.00	\$32,868.00	
25-01	ST-10	Provide 4' Diameter Storm Manhole	VF	47.42	\$890.00	\$42,203.80	
25-01	ST-13	Remove and Replace 4' Diameter Storm Manhole	VF	8.84	\$880.00	\$7,779.20	
25-02	ST-14	Provide 48" Diameter Storm Manhole	VF	65.30	\$920.00	\$60,076.00	
25-07	ST-02	Remove and Replace 4' Diameter Storm Manhole	VF	6.50	\$1,035.00	\$6,727.50	
<b>Total</b>				<b>399.84</b>		<b>\$324,871.97</b>	
<b>Cost Per Foot</b>						<b>\$812.50</b>	
<b>Cost for a 5 foot Deep Manhole</b>						<b>\$4,062.50</b>	
<b>Average Per Foot Cost with a 300 Foot Spacing</b>						<b>\$13.54</b>	

**Schedule C**  
**2026 Storm Sewer Cost Evaluation - Residential**  
**Summary Based on 2023-2025 Asphalt Reconstruction and Resurfacing Projects.**  
**City of De Pere**  
**Date: January 7, 2026**

**Storm Mainline Cost**

Item Description	Cost Per LF	Comment
12" Storm Sewer Main	\$67.86	
4' Diameter Storm Manhole	\$13.54	300 foot spacing with a 5' depth
Mainline Cost Per Street Foot	\$81.40	
Cost Per Side of Street	\$40.70	
Cost Per Lot	\$2,442.00	60 foot wide lot
Assessable Amount (20%)	\$488.40	Remaining 80% funded by Storm Water Utility
Engineering and Administration (20%)	\$97.68	
<b>Total Mainline Costs</b>	<b>\$586.08</b>	

**Storm Lateral Cost**

Item Description	Cost Per EA	Comment
6" Storm Lateral	\$1,489.20	30 foot average length. Some laterals will be connected to inlets.
Storm Wye Cost	\$184.81	
Assessable Amount (100%)	\$1,674.01	
Engineering and Administration (20%)	\$334.80	
<b>Total Lateral Costs</b>	<b>\$2,008.81</b>	

**Total Cost**

Mainline	\$586.08
Storm Lateral	\$2,008.81
<b>Total Cost</b>	<b>\$2,594.89</b>