



Plan Commission

Regular Meeting

335 South Broadway
De Pere, WI 54115
<https://www.deperewi.gov/>

Agenda

Monday, November 22, 2021

7:00 PM

Council Chambers and Virtual

Pursuant to Wisconsin Statutes 19.84, Notice is hereby given to the public that a meeting of the **Plan Commission** of the City of De Pere will be held on **November 22, 2021** at **7:00 PM** in the **COUNCIL CHAMBERS, 2ND FLOOR CITY HALL, 335 S. BROADWAY STREET, DE PERE.**

The public may attend the meeting either in person in the Council Chambers or electronically/telephonically. Electronic or telephonic access to the meeting is provided below:

Computer/smart phone accessing <https://www.gotomeet.me/DePere>

OR

You can also dial in using your phone.
United States (Toll Free): [1 866 899 4679](tel:18668994679)
United States: [+1 \(312\) 757-3117](tel:+13127573117)
Access Code: 154-883-285

This meeting may also be rebroadcast on Spectrum Cable Channel 4 and AT&T U-verse Channel 99 throughout the week and available on demand at <http://deperewi.igmp2.com/>.

Call to Order

1. Roll Call
2. Approval of the minutes of the October 25, 2021 Plan Commission meeting.
3. Public comments upon matters not on the agenda.
4. Consideration and possible action to rezone 2400 BLK Lost Dauphin RD (part of Parcels WD-D0104 and WD-L496) from R-1 (Single Family Residence District) to R-3 (Multiple Family Residence District).*
5. Consideration and possible action on a site plan for a 6,393 SF building addition with two loading docks at 675 Heritage RD (Parcel ED-F0094-1).

Adjournment

Any person wishing to attend this meeting, who, because of disability, requires special accommodations should contact the City Planner's office at 339-4043 by noon on the day of the meeting so that arrangements can be made.

*Items with an asterisk require City Council approval.

Agenda Sent To:

Alderspersons
City Administrator
Mayor
Department Heads
TV, Newspapers & Radio Stations
Kress Family Library
De Pere Chamber of Commerce

Troy Hewitt, Best Built INC
John Ambrosius, Belmark
Flex LLC



City of De Pere, Wisconsin

Request For Plan Commission Action

MEETING DATE: November 22, 2021

DEPARTMENT: Planning

FROM: Kelly Barker

SUBJECT: Approval of the minutes of the October 25, 2021 Plan Commission meeting.

ATTACHMENTS:

- PC_Oct2021_Minutes_Draft (PDF)



Plan Commission

Regular Meeting

335 South Broadway
De Pere, WI 54115
<https://www.deperewi.gov/>

Draft Minutes

Monday, October 25, 2021

5:30 PM

Council Chambers and Virtual

Call to Order

The meeting was called to order at 5:30 PM by Mayor James Boyd

Attendee Name	Title	Status	Arrived
James Boyd	Mayor	Present	
Derek Beiderwieden	Commissioner	Present	
Brenda Busch	Commissioner	Present	
Dan Carpenter	Aldersperson	Present	
Mark Higgins	Commissioner	Present	
Dean Raasch	Aldersperson	Excused	
Grant Schilling	Commissioner	Present	

Also present: Development Services Director Daniel Lindstrom, City Planner Peter Schlein, and members of the public.

2. Approval of the minutes of the September 27, 2021 Plan Commission meeting.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Derek Beiderwieden, Commissioner
SECONDER:	Mark Higgins, Commissioner
AYES:	Boyd, Beiderwieden, Busch, Carpenter, Higgins, Schilling
EXCUSED:	Dean Raasch

3. Public comments upon matters not on the agenda.

There were no public comments.

RESULT:	DISCUSSED
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4. Consideration and possible action on a site plan for a 7,210 SF parking lot addition with 15 parking stalls for an existing building at 1537 American CT (Parcel WD-1622).

City Planner Peter Schlein reviewed the site plan for 1537 American Court for a parking lot addition at the west end of the property to accommodate off-street parking for training and conferences. Staff recommended approval of the site plan, subject to the conditions in the report. Mark Higgins moved, seconded by Ald. Carpenter, to approve the site plan. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Mark Higgins, Commissioner
SECONDER:	Dan Carpenter, Aldersperson
AYES:	Boyd, Beiderwieden, Busch, Carpenter, Higgins, Schilling
EXCUSED:	Dean Raasch

5. Consideration and possible action on a site plan for a 140,995 SF new building with nine loading docks, one bay door, and 105 parking stalls at 2020 Commerce DR (Parcels ED-D43-1, ED-F0082, ED-F0083).

City Planner Peter Schlein reviewed the site plan for a new commercial building at 2020 Commerce Drive. The building is made of masonry and glass. There is also metal screening of HVAC equipment on the roof, which is approvable by Plan Commission.

Staff recommended approval of the site plan, subject to the conditions in the report. Mayor Boyd moved, seconded by Derek Beiderwieden, to approve the site plan, including the metal roof screening. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Boyd, Mayor
SECONDER:	Derek Beiderwieden, Commissioner
AYES:	Boyd, Beiderwieden, Busch, Carpenter, Higgins, Schilling
EXCUSED:	Dean Raasch

6. Consideration and possible action on a new 30' wide utility easement at 400 BLK Rockland RD (Parcel ED-2386).*

City Planner Peter Schleinz reviewed the request for a new utility easement at the 400 block of Rockland Road. Staff recommended approval of the utility easement and forwarding it to the Common Council for final approval. Mayor Boyd moved, seconded by Ald. Carpenter, to approve the easement and forward it onto the Common Council. Upon vote, motion carried unanimously. Development Services Director Daniel Lindstrom clarified that the easement request will go to Council once the easement language has been finalized.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Boyd, Mayor
SECONDER:	Dan Carpenter, Alderperson
AYES:	Boyd, Beiderwieden, Busch, Carpenter, Higgins, Schilling
EXCUSED:	Dean Raasch

Adjournment

Mayor Boyd moved, seconded by Mark Higgins, to adjourn the meeting at 5:41 PM. Upon vote, motion carried unanimously.

Respectfully submitted,
Kelly Barker



City of De Pere, Wisconsin

Request For Plan Commission Action

MEETING DATE: November 22, 2021

DEPARTMENT: Planning

FROM: Kelly Barker

SUBJECT: Public comments upon matters not on the agenda.



City of De Pere, Wisconsin

Request For Plan Commission Action

MEETING DATE: November 22, 2021

DEPARTMENT: Planning

FROM: Peter Schleinz

SUBJECT: Consideration and possible action to rezone 2400 BLK Lost Dauphin RD (part of Parcels WD-D0104 and WD-L496) from R-1 (Single Family Residence District) to R-3 (Multiple Family Residence District).*

ATTACHMENTS:

- PC Report - Rezoning (DOCX)
- Application Form (PDF)
- Exhibit and Legal Description - PDF (PDF)
- Legal Description - Word (DOCX)

- Item 4: Consideration and possible action to rezone 2400 BLK Lost Dauphin RD (part of Parcels WD-D0104 and WD-L496) from R-1 (Single Family Residence District) to R-3 (Multiple Family Residence District).*



REQUESTED ACTION: Rezoning Request.

Rezone 2400 BLK Lost Dauphin RD (part of the preliminary Waterview Heights Fifth Addition plat) from R-1 to R-3 to allow for two-family and multi-family uses that comply with adjacent B-2 District property.

COMMON DESCRIPTION: 2400 BLK Lost Dauphin RD, located southwest from the Meadow Rose LN and Cross Gate LN intersection.

PARCEL NUMBERS: Part of WD-D0104 and WD-L496.

EXISTING ZONING: R-1 (Single Family Residence District).

SURROUNDING LAND USES: Agricultural (R-1) and developing single-family residential (R-1) to the north and east.
Agricultural (R-1) to the south.
Wisconsin Central LTD Railroad (and De Pere Dog Park (I-B-1) to the west.

COMPREHENSIVE PLAN: Neighborhood Residential (Including Multi-Family).

APPLICANT / OWNERS: Authorized Representative
Troy Hewitt, PLS
Best Built INC
3100 Holmgren WY
Green Bay, WI 54304-5720

Property Owner
Best Built INC
3100 Holmgren WY
Green Bay, WI 54304-5720

SITE HISTORY:	After an air photo review from 1938 to 2020, the site has been used for agricultural purposes. The nearby residential area to the north developed between 2004-2010. On November 3, 2021 a petitioner proposed rezoning the parcel to match proposed uses on the preliminary Waterview Heights Fifth Addition plat that will be reviewed by Plan Commission at a future meeting.
STAFF REVIEW:	When reviewing a rezoning request, staff considers the future land use recommendation of the Comprehensive Plan, surrounding land uses, and desired development patterns. The proposed rezoning complies with the Comprehensive Plan and surrounding land uses, including matching adjacent existing uses. <u>Comprehensive Plan</u> The 2010 Comprehensive Plan text and the Future Land Uses Map (Figure 2-6) identify future uses as ‘Neighborhood Residential (Including Multi-Family),’ which complies with the proposed use. The northern end of the area is proposed to have up to nine duplex buildings (18 units). The southern end of the area is proposed to have up to four apartment buildings (64 units) with two accessory garage buildings. <u>Desired Development Patterns</u> The Comprehensive Plan and the zoning, if changed to R-3, allows for the development of single-family, two-family, and multi-family dwellings. Other uses are also allowed including schools, churches, recreational facilities, day care centers, etc. An accompanying preliminary plat identifies that the proposed uses will be two-family and multi-family, matching proposed development patterns. Future streets will provide connections to Lost Dauphin RD as well as connections to the north and south. <u>Neighbor Outreach</u> All property owners within 300 feet of the subject area have been notified of this application via mail. No comments were received as of the time this report was written.
REVIEW PROCESS:	For rezoning applications, the Plan Commission provides a recommendation to the Common Council. A public hearing is proposed to be held at the February 1, 2022 Common Council meeting before a final decision by the Common Council.
STAFF RECOMMENDATION:	Staff recommends APPROVAL of the request to rezone 2400 BLK Lost Dauphin RD from R-1 (Single Family Residence District) to R-3 (Multiple Family Residence District)), subject to the following: 1. Compliance with all state and local laws and regulations, including compliance with all the provisions of Chapter 14, De Pere Municipal Code.

	CITY OF DE PERE APPLICATION FOR REZONING	Fee: \$ 305.00
		Receipt #: _____
		Date: _____

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Best Built, Inc.	Authorized Representative Troy Hewitt	Title Surveyor	
Mailing Address 3100 Holmgren Way	City Green Bay	State WI	ZIP Code 54304
Email Address thewitt@releeinc.com	Phone Number (incl. area code) 920-662-9641	Fax Number (incl. area code) 920-662-9141	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) Best Built	Contact Person Jim Boyea / Craig Kassner	Title VP / President	
Mailing Address	City	State	ZIP Code
Email Address jim@bestbuiltinc.com / craig@bestbuiltinc.com	Phone Number (incl. area code) 920-337-6488	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description See attached sketch and description	Parcel Number(s): WD-D0104 & WD-L496
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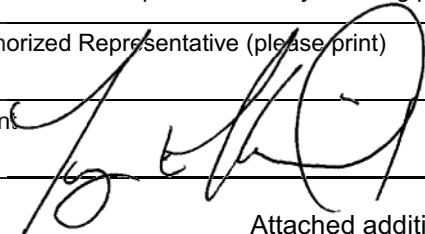
SECTION 4: Proposed Rezoning Use

Existing Zoning:	R-1		
Proposed Zoning:	r-3		
Adjacent Zoning: North R-1	Adjacent Zoning: South R-1	Adjacent Zoning: West RAILROAD	Adjacent Zoning: East R-1
Present Use of Parcel	FARMLAND		
Proposed Use of Parcel	MULTI FAMILY APARTMENTS AND DUPLEX LOTS		

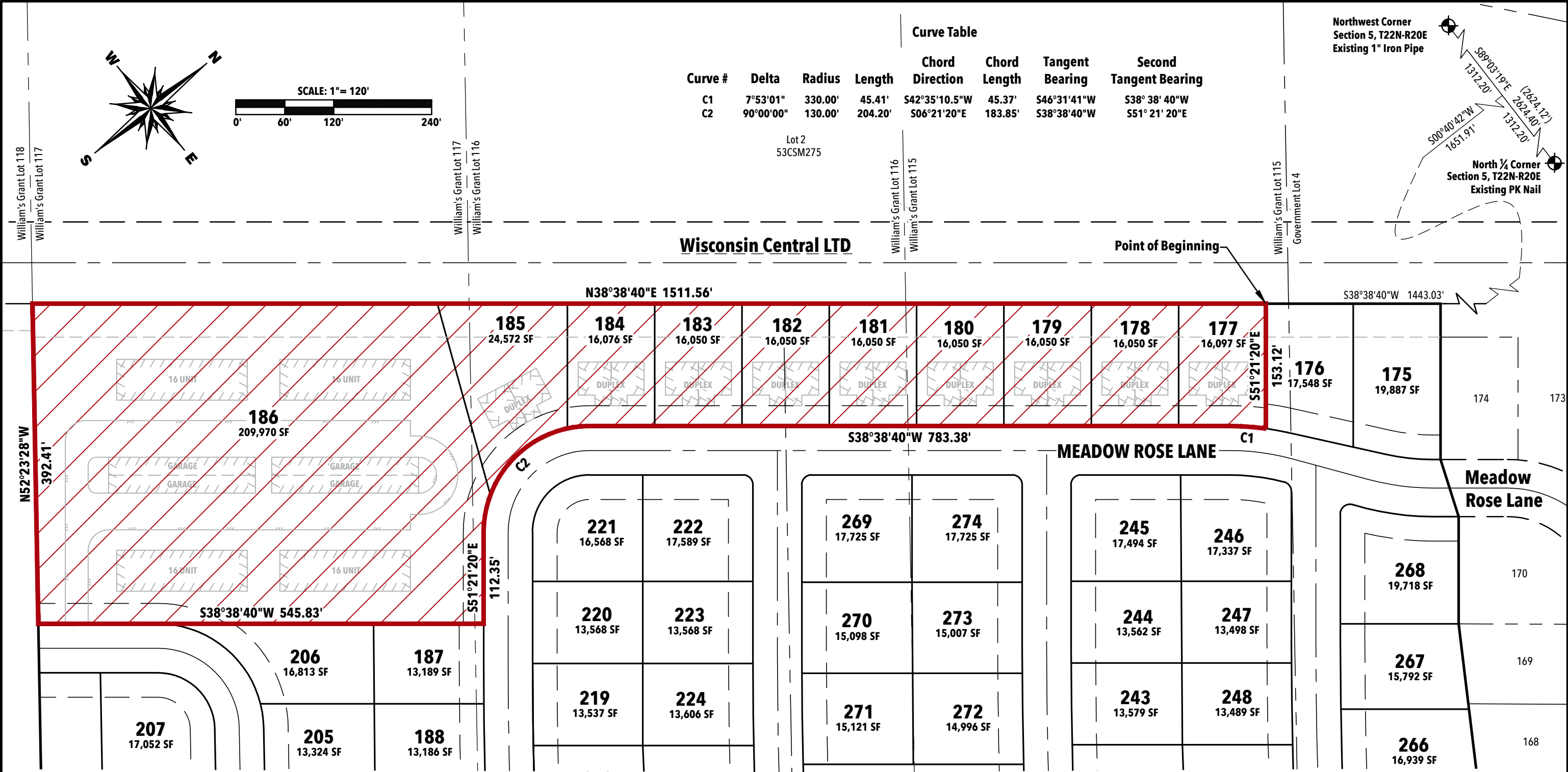
SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) TROY HEWITT	Title SURVEYOR	Phone Number 920-662-9641
Signature of Applicant 		Date Signed 11/3/21

Attached additional sheets if necessary.



PROPOSED R-3 MULTI-FAMILY RESIDENCE DISTRICT LEGAL DESCRIPTION

Part of Lots 115 through 117 of William's Grant Subdivision, City of De Pere, Brown County, Wisconsin more fully described as follows:

Commencing at the northwest corner of Section 5, Township 22 North, Range 20 East; thence S89°03'19"E, 1312.20 feet on the north line of the Northwest ¼ of said Section 5 to the northeast corner of the Northwest ¼ of the Northwest ¼; thence S00°40'42"W, 1651.91 feet on the east line of said Northwest ¼ of the Northwest ¼ and continuing on the east line of Government Lot 4 of said Section 5 to the east right of way of the Wisconsin Central LTD Railroad; thence S38°38'40"W, 1443.03 feet on said east right of way to the POINT OF BEGINNING; thence S51°21'20"E, 153.12 feet; thence 45.41 feet on the arc of a 330.00 foot radius curve to the left, having a long chord which bears S42°35'10.5"W, 45.37 feet; thence S38°38'40"W, 783.38 feet; thence 204.20 feet on the arc of a 130.00 foot radius curve to the left, having a long chord which bears S06°21'20"E, 183.85 feet; thence S51°21'20"E, 112.35 feet; thence S38°38'40"W, 545.83 feet to the south line of said Lot 117; thence N52°23'28"W, 392.41 feet on said south line to said east right of way; thence N38°38'40"E, 1511.56 feet on said east right of way to the Point of Beginning.

Said parcel contains 363,016 Square Feet (8.338 Acres) of land more or less.

DRAWN
Troy Hewitt

CHECKED

Prepared for:

DATE
10/25/21

FILE
Rezone Exhibits.dwg

JOB NO.
1703118

ROBERT E. LEE & ASSOCIATES, INC.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD
HOBART, WI 54155
INTERNET: www.releeinc.com

PHONE:(920) 662-9641
FAX:(920) 662-9141

SHEET NO.
1 of 1

PROPOSED R-3 MULTI-FAMILY RESIDENCE DISTRICT LEGAL DESCRIPTION

Part of Lots 115 through 117 of William's Grant Subdivision, City of De Pere, Brown County, Wisconsin more fully described as follows:

Commencing at the northwest corner of Section 5, Township 22 North, Range 20 East; thence S89°03'19"E, 1312.20 feet on the north line of the Northwest ¼ of said Section 5 to the northeast corner of the Northwest ¼ of the Northwest ¼; thence S00°40'42"W, 1651.91 feet on the east line of said Northwest ¼ of the Northwest ¼ and continuing on the east line of Government Lot 4 of said Section 5 to the east right of way of the Wisconsin Central LTD Railroad; thence S38°38'40"W, 1443.03 feet on said east right of way to the POINT OF BEGINNING; thence S51°21'20"E, 153.12 feet; thence 45.41 feet on the arc of a 330.00 foot radius curve to the left, having a long chord which bears S42°35'10.5"W, 45.37 feet; thence S38°38'40"W, 783.38 feet; thence 204.20 feet on the arc of a 130.00 foot radius curve to the left, having a long chord which bears S06°21'20"E, 183.85 feet; thence S51°21'20"E, 112.35 feet; thence S38°38'40"W, 545.83 feet to the south line of said Lot 117; thence N52°23'28"W, 392.41 feet on said south line to said east right of way; thence N38°38'40"E, 1511.56 feet on said east right of way to the Point of Beginning.

Said parcel contains 363,016 Square Feet (8.338 Acres) of land more or less.



City of De Pere, Wisconsin

Request For Plan Commission Action

MEETING DATE: November 22, 2021

DEPARTMENT: Planning

FROM: Peter Schleinz

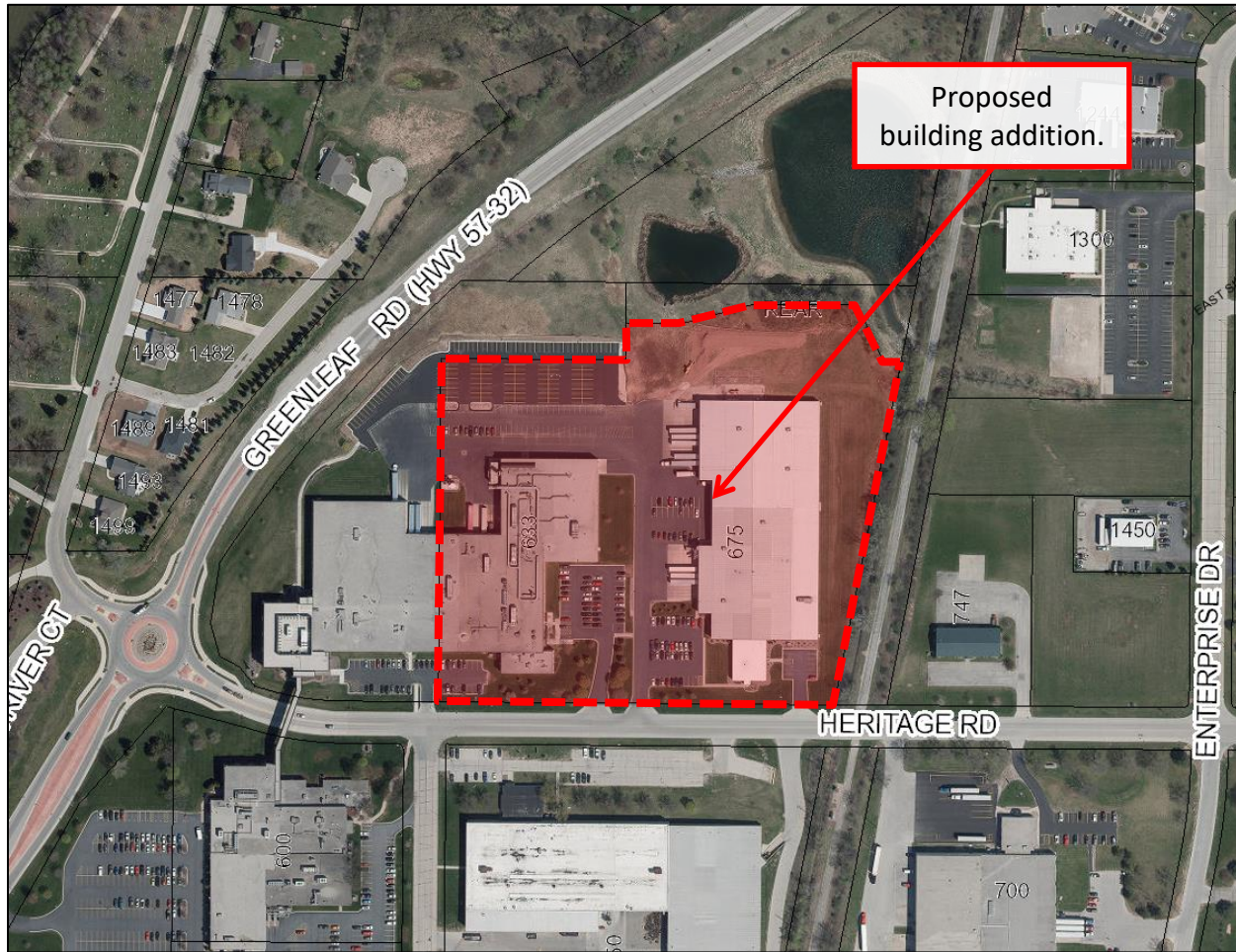
SUBJECT: Consideration and possible action on a site plan for a 6,393 SF building addition with two loading docks at 675 Heritage RD (Parcel ED-F0094-1).

ATTACHMENTS:

- 11-22-21 PC Report - Belmark Plant 5 (DOCX)
- Application Form (PDF)
- Site Plan - PRELIMINARY - 28 Oct 2021 (PDF)

- Item 5: Consideration and possible action for a site plan for a 6,393 SF building addition with two loading docks at 675 Heritage RD (Parcel ED-F0094-1).

SITE MAP



- REQUESTED ACTION:** Site Plan Approval.
- Belmark Plant 5: a building addition on the west side of an existing building.
- COMMON DESCRIPTION:** 675 Heritage RD, located northeast from the Heritage RD and Commerce DR intersection.
- PARCEL NUMBERS:** ED-F0094-1.
- ZONING:** I-1 (Industrial Park District).
- SURROUNDING LAND USES:** Wetlands (I-1) and storm water management (I-1) to the north.
Business Park (I-3) to the south.
Fox River State Recreational Trail and Business park (I-1) to the east.
Business Park (I-1) to the west.
- COMPREHENSIVE PLAN:** Industrial Park.

APPLICANT / OWNER:	<u>Authorized Representative</u>	<u>Property Owner</u>
	John Ambrosius, Plant Engineer	Flex LLC
	600 Heritage RD	PO BOX 5310
	PO BOX 5310	De Pere, WI 54115
	De Pere, WI 54115	

SITE HISTORY: The site has been used for agricultural purposes from 1938 until the early 2000s. Heritage RD and Greenleaf RD were developed in the mid-1960s-70s and Belmark INC was built on the subject parcel by 2000. Several additions followed in the 20+ years since the subject parcel was developed. The most recent Plan Commission site plan review from October 2021 included a new building (Belmark Plant 7) at the southern end of Commerce DR.

STAFF REVIEW: When reviewing a Site Plan request, staff considers the future land use recommendation of the Comprehensive Plan, surrounding land uses, and desired development patterns, as well as the criteria identified in Zoning Code Section 14-60.

The addition is located on the west side of the existing building, adjacent to a parking lot and loading dock. The existing loading dock will be replaced with two new loading docks.

The proposed building façade materials are CMU (tan and brown), prefinished metal rooftop screen wall (brown), and rubbed finish exposed concrete (grey).

- The prefinished metal rooftop screen wall screens rooftop mechanical equipment, similar to what was done on the Plant 7 building, reviewed by Plan Commission in October, 2021. The use of prefinished metal requires approval from Plan Commission.

There are no new proposed driveway connections to Heritage road, no new signage, and no additional landscaping as the area is already paved.

The site plan complies with the following massing and setback requirements set by the I-1 District (Code Section 14-47):

- Land Use: Industrial – Proposed addition (permitted)
- Lot Size: 13.1 acres (None required)
- Front Yard Setback – south: ~40' (40' required)
- Interior Side Yard Setback – east & west: ~53' & ~115' (25' required)
- Rear Yard Setback – east: ~63' (25' required)
- FAR: 0.5 (0.6 or less required)
- Building Height: ~25' (Determined by Plan Commission)
- Landscaping: Unknown (subject area is paved)

The campus-wide required number of stalls was calculated in 2020 when the parking lot was developed. That calculation identified 820 existing parking stalls, and 808 stalls needed by 2030. The parking calculation needs to be updated on a campus-wide level with the

Proposed addition (red):



WEST ELEVATION

NORTH ELEVATION

SOUTH ELEVATION

Engineering:

- Packet Pg. 16

2. Sheet C101: In the Utility Information, remove Ledgeview Sanitary District as it is not present on this site.
3. Sheet C101: Remove demolition notes 4, 5 & 6 as they do not pertain to this project.
4. Sheet C104: Provide parking stall and aisle dimensions.
5. Sheet C104: The new asphalt layer is covering up the proposed storm connection and 18" storm sewer line.

Planning:

1. The building addition is causing the elimination of existing parking stalls. Verify and update the campus-wide parking stall count and requirements.
2. Identify the height of the loading dock screening (potentially part of the retaining wall or a landscape plan that was not included with submittal), which needs to be at a minimum elevation of five feet above the finished grade at the property line.

Fire, Forestry, Health, Parks, Inspection, Water: None.

REVIEW PROCESS

For Site Plan Requests, the Plan Commission either approves or denies the project. Conditions of approval must be resolved between the petitioner and staff before a final approval memo is issued and building permits are released. This site plan is not reviewed by the Common Council.

STAFF RECOMMENDATION:

Staff recommends APPROVAL of the site plan for a 6,393 SF building addition with two loading docks at 675 Heritage RD, subject to compliance with the conditions listed in the 'Staff Comments' section of this report.

NOTE: Prior to making a decision, Plan Commission should consider if the use of the prefinished metal rooftop screen wall to screen the rooftop mechanical equipment is appropriate.

	CITY OF DE PERE APPLICATION FOR SITE PLAN REVIEW	Fee: \$ 305.00
		Receipt #: _____
		Date: _____

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Belmark, Inc.	Authorized Representative John Ambrosius	Title Plant Engineer	
Mailing Address 600 Heritage Road, P.O. Box 5310	City De Pere	State WI	ZIP Code 54115-5310
Email Address johna@belmark.com	Phone Number (incl. area code) 920-336-2848	Fax Number (incl. area code) 920-336-4577	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) FLEX LLC	Contact Person John Ambrosius	Title Plant Engineer	
Mailing Address 600 Heritage Road	City De Pere	State WI	ZIP Code 54115-5310
Email Address johna@belmark.com	Phone Number (incl. area code) 920-336-9848	Fax Number (incl. area code) 920-336-4577	

SECTION 3: Project or Site Location

Project Address/Description 675 Heritage Road / Plant 5 Addition	Parcel No. ED-F0094
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SECTION 4: Project Information

Existing Zoning:	I-1		
Present Use of Parcel:	Industrial		
Proposed Use of Parcel:	Industrial		
Estimated Start Date:	5/15/2021	Estimated Completion Date:	10/1/2022

Please submit 1 hard copy 24x36, 1 hard copy 11x17 and 1 PDF copy of the submittal.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Patrick H. Kuehl, P.E.	Title Senior Project Manager	Phone Number 920-544-4453
Signature of Applicant 		Date Signed 10/28/21

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.	
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PLANT 5 ADDITION



DE PERE, WI 54115



124 N. BROADWAY P.O. BOX 5156 DE PERE, WISCONSIN 54115
920-336-9929 FAX: 920-336-2899 www.performainc.com

PROJECT TEAM

PROJECT MANAGER
PROJECT ARCHITECT
STRUCTURAL
PLUMBING

PAUL JANSSEN
ERIN PETERS
NICK GRAHL
JULI SIMONET



SHEET INDEX

TITLE SHEET				
SHEET NO.	SHEET NAME	NO.	NAME	DATE
TS1.1	TITLE SHEET, SHEET INDEX	1	BIDS/CONSTRUCTION	09/17/21

LIFE SAFETY				
SHEET NO.	SHEET NAME	NO.	NAME	DATE
LS1.1	LIFE SAFETY DATA	1	BIDS/CONSTRUCTION	09/17/21
LS1.2	FIRST FLOOR LIFE SAFETY PLAN	1	BIDS/CONSTRUCTION	09/17/21
LS1.3	MEZZANINE LIFE SAFETY PLAN	1	BIDS/CONSTRUCTION	09/17/21

CIVIL				
SHEET NO.	SHEET NAME	NO.	NAME	DATE
C101	EXISTING SITE CONDITIONS/ DEMOLITION PLAN	1	BIDS/CONSTRUCTION	09/17/21
C102	OVERALL SITE PLAN	1	BIDS/CONSTRUCTION	09/17/21
C103	ENLARGED SITE / GRADINGS & EROSION CONTROL PLAN RAMP AREA	1	BIDS/CONSTRUCTION	09/17/21
C104	ENLARGED SITE & UTILITY PLAN PLANT 5 ADDITION	1	BIDS/CONSTRUCTION	09/17/21
C105	ENLARGED GRADINGS PLAN PLANT 5 ADDITION	1	BIDS/CONSTRUCTION	09/17/21
C106	MISCELLANEOUS DETAILS	1	BIDS/CONSTRUCTION	09/17/21
C107	EROSION CONTROL INLET PROTECTION TYPES A, B, C AND D AND MISCELLANEOUS DETAILS	1	BIDS/CONSTRUCTION	09/17/21
C108	EROSION CONTROL INLET PROTECTION TYPE D-HR AND TYPE D-M	1	BIDS/CONSTRUCTION	09/17/21
C109	EROSION CONTROL SHEET FLOW DETAILS	1	BIDS/CONSTRUCTION	09/17/21
C110	EROSION CONTROL TRACKOUT CONTROL PRACTICES	1	BIDS/CONSTRUCTION	09/17/21

ARCHITECTURAL				
SHEET NO.	SHEET NAME	NO.	NAME	DATE
A1.1	DEMOLITION PLAN, FIRST FLOOR PLAN	1	BIDS/CONSTRUCTION	09/17/21
A1.2	ROOF PLAN	1	BIDS/CONSTRUCTION	09/17/21
A2.1	DOOR SCHEDULE, DOOR TYPES, FRAME TYPES, WALL TYPES, DOOR DETAILS	1	BIDS/CONSTRUCTION	09/17/21
A3.1	EXTERIOR ELEVATIONS	1	BIDS/CONSTRUCTION	09/17/21
A4.1	BUILDING SECTIONS, WALL SECTIONS	1	BIDS/CONSTRUCTION	09/17/21
A5.1	EXTERIOR DETAILS, STAIR PLAN	1	BIDS/CONSTRUCTION	09/17/21
A7.1	FIRST FLOOR REFLECTED CEILING PLAN	1	BIDS/CONSTRUCTION	09/17/21
A9.1	FIRST FLOOR FINISH PLAN, FINISH SCHEDULE	1	BIDS/CONSTRUCTION	09/17/21

STRUCTURAL				
SHEET NO.	SHEET NAME	NO.	NAME	DATE
S1.1	STRUCTURAL GENERAL NOTES	1	BIDS/CONSTRUCTION	09/17/21
S1.1	FOUNDATION PLAN	1	BIDS/CONSTRUCTION	09/17/21
S1.2	ROOF FRAMING PLAN	1	BIDS/CONSTRUCTION	09/17/21
S2.1	FOUNDATION SCHEDULES AND DETAILS	1	BIDS/CONSTRUCTION	09/17/21
S3.1	FRAMING SCHEDULES AND DETAILS	1	BIDS/CONSTRUCTION	09/17/21
S3.2	JOIST DIAGRAMS	1	BIDS/CONSTRUCTION	09/17/21
S5.1	FRAMING ELEVATIONS	1	BIDS/CONSTRUCTION	09/17/21

PLUMBING				
SHEET NO.	SHEET NAME	NO.	NAME	DATE
P1.1	FIRST FLOOR PLUMBING PLAN	1	BIDS/CONSTRUCTION	09/17/21

NORTH ARROW

EXISTING COLUMN GRID CENTERLINE

NEW COLUMN GRID CENTERLINE

EXISTING ELEVATION REFERENCE

NEW ELEVATION REFERENCE

SOIL BORING

ROOM NAME

ROOM NUMBER

DOOR NUMBER

REVISION NUMBER

WINDOW TAG

WALL TYPE

PLAN NOTE

FINISH TAG

DETAIL OR SECTION NUMBER

SHEET ON WHICH DETAIL OR SECTION IS DRAWN

SECTION CUT REFERENCE

ELEVATION REFERENCE

DETAIL NUMBER AND SCALE

ENLARGED PLAN OR DETAIL REFERENCE

EXISTING TO BE REMOVED

ALUMINUM

BRICK

COMPACTED FILL

CONCRETE DRIVES, APRONS, ETC.

POURED CONCRETE IN SECTION

CONG. MASONRY UNIT

GYPSUM BOARD

BATT INSULATION

RIGID INSULATION

FINISHED WOOD

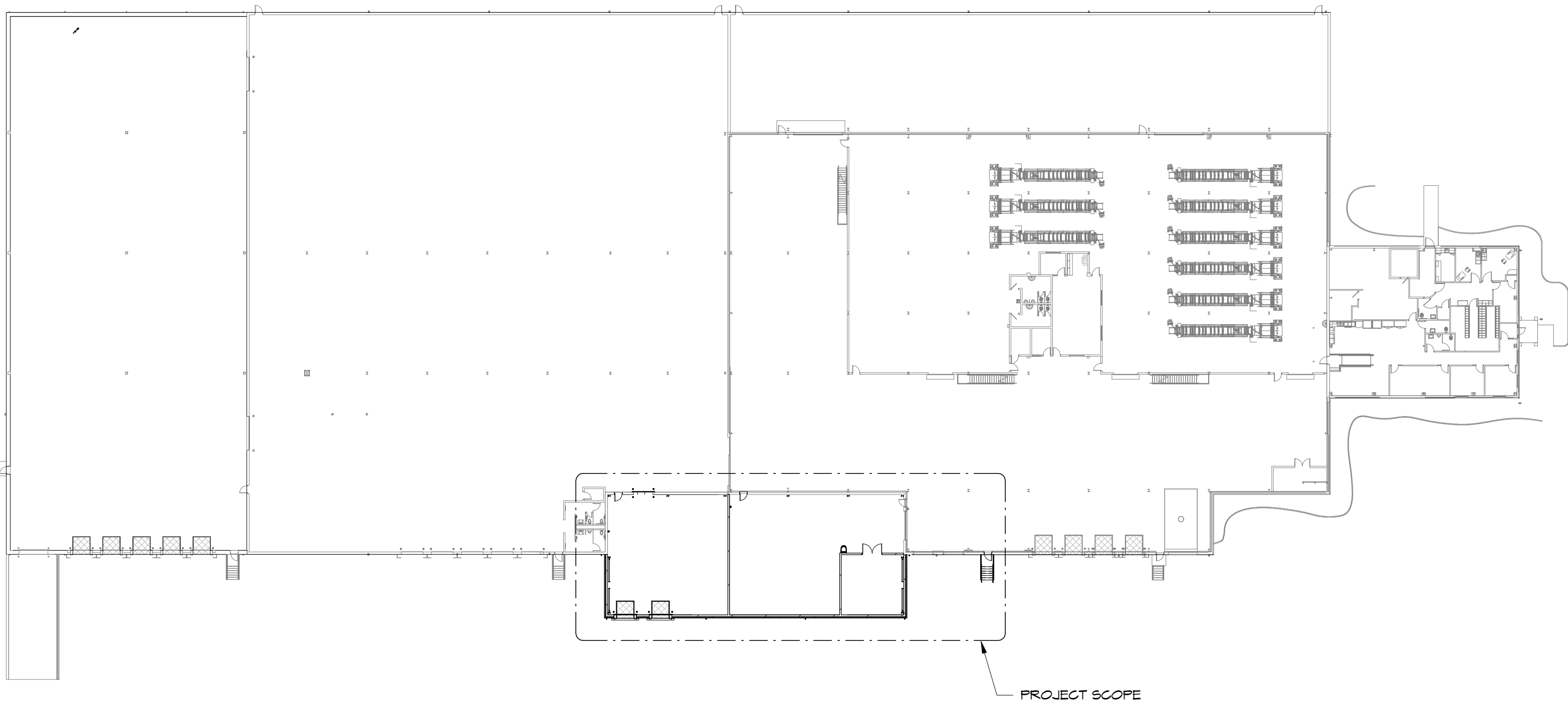
ROUGH LUMBER

PLYWOOD

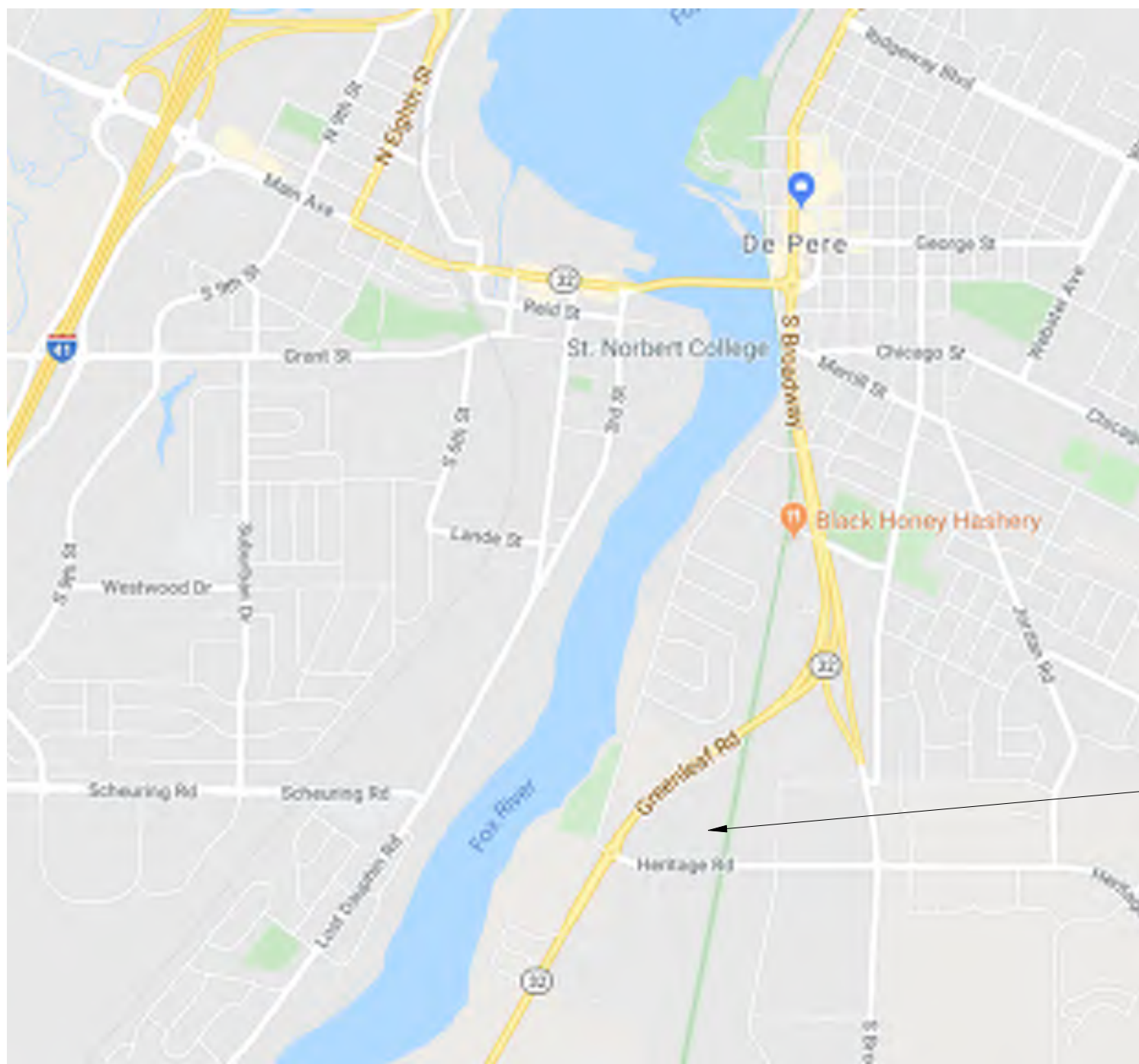
PRECAST CONCRETE

STEEL

UNDISTURBED SOIL



OVERALL FIRST FLOOR PLAN
SCALE: 1" = 40'-0"



LOCATION MAP

PLANT 5 ADDITION

Belmark Inc.

De Pere, WI 54115



TITLE SHEET, SHEET INDEX

TITLE	DRAWN	CHKD	ENP
	DWB		
DATE	09/17/21	SCALE	As indicated
DRAWING NO.	TS1.1		
PROJECT NO.	21072	REV	1

PROJECT NAME: BELMARK PLANT 5 ADDITION
PROJECT OWNER: BELMARK
PROJECT LOCATION: 600 HERITAGE RD.
DE PERE, WI 54115
PROJECT DESCRIPTION: THE PROPOSED PROJECT CONSISTS A MANUFACTURING
ADDITION TO THE WEST.

CODES:	
BUILDING CODE:	2015 INTERNATIONAL BUILDING CODE
EXISTING BUILDING CODE:	2015 INTERNATIONAL EXISTING BUILDING CODE
SEISMIC CODE:	2015 INTERNATIONAL BUILDING CODE
ENERGY CODE:	2015 INTERNATIONAL ENERGY CONSERVATION CODE
MECHANICAL CODE:	2015 INTERNATIONAL MECHANICAL CODE
GAS CODE:	2015 INTERNATIONAL FUEL GAS CODE
ACCESSIBILITY CODE:	2009 ANSI - ACCESSIBLE & USABLE BUILDINGS & FACILITIES
FIRE CODE:	2015 INTERNATIONAL FIRE CODE AS REFERENCED BY SPS 361.02(14)
PLUMBING CODE:	WISCONSIN PLUMBING CODE
ELECTRICAL CODE:	NEC 2017
FIRE DEPARTMENT:	FIRE CHIEF ALAN MATZKE, 400 LEWIS ST, DE PERE, WI 54115 (720) 394-4091
ZONING:	PLANNING / ZONING DEPT. HEAD, DAN LINDSTROM, 335 S BROADWAY, DE PERE, WI 54115 (720) 394-4043
BUILDING PLAN REVIEWING AGENCY:	STATE COUNTY CITY OTHER

OCCUPANCY TYPE(S):
☐ ASSEMBLY: ☐A-1 ☐A-2 ☐A-3 ☐A-4
☐ BUSINESS B
☐ EDUCATION E
☒ FACTORY: ☒F-1 ☐F-2
☐ HIGH-HAZARD: ☐H-1 ☐H-2 ☐H-3 ☐H-4
☐ INSTITUTIONAL: ☐I-1 ☐I-2 ☐I-3 ☐I-4
☐ MERCHANTILE M
☐ RESIDENTIAL: ☐R-1 ☐R-2 ☐R-3 ☐R-4
☐ STORAGE: ☒S-1 ☐S-2
☐ UTILITY U

PRIMARY OCCUPANCY: FACTORY F-1

LEVEL OF ALTERATION (IEBC): ☐N/A ☐1 ☐2 ☐3

TITLE OF CONSTRUCTION: ☐A ☐B ☐C ☐D ☐E ☐F ☐G ☐H ☐I ☐J ☐K ☐L ☐M ☐N ☐O ☐P ☐Q ☐R ☐S ☐T ☐U ☐V ☐W ☐X ☐Y ☐Z

FIRE PROTECTION SYSTEMS PROVIDED:

- ☒ AUTOMATIC SPRINKLER SYSTEM (BC 903)
- ☒ STAND PIPE SYSTEM (BC 905)
- ☒ PORTABLE FIRE EXTINGUISHERS (BC 906); REF. LIFE SAFETY PLAN(S)
- ☒ FIRE ALARM & DETECTION SYSTEM (BC 907)
- ☒ EMERGENCY ALARM SYSTEM (BC 909)
- ☒ SMOKE CONTROL SYSTEM (BC 904)
- ☒ SMOKE & HEAT VENTS (BC 910)
- ☒ FIRE COMMAND CENTER (BC 911)
- ☒ FIRE DEPARTMENT CONNECTIONS (BC 912)
- ☒ FIRE PUMP (BC 913)

FIRE RATED CONSTRUCTION:

EXIT TRAVEL DISTANCE (TABLE 1017.2): (F-1) 250', (B) 300'
DEAD END CORRIDORS: 50'
COMMON PATH OF EGRESS TRAVEL: 100'

ALLOWABLE AREA & HEIGHT DETERMINED USING:

- ☐ ACCESSORY OCCUPANCIES:
N/A
- ☐ NONSEPARATED OCCUPANCIES, ALLOWABLE AREA IS BASED ON MOST RESTRICTIVE OCCUPANCY
MOST RESTRICTIVE OCCUPANCY:
- ☐ SEPARATED OCCUPANCIES, ALLOWABLE AREA IS BASED ON SUM OF RATIOS OF ACTUAL TO ALLOWABLE
- ☒ BUILDING IS UNLIMITED AREA PER SECTION 507
- ☐ BUILDING IS ONLY BEING ALTERED, NO SQUARE FOOTAGE ADDED

ALLOWABLE BUILDING HEIGHT PER TABLE 504.3:	15
ALLOWABLE NUMBER OF STORIES PER TABLE 504.4:	3
ALLOWABLE AREA FACTOR (A ₂) PER TABLE 506.2:	62,000
ALLOWABLE AREA FACTOR (A ₅) PER TABLE 506.2:	15,500
(EQUATION 5-3)	

(EQUATION 5-4)

$$N = (L_1 \times N1 + L_2 \times N2 + L_3 \times N3 \dots) / F$$

30 = (53633) / 17515

N = WIDTH (WEIGHTED AVERAGE) OF PUBLIC WAY OR OPEN SPACE (FEET)

F = BUILDING PERIMETER THAT FRONTS ON A PUBLIC WAY OR OPEN SPACE HAVING A WIDTH OF 20 FEET OR MORE

L_i = LENGTH OF A PORTION OF THE EXTERIOR PERIMETER WALL

N_i = WIDTH (≥ 20') OF A PUBLIC WAY OR OPEN SPACE ASSOCIATED WITH THAT PORTION OF THE EXTERIOR PERIMETER WALL

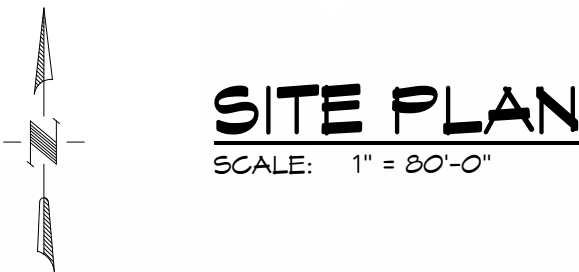
IBC SECTION 506 HEIGHTS & AREAS SUMMARY			
ITEM	ALLOWABLE	ACTUAL	RATIO
AREA PER STORY (S. F.)(A _s)	UNLIMITED	131,162	-
HEIGHT LIMITATION (FEET)	75	22	-
STORY LIMITATION	3	1	-

MINIMUM PLUMBING FACILITIES PER IBC TABLE 2402.1 - BUSINESS (B)										
PERSONS	WOMEN			MEN			LAVATORIES		DRINKING FOUNTAINS	
	WOMEN	FACTOR	WGS	WOMEN	FACTOR	WGS	FACTOR	WGS	FACTOR	WGS
5	26	per 25 to 50; 1 per 102	1.02	26	per 25 to 50; 1 per 102	1.02	per 40 to 80; 1 per 80	1.28	per 100	0.51

PLUMBING FACILITIES COMPLIANCE CHECK							
	WOMEN		MEN		LAVATORIES	DRINKING FOUNTAINS	SERVICE SINK
	W.C.	URINALS	W.C.				
REQUIRED:	5	0	5	9	3	1	
PROVIDED:	6	4 (NOTE 1)	4	11	2 (NOTE 2)	1	

	WOMEN	MEN			DRINKING FOUNTAINS	SERVICE SINK
	W.C.	URINALS	W.C.	LAVATORIES		
REQUIRED:	5	0	5	9	3	1
PROVIDED:	6	4 (NOTE 1)	4	11	2 (NOTE 2)	1

LOCATION		OCCUPANCY TYPE	AREA		OCCUPANTS		EGRESS (INCHES)	
ADDITION	FACTORY (F-1) - MODERATE HAZARD	MANUFACTURING	AREA (S.F.)	SF FACTOR	PERSONS	OTHER	STAIRWAY	
			6,343	100	63.9	12.0	14.2	
			6,343		63.9	12.0	14.2	
ADDITION			6,343		63.9	12.0	14.2	
EXISTING FIRST FLOOR	BUSINESS (B)	OFFICE	5,013	100	50.1	10.0	15.0	
			5,013		50.1	10.0	15.0	
EXISTING FIRST FLOOR	FACTORY (F-1) - MODERATE HAZARD	SPECIALTY/FINISHING	12,477	100	124.8	25.0	37.4	
EXISTING FIRST FLOOR	FACTORY (F-1) - MODERATE HAZARD	PRODUCTION	14,105	100	141.9	34.6	54.4	
			32,262		322.6	64.5	96.8	
EXISTING FIRST FLOOR	STORAGE (S-1) - MODERATE HAZARD (WAREHOUSE)	SHIPPING/RECEIVING	21,070	500	42.1	8.4	12.6	
EXISTING FIRST FLOOR	STORAGE (S-1) - MODERATE HAZARD (WAREHOUSE)	WAREHOUSE	66,425	500	132.8	26.6	34.9	
			87,445		175.0	35.0	52.5	
EXISTING FIRST FLOOR			124,764		249.5	49.9	74.9	
EXISTING MEZZANINE	FACTORY (F-1) - MODERATE HAZARD	PRODUCTION	14,830	100	148.4	34.7	54.5	
			14,830		148.4	34.7	54.5	
EXISTING MEZZANINE			14,830		148.4	34.7	54.5	
GRAND TOTAL			151,000		310.0	162.0	243.0	



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LIFE SAFETY DATA

Packet Pg.



FIRST FLOOR LIFE SAFETY PLAN

DRAWN	ENP	CHK'D	ENP
DATE	09/17/21	SCALE	1" = 20'-0"
DRAWING NO.			
LS1.2			
PROJECT NO.		REV.	
21072		1	

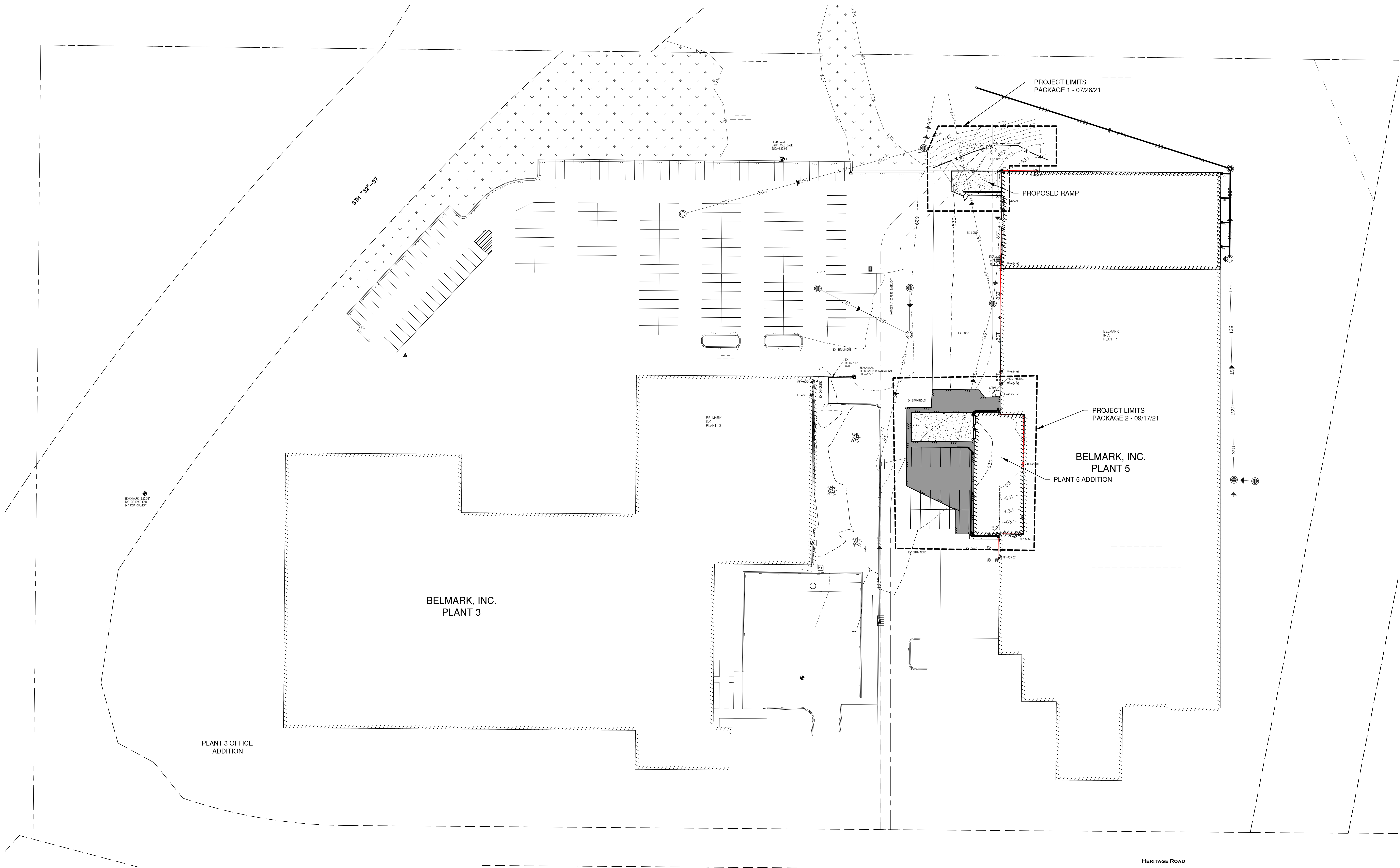
50'-0" COMMON
PATH OF TRAVEL

 **MEZZANINE**
LIFE SAFETY PLAN
SCALE: 1" = 20'-0"

[illegible]



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PARKING DATA

EXISTING PARKING:	
LOCATION:	
EXISTING OFFICE	191
PLANT 1	177
PLANT 2	50
PLANT 3 & 5	182
NORTH OFFICE LOT	43
PLANT 4	34
TOTAL	677
PROPOSED PARKING:	
EXISTING OFFICE	191
PLANT 1	177
PLANT 2	50
PLANT 3 & 5	303
NORTH OFFICE LOT	43
PLANT 4	34
TOTAL	813
ACCESSIBLE PARKING SPACES REQUIRED = 16	
ACCESSIBLE PARKING SPACES PROVIDED = 17	
2020 PARKING REQUIRED = 618	
2030 PARKING REQUIRED = 808	

NOTE

ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.

SITE DATA (Parcel ED-F0094 & ED-F0094-1)

TOTAL AREA = 19.25 ACRES, 838,617 S.F.
BUILDING AREA = 6.56 ACRES, 286,087 S.F. (34.10)
SIDEWALK/PARKING LOT AREA = 6.00 ACRES, 261,467 S.F. (31.2%)
GREEN SPACE = 6.69 ACRES, 291,063 S.F. (34.7%)
PROJECT LIMITS = 1.58 ACRES, 69,033 S.F.

ZONING

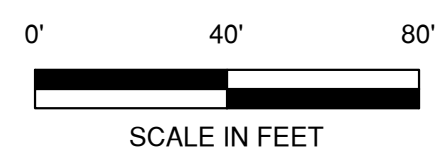
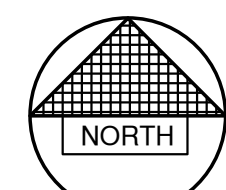
I-1 INDUSTRIAL PARK DISTRICT

PARCEL NO.

ED-F0094 & ED F0094-1

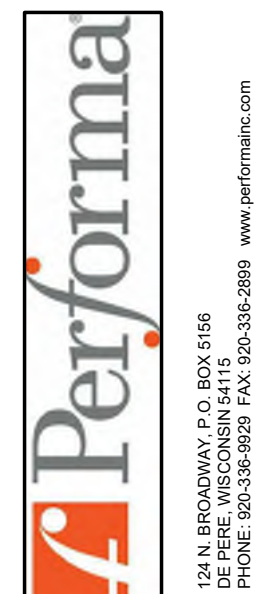
LEGEND

- CONCRETE PAVEMENT
- ASPHALT PAVEMENT (LIGHT)
- LANDSCAPE AREA
- GREEN SPACE
- PROPOSED 18" STANDARD CURB AND GUTTER
- LIGHT POLE (1 LAMP)
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- INDICATES NUMBER OF PARKING STALLS



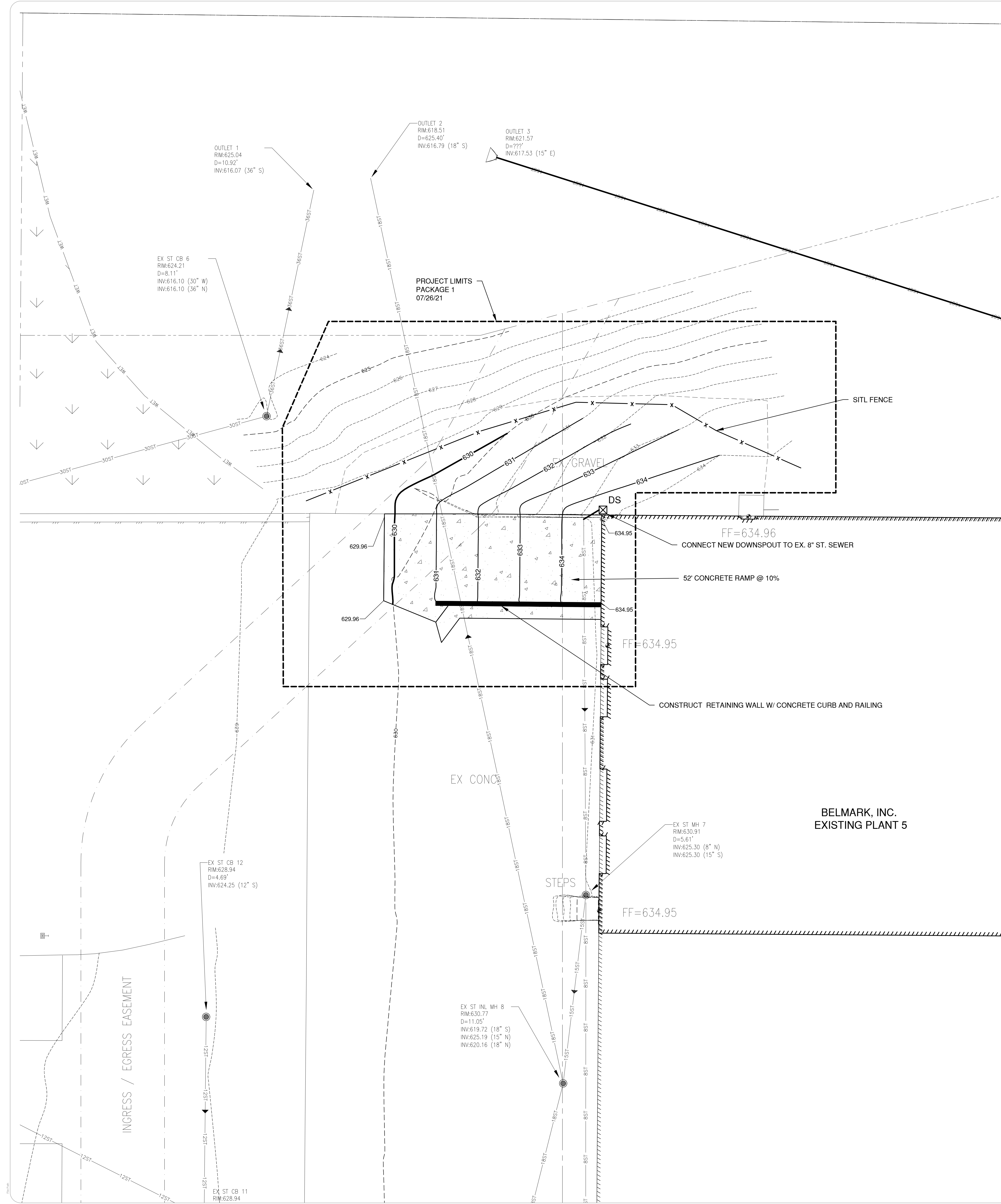
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**PLANT 5
RENOVATION**
Belmark Inc.
De Pere, WI 54115



OVERALL SITE PLAN

DRAWN		CHKD	BDR
DATE		SCALE	AS NOTED
DRAWING NO.		C102	
PROJECT NO.	21071	REV.	00



LEGEND

- 8" CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- ASPHALT PAVEMENT
- LANDSCAPE AREA
- GREEN SPACE
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- INDICATES NUMBER OF PARKING STALLS
- SILT FENCE (PER WDNR TECHNICAL STANDARD 1056)
- DITCH CHECK (PER WDNR TECHNICAL STANDARD 1062)
- TRACKING PAD (PER WDNR TECHNICAL STANDARD 1057)
- EROSION MAT (PER WDNR TECHNICAL STANDARD 1053)
- INLET PROTECTION (PER WDNR TECHNICAL STANDARD 1060)

T/C 999.99 TOP OF CURB ELEVATION

F/L 888.88 FLOW LINE ELEVATION

S/W 666.66 TOP OF SIDEWALK ELEVATION

E/P 555.55 EDGE OF PAVEMENT ELEVATION

R/W 444.44 TOP OF RETAINING WALL ELEVATION

333.33 GROUND ELEVATION

DRAINAGE SWALE

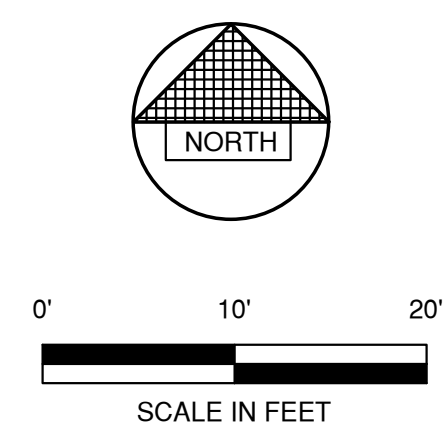
DRAINAGE DIVIDE

FLOW ARROW

*NOTE: ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

- NOTE
- ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.
 - ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.
 - BELMARK WILL COMBINE PARCELD AS REQUESTED UPON COMPLETION OF THE PURCHASE OF PARCEL ED-344-101-5.
 - EXISTING DIRECTIONAL SIGNS SHALL BE SALVAGE AND REINSTALLED AS REOD. NO NEW SIGNAGE IS PROPOSED.
 - PARKING STALLS SHALL BE MARKED WITH 4-INCH WIDE PAINT.

- EROSION CONTROL
- ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.
- SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
 - A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
 - PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
 - ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1061.



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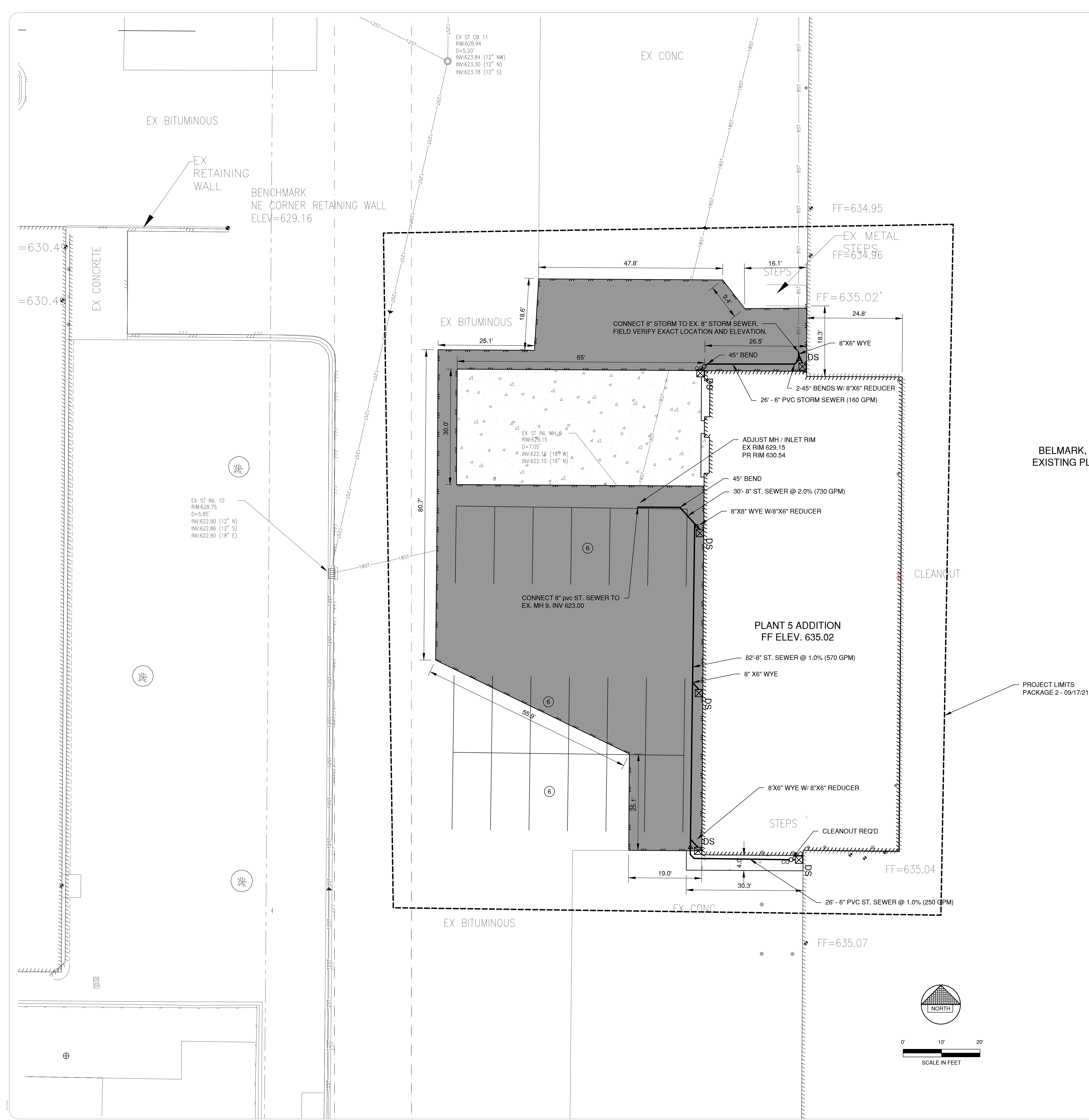
DATE	07/26/21	DESCRIPTION	BIDS / CONSTRUCTION	NO.	1
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PLANT 5 RENOVATION
Belmark Inc.
De Pere, WI 54115

ENLARGED SITE / GRADING & EROSION CONTROL PLAN
RAMP AREA

TITLE	CHKD	BDR
DRAWN	PHK	SCALE
DATE	07/21/21	AS NOTED
DRAWING NO.	C103	
PROJECT NO.	21071	REV.
		XX

Packet Pg. 25



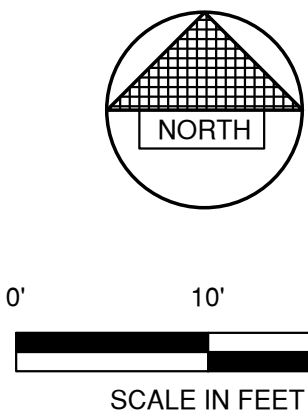
LEGEND

- 8" CONCRETE PAVEMENT
- ASPHALT PAVEMENT
- ASPHALT PAVEMENT
- LANDSCAPE AREA
- GREEN SPACE
- TRAFFIC FLOW ARROW
- HANDICAPPED PARKING
- INDICATES NUMBER OF PARKING STALLS

***NOTE:** ALL DIMENSIONS ARE TO THE FACE OF CURB, UNLESS NOTED OTHERWISE

- NOTE**
- ALL DISTURBED AREAS SHALL BE TOPSOILED TO A DEPTH OF 6 INCHES, SEEDED AND MULCHED. AREA TO BE RAKED FREE OF STONES AND CLUMPS.
 - EXISTING DIRECTIONAL SIGNS SHALL BE SALVAGE AND REINSTALLED AS REQ'D. NO NEW SIGNAGE IS PROPOSED.
 - PARKING STALLS SHALL BE MARKED WITH 4-INCH WIDE PAINT.

BELMARK, INC.
EXISTING PLANT 5



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DATE		DESCRIPTION		NO.	
09/17/21		BIDS / CONSTRUCTION		1	

PLANT 5 RENOVATION
Belmark Inc.
De Pere, WI 54115

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Building Excellence

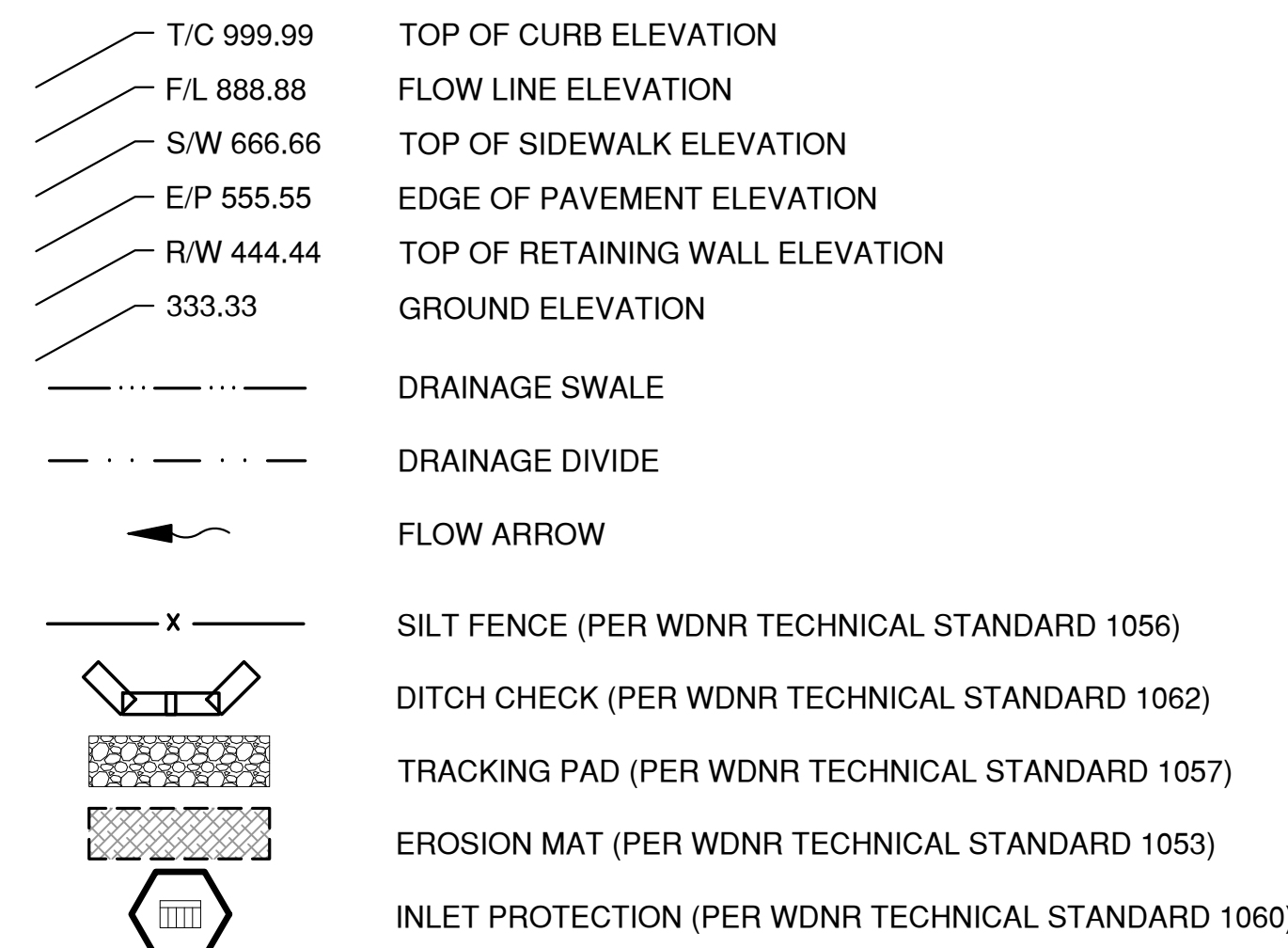
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ENLARGED SITE & UTILITY PLAN
PLANT 5 ADDITION

TITLE		CHKD		BDR	
DRAWN		PHK		SCALE	
DATE		07/21/21		AS NOTED	
DRAWING NO.		C104		REV.	
PROJECT NO.		21071		XX	

Packet Pg. 26

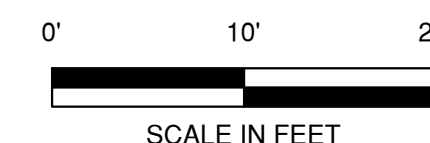


ALL EROSION CONTROL PRACTICES INDICATED ON THIS PLAN ARE APPROXIMATE LOCATIONS ONLY. THE ACTUAL SITE MAY REQUIRE MORE OR LESS EROSION CONTROL DEPENDING ON THE CURRENT CONDITION OF THE SITE.

1. SILT FENCE IS REQUIRED DOWNSLOPE OF ANY DISTURBED LAND THAT MAY CARRY SEDIMENTS OFF SITE.
2. A TRACKING PAD IS REQUIRED AT ANY INGRESS/EGRESS LOCATION, WHERE SEDIMENT MAY BE TRACKED OFF-SITE.
3. PROPER INLET PROTECTION SHALL BE USED DEPENDING ON THE INLET TYPE.
4. ALL NECESSARY SITE DEWATERING SHALL BE PERFORMED IN ACCORDANCE WITH WDRN TECHNICAL STANDARD 1061.

CLEANOUT

PLANT 5 ADDITION
FF ELEV. 635.02

[illegible]

Packet Pg. 3

INLET PROTECTION NOTES:

INLET PROTECTION DEVICES SHALL BE IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1060, STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITES.

MANUFACTURED ALTERNATIVES APPROVED AND LISTED ON THE WDOT PRODUCT ACCEPTABILITY LIST MAY BE SUBSTITUTED.

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED ON THE GEOTEXTILE FABRIC DOES NOT FALL INTO THE INLET. ANY MATERIAL FALLING INTO THE INLET SHALL BE REMOVED IMMEDIATELY.

MAINTENANCE NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.

INSTALLATION NOTES:
TYPE "B" AND "C"

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

DEMONSTRATE A METHOD OF MAINTENANCE, USING A SEWN FLAP, HAND HOLDS OR OTHER METHOD TO PREVENT ACCUMULATED SEDIMENT FROM ENTERING THE INLET.

TYPE "D"

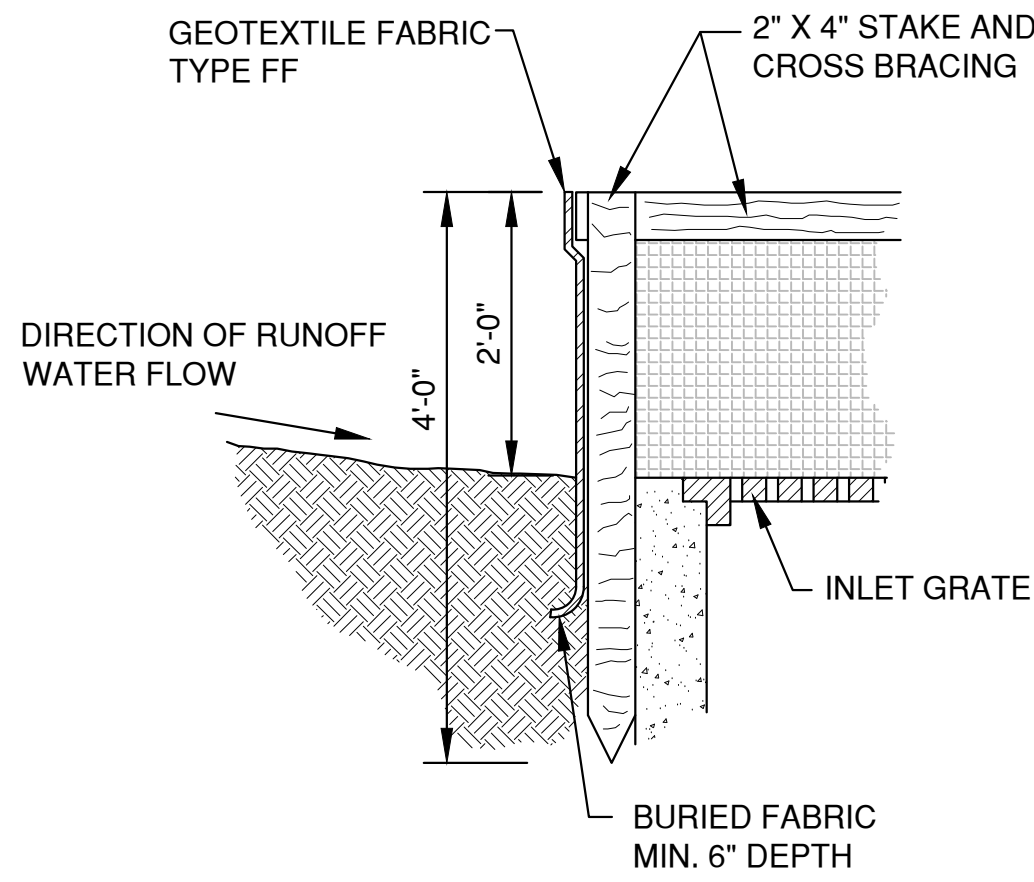
DO NOT INSTALL INLET PROTECTION TYPE D IN INLETS SHALLOWER THAN 30" MEASURED FROM THE BOTTOM OF THE INLET TO THE TOP OF THE GRATE.

TRIM EXCESS FABRIC IN THE FLOW LINE TO WITHIN 3" OF THE GRATE.

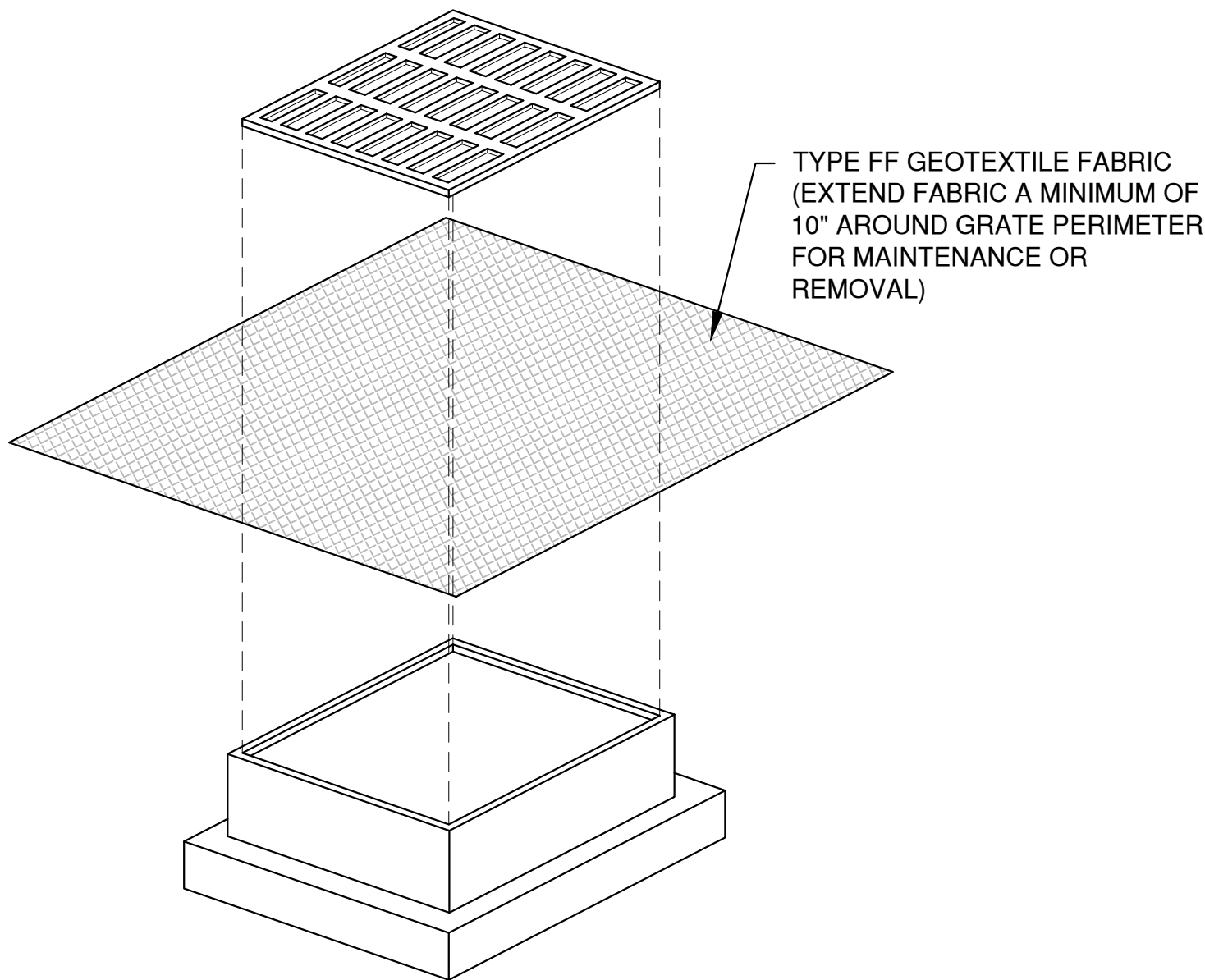
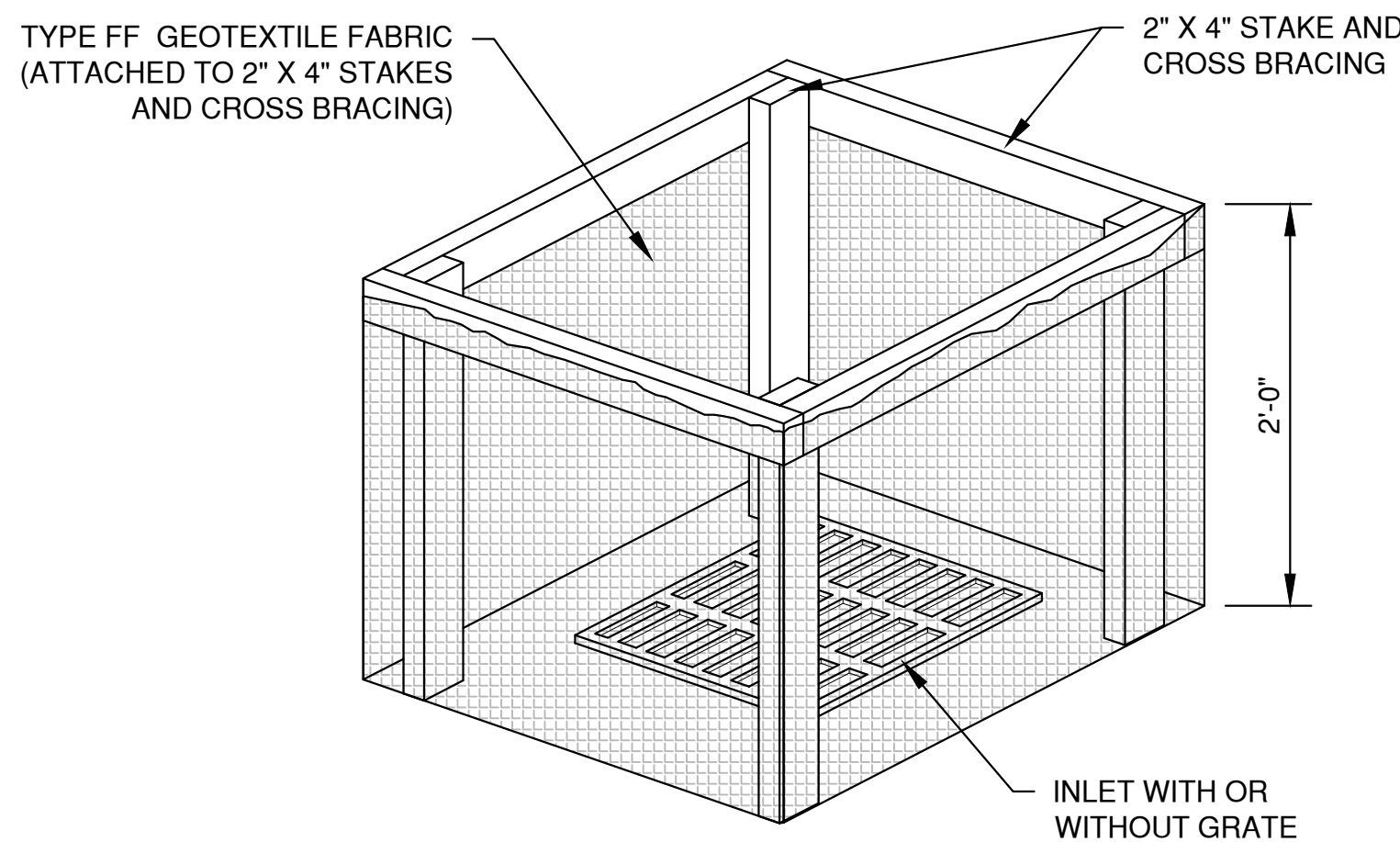
THE INSTALLED BAG SHALL HAVE A MINIMUM SIDE CLEARANCE, BETWEEN THE INLET WALLS AND THE BAG, MEASURED AT THE BOTTOM OF THE OVERFLOW HOLES, OF 3". WHERE NECESSARY, CINCH THE BAG, USING PLASTIC ZIP TIES, TO ACHIEVE THE 3" CLEARANCE. THE TIES SHALL BE PLACED AT THE MAXIMUM OF 4" FROM THE BOTTOM OF THE BAG.

NOTES:

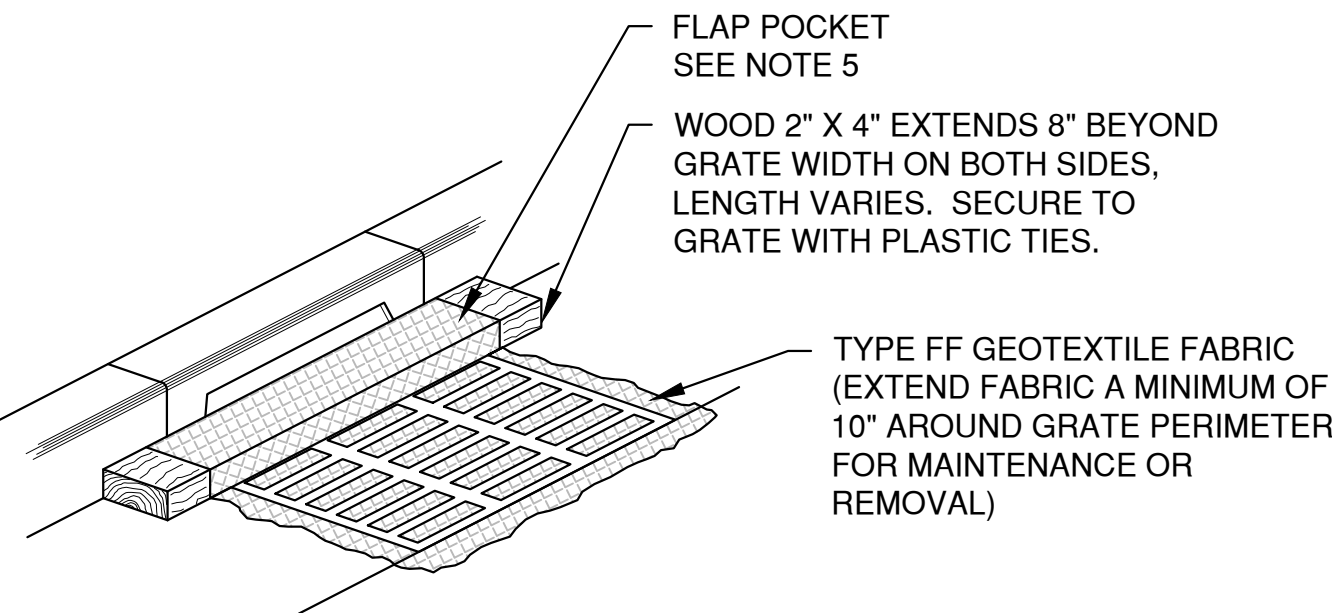
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF THE OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



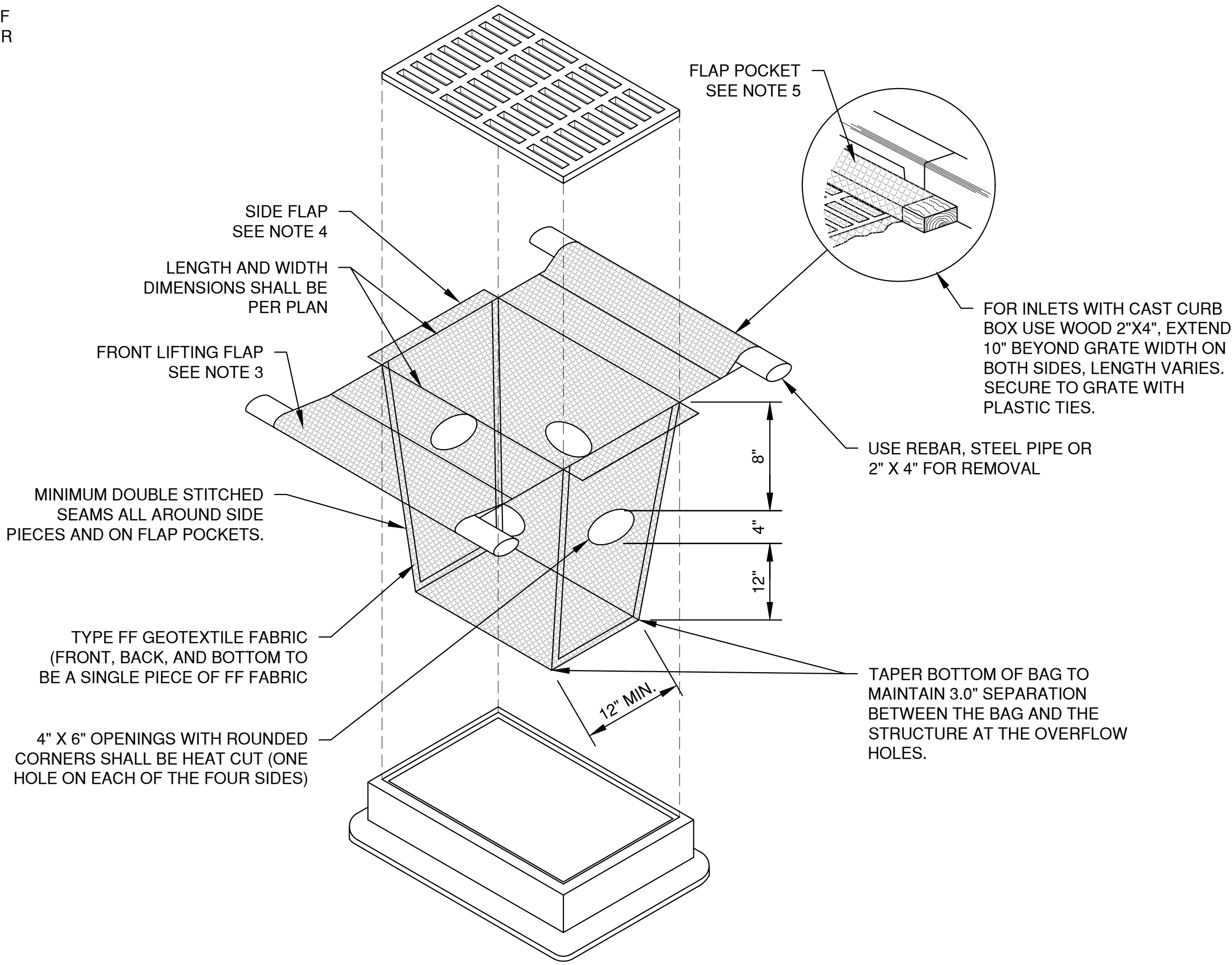
INLET PROTECTION, TYPE A



INLET PROTECTION, TYPE B
(WITHOUT CURB BOX)
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)



INLET PROTECTION, TYPE C
(WITH CURB BOX)



INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

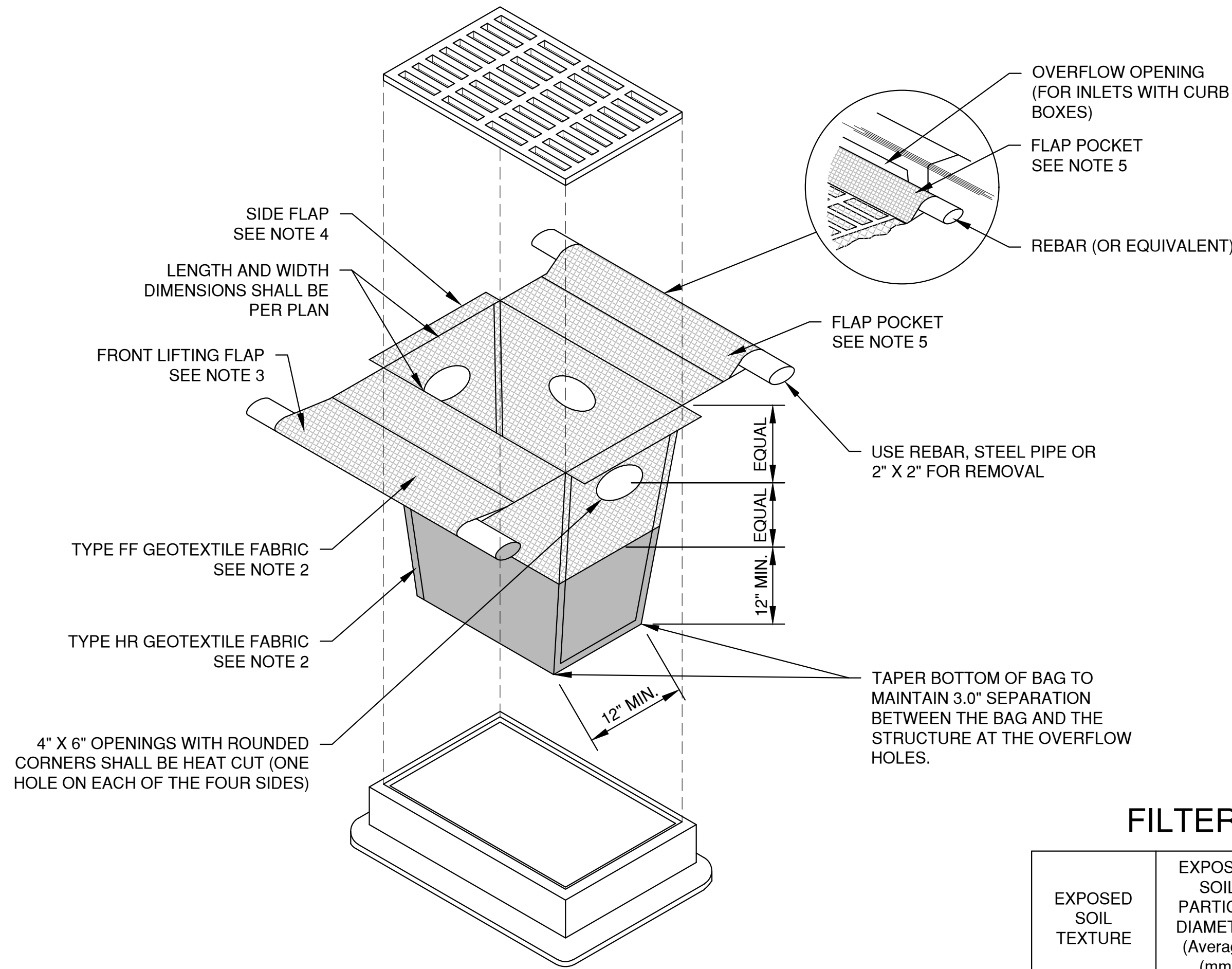
TITLE		EROSION CONTROL INLET PROTECTION TYPES A, B, C AND D AND MISCELLANEOUS DETAILS		NO.		DESCRIPTION		DATE	
DRAWN		CHKD		1		BIIDS / CONSTRUCTION		09/17/21	
DATE		SCALE							
08/01/21		AS NOTED							
DRAWING NO.		REV.							
C107		21071							
PROJECT NO.		21071							

NOTES:

1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS AND TOP HALF OF FILTER BAG. GEOTEXTILE FABRIC TYPE HR FOR BOTTOM HALF OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.

MAINTENANCE NOTES:

WHEN REMOVING OR MAINTAINING INLET PROTECTION, CARE SHALL BE TAKEN SO THAT THE SEDIMENT TRAPPED IN THE FABRIC DOES NOT FALL INTO THE STRUCTURE. MATERIAL THAT HAS FALLEN INTO THE INLET SHALL BE IMMEDIATELY REMOVED.



INLET PROTECTION, TYPE D-HR
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)

FILTER FABRIC TYPE

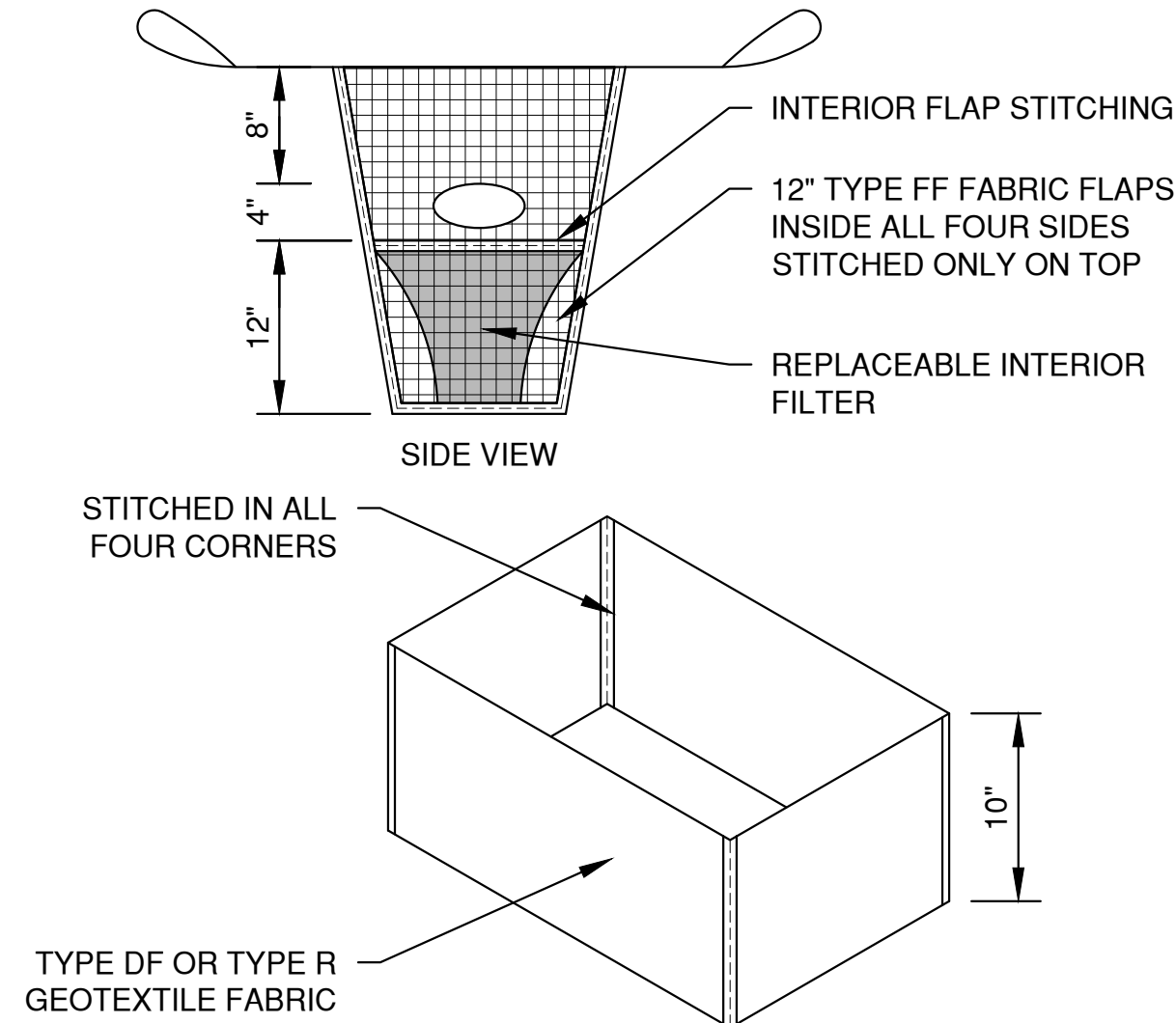
EXPOSED SOIL TEXTURE	EXPOSED SOIL PARTICLE DIAMETER (Average) (mm)	FILTER FABRIC TYPE*	RECOMMENDED INLET PROTECTION DEVICE TYPE
COARSE (SAND)	≥0.0625	FF	D, D-M
MEDIUM (SILT LOAM)	0.0624 - 0.005	DF	D, D-M
FINE (CLAY)	≤ 0.004	R	D-M
		HR	D-HR

* DF, R OR HR FILTERS MAY BE USED WHERE FF IS THE REQUIRED MINIMUM STANDARD. R OR HR MAY BE USED WHERE DF IS THE REQUIRED MINIMUM STANDARD.

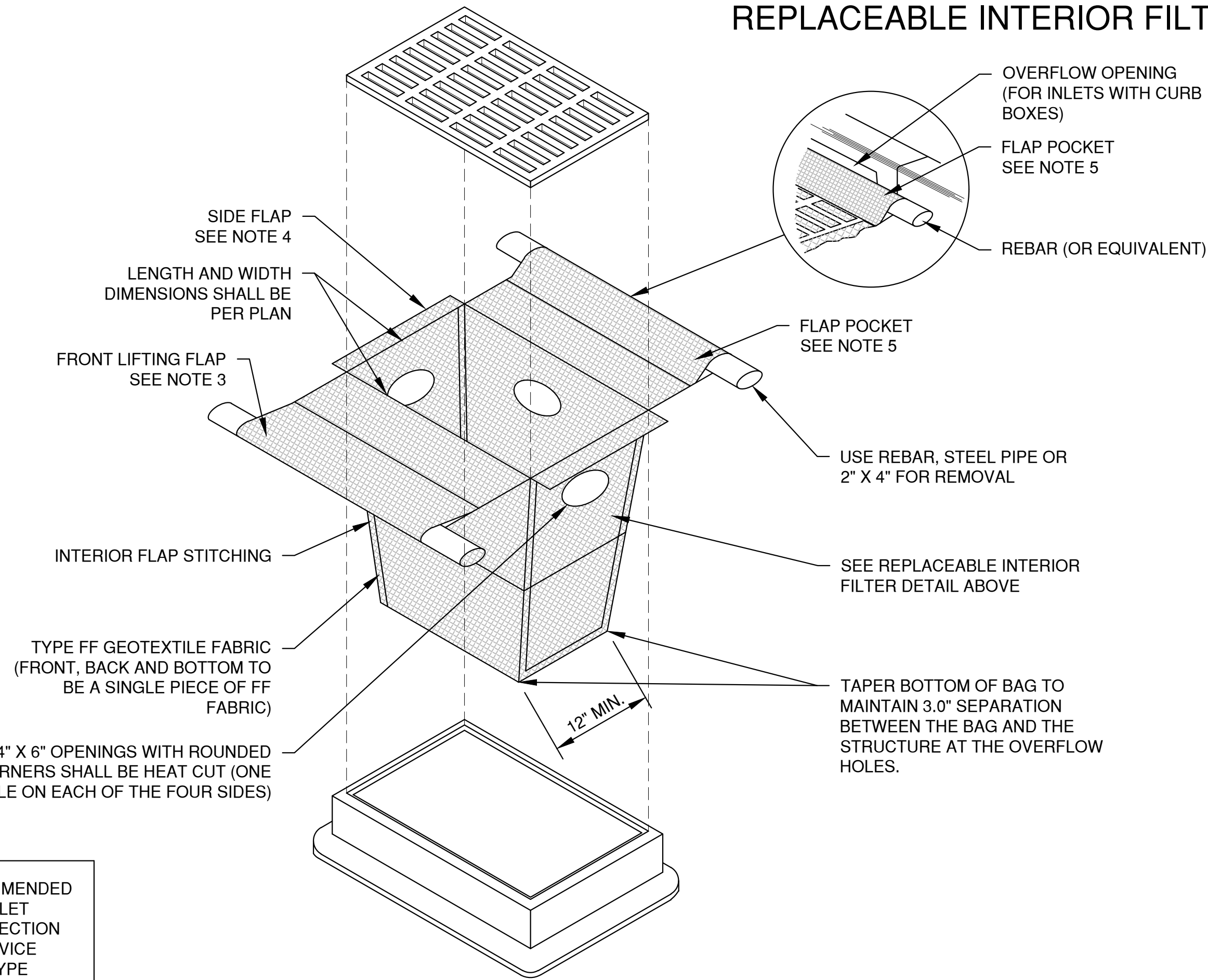
** FOLLOW DESIGN CRITERIA OF WDNr TECHNICAL STANDARD 1060

NOTES:

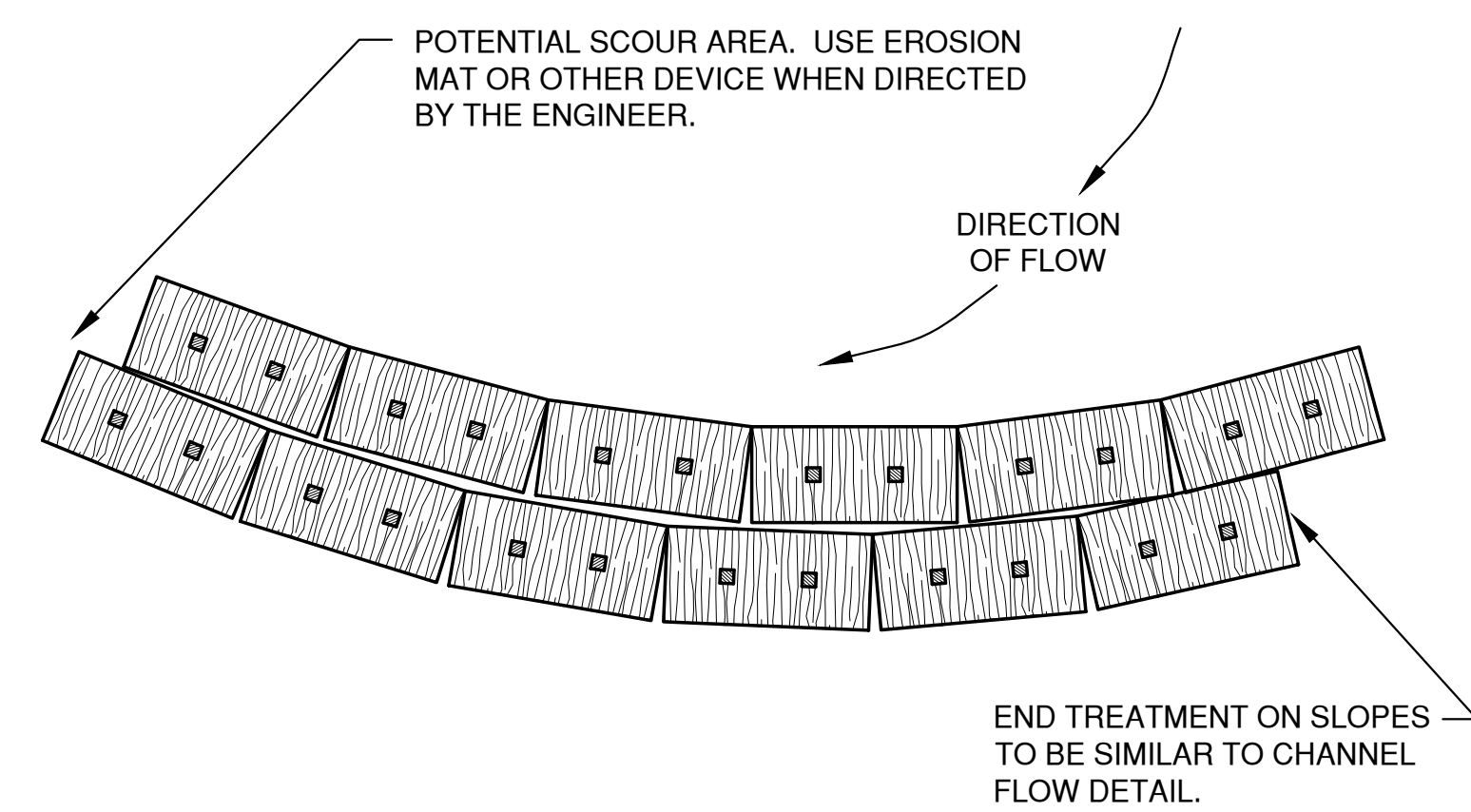
1. TAPER BOTTOM OF BAG TO MAINTAIN THREE INCHES OF CLEARANCE BETWEEN THE BAG AND THE STRUCTURE, MEASURED FROM THE BOTTOM OF THE OVERFLOW OPENINGS TO THE STRUCTURE WALL.
2. GEOTEXTILE FABRIC TYPE FF FOR FLAPS, TOP AND BOTTOM OF OUTSIDE OF FILTER BAG. FRONT, BACK AND BOTTOM OF FILTER BAG BEING ONE PIECE.
3. FRONT LIFTING FLAP IS TO BE USED WHEN REMOVING AND MAINTAINING FILTER BAG.
4. SIDE FLAPS SHALL BE A MAXIMUM OF TWO INCHES LONG. FOLD THE FABRIC OVER AND REINFORCE WITH MULTIPLE STITCHES.
5. FLAP POCKETS SHALL BE LARGE ENOUGH TO ACCEPT WOOD 2" X 4". THE REBAR, STEEL PIPE, OR WOOD SHALL BE INSTALLED IN THE REAR FLAP AND SHALL NOT BLOCK THE TOP HALF OF THE CURB FACE OPENING.



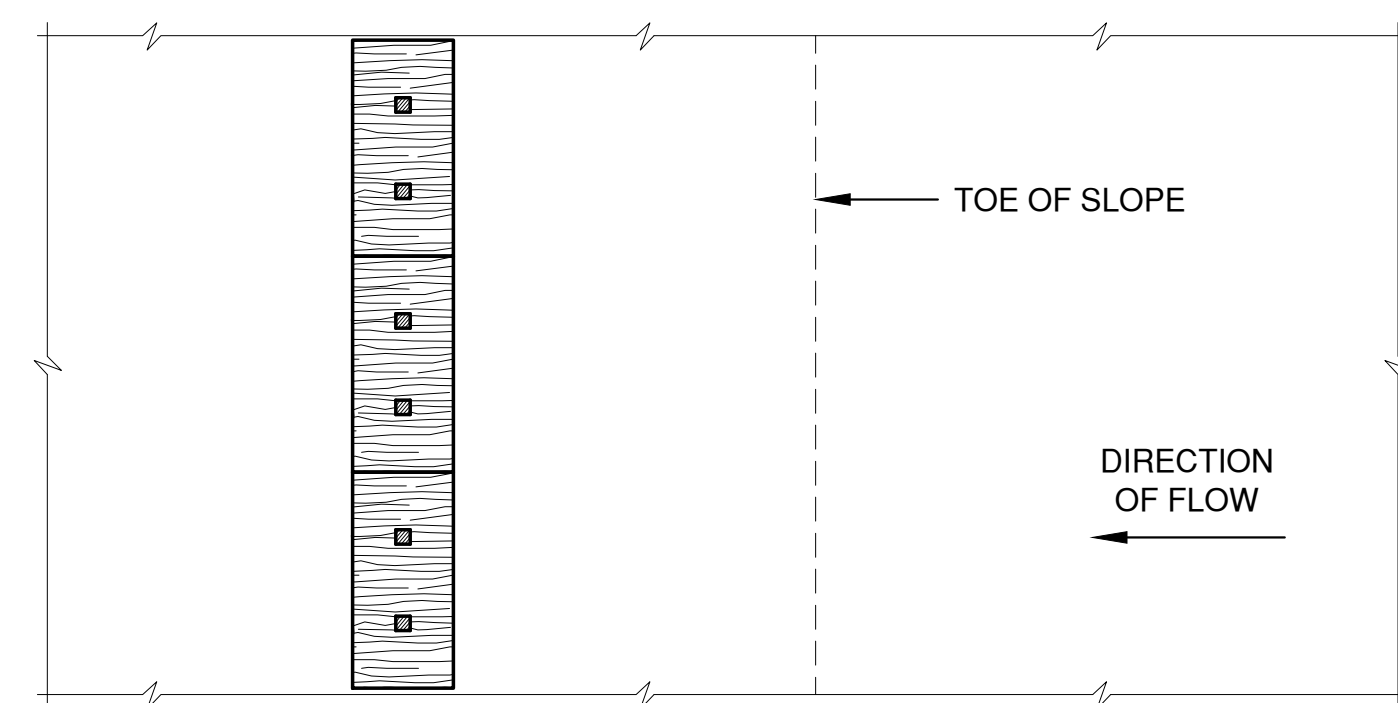
REPLACEABLE INTERIOR FILTER



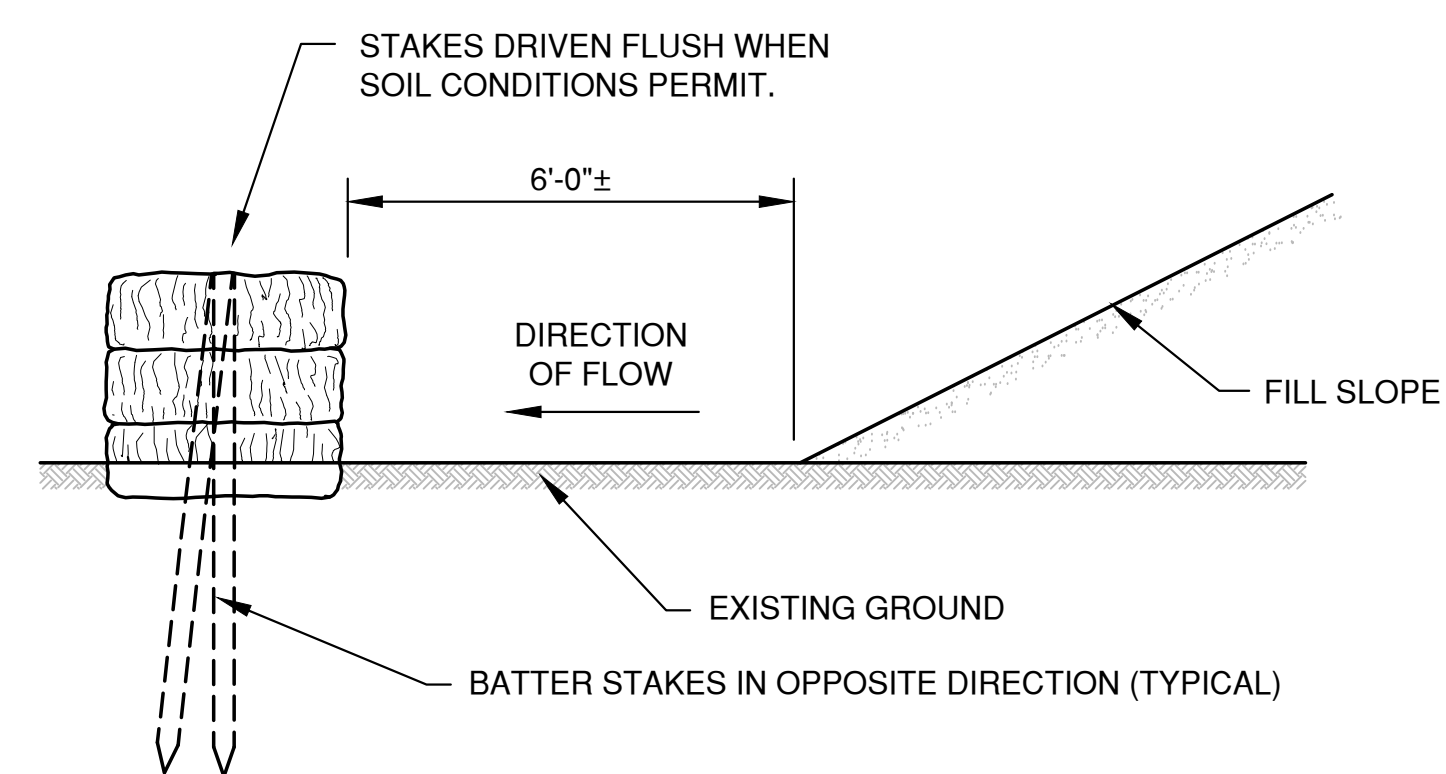
INLET PROTECTION, TYPE D-M
(CAN BE INSTALLED IN INLETS WITH OR WITHOUT CURB BOXES)



PLAN VIEW
(WHEN ALTERING THE DIRECTION OF FLOW)

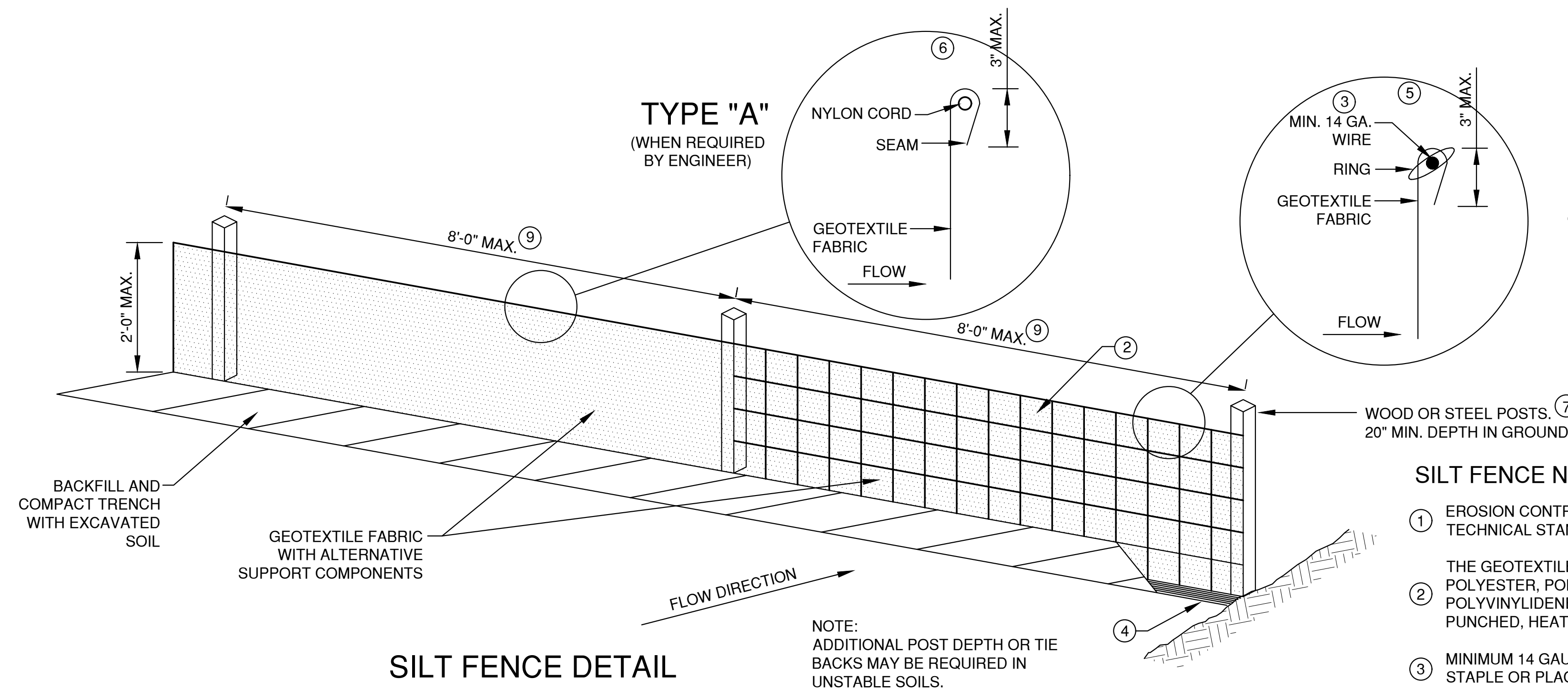


PLAN VIEW

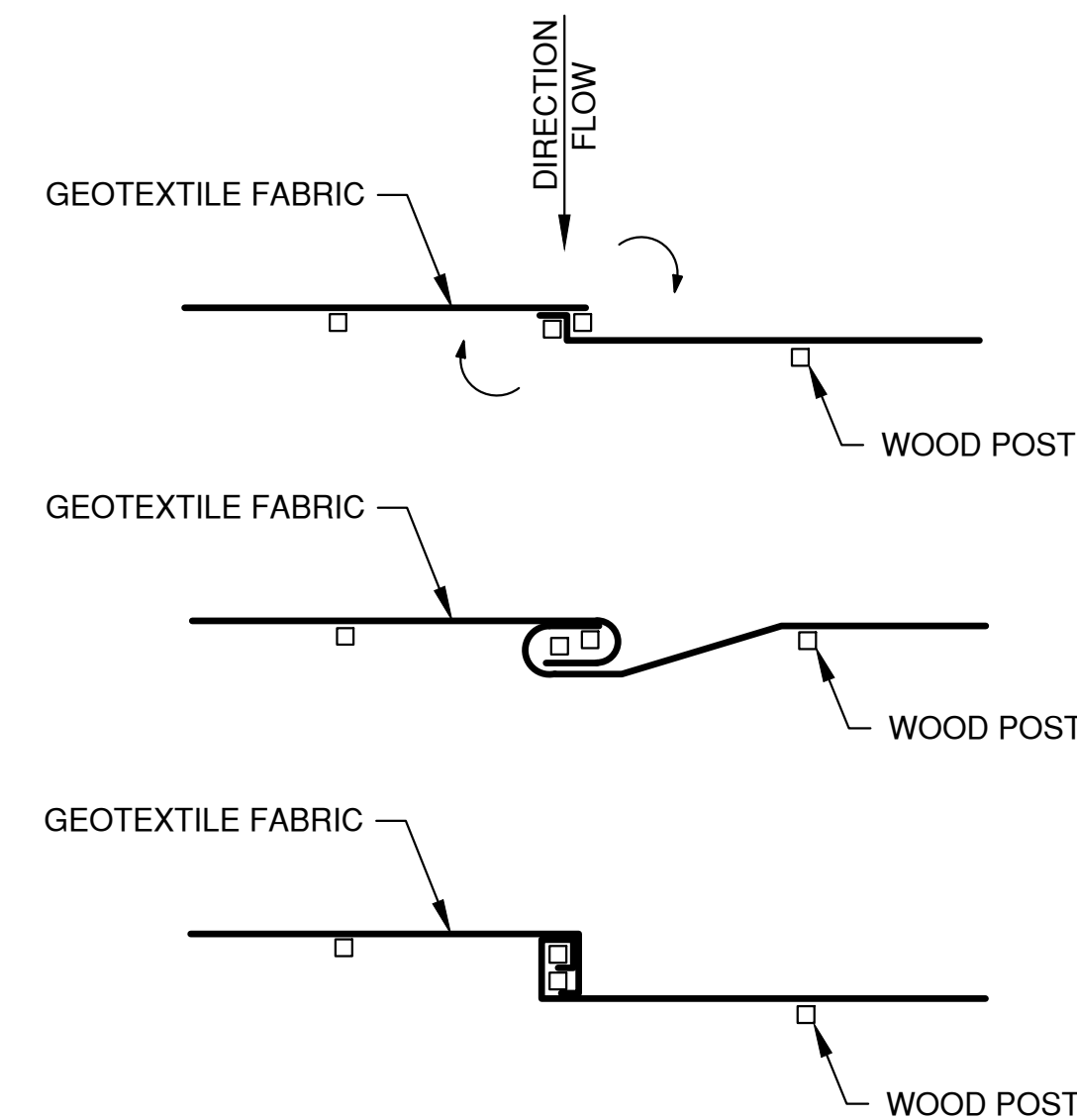


FRONT ELEVATION
WHEN EXISTING GROUND SLOPES AWAY FROM FILL SLOPE

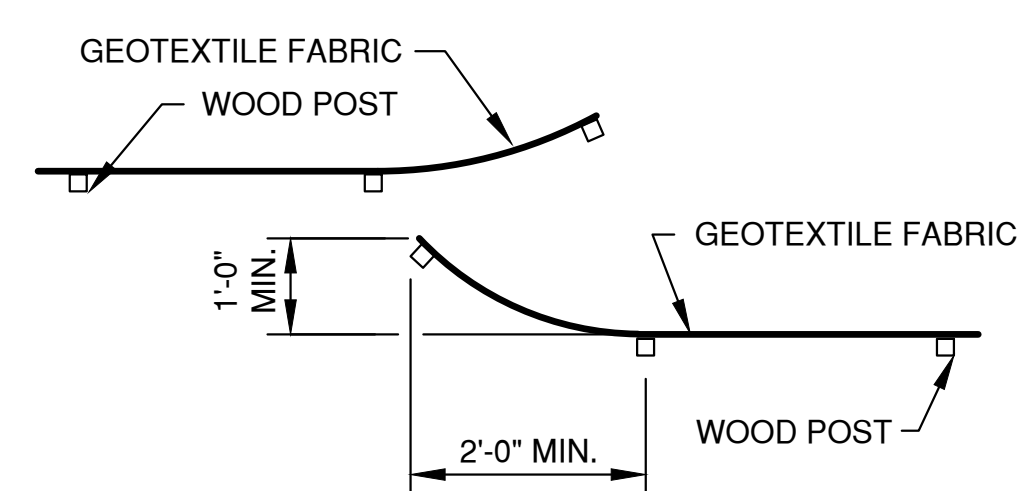
EROSION BALES FOR SHEET FLOW



SILT FENCE DETAIL

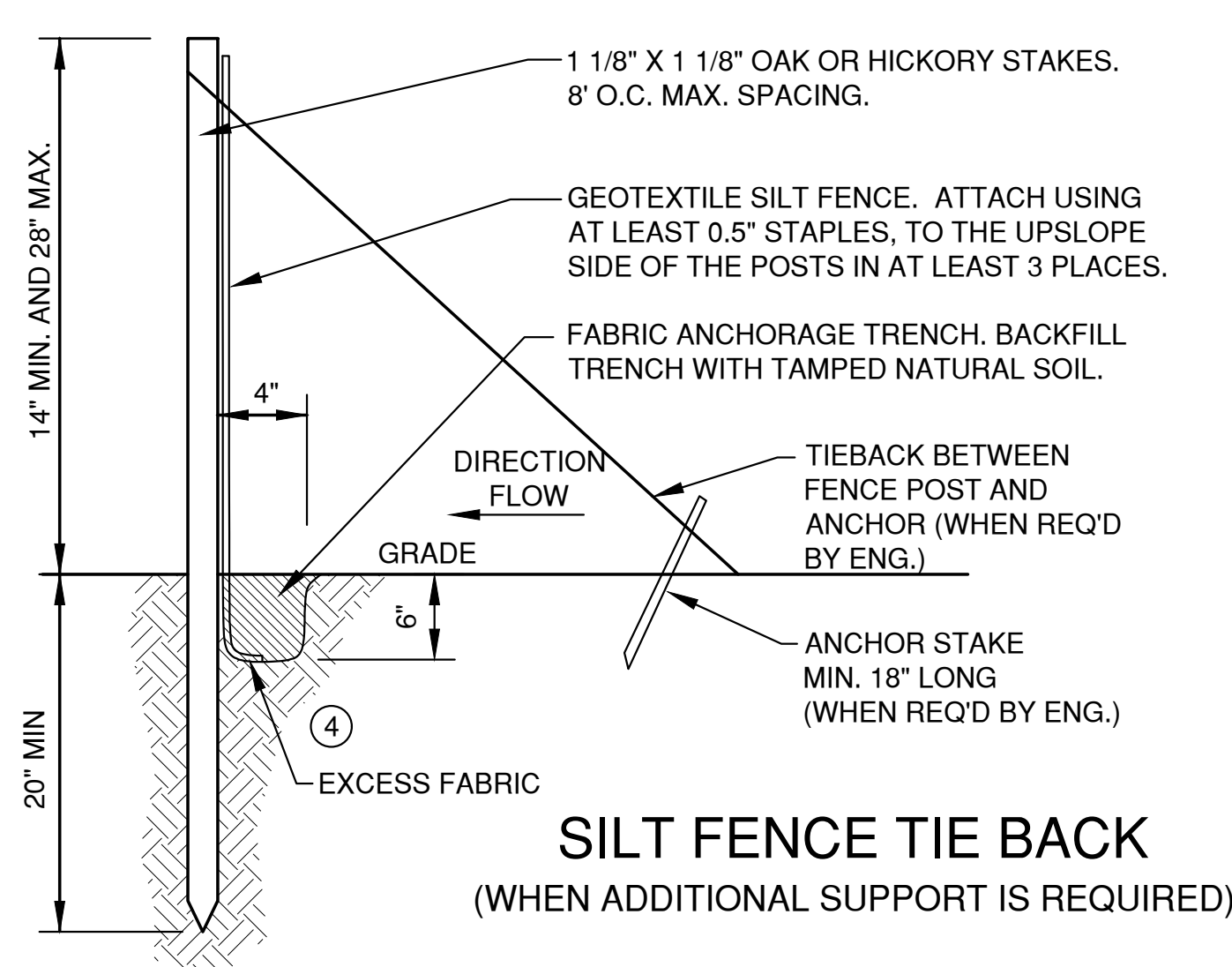


TWIST METHOD ⁽⁸⁾



HOOK METHOD ⁽⁸⁾

JOINING TWO LENGTHS OF SILT FENCE



SILT FENCE TIE BACK
(WHEN ADDITIONAL SUPPORT IS REQUIRED)

SILT FENCE NOTES:

- EROSION CONTROL SHALL BE PROVIDED IN ACCORDANCE WITH WDNR TECHNICAL STANDARD 1056.
- THE GEOTEXTILE FABRIC CONSISTS OF EITHER WOVEN OR NON-WOVEN POLYESTER, POLYPROPYLENE, STABILIZED NYLON/POLYETHYLENE OR POLYVINYLIDENE CHLORIDE. NON-WOVEN FABRIC MAY BE NEEDLE PUNCHED, HEAT BONDED, RESIN BONDED, OR COMBINATIONS THEREOF.
- MINIMUM 14 GAUGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C.C.
- EXCAVATE A TRENCH A MINIMUM OF 4" WIDE AND 6" DEEP TO BURY AND ANCHOR THE GEOTEXTILE FABRIC. FOLD MATERIAL TO FIT TRENCH AND BACKFILL AND COMPACT TRENCH WITH EXCAVATED SOIL.
- WIRE SUPPORT FENCE SHALL BE 14 GAUGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C.C. (TYPE B)
- GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED. (TYPE A)
- STEEL POSTS SHALL BE 5' LONG WITH A MINIMUM STRENGTH OF 1.33 LBS PER FOOT. WOOD POSTS SHALL BE A MINIMUM SIZE OF 1 1/8" X 1 1/8" OF OAK OR HICKORY. THE POSTS SHALL BE A MINIMUM OF 3' LONG FOR 24" SILT FENCE AND 4' LONG FOR 36" SILT FENCE.
- CONSTRUCT SILT FENCE FROM A CONTINUOUS ROLL, IF POSSIBLE, BY CUTTING LENGTHS TO AVOID JOINTS. IF A JOINT IS NECESSARY, USE ONE OF THE FOLLOWING TWO METHODS: A.) TWIST METHOD -- OVERLAP THE END POSTS AND TWIST, OR ROTATE, AT LEAST 180 DEGREES, B.) HOOK METHOD -- HOOK THE END OF EACH SILT FENCE LENGTH.
- THE MAXIMUM SPACING OF POSTS FOR WOVEN FABRIC SILT FENCE SHALL BE 8 FEET AND FOR NON-WOVEN FABRIC, 3 FEET.

EROSION CONTROL SHEET FLOW NOTES:

- ANY SOIL STOCKPILED THAT REMAINS FOR MORE THAN 7 DAYS, SHALL BE COVERED OR TREATED WITH STABILIZATION PRACTICES SUCH AS TEMPORARY OR PERMANENT SEEDING AND MULCHING.
- A MINIMUM OF 4" OF TOPSOIL MUST BE APPLIED TO ALL AREAS TO BE SEEDED OR SODDED.
- ALL WASTE AND UNUSED BUILDING MATERIALS (INCLUDING GARBAGE, DEBRIS, CLEANING WASTES, WASTEWATER, TOXIC MATERIALS, OR HAZARDOUS MATERIALS) SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO BE CARRIED OFF-SITE BY RUNOFF OR WIND.
- ALL OFF-SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION WORK OR A STORM EVENT SHALL BE CLEANED UP BY THE END OF EACH DAY. **FLUSHING SHALL NOT BE ALLOWED.**
- ANY SOIL EROSION THAT OCCURS AFTER FINAL GRADING AND/OR THE APPLICATION OF STABILIZATION MEASURES MUST BE REPAIRED AND THE STABILIZATION WORK REDONE.
- FOR ANY DISTURBED AREA THAT REMAINS INACTIVE FOR GREATER THAN 7 WORKING DAYS, OR WHERE GRADING WORK EXTENDS BEYOND THE PERMANENT SEEDING DEADLINES, THE SITE MUST BE TREATED WITH TEMPORARY STABILIZATION MEASURES SUCH AS SOIL TREATMENT, TEMPORARY SEEDING AND/OR MULCHING.
- ALL TEMPORARY EROSION CONTROL PRACTICES SHALL BE MAINTAINED UNTIL THE SITE IS STABILIZED WITH 70% VEGETATION AND A NOTICE OF TERMINATION HAS BEEN APPROVED BY THE WDNR.
- WIND EROSION SHALL BE KEPT TO A MINIMUM DURING CONSTRUCTION. WATERING, MULCH OR A TACKING AGENT MAY NEED TO BE UTILIZED TO PROTECT NEARBY RESIDENCES/WATER RESOURCES.
- CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL THE EROSION CONTROL MEASURES IN CONFORMANCE WITH THE WDNR CONSERVATION PRACTICE STANDARDS LATEST EDITION.
- UPON COMPLETION OF STORM INLET CONSTRUCTION, INSTALL STORM DRAIN INLET PROTECTION FOR CONSTRUCTION SITE AS SPECIFIED.
- FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM STREETS, PRIVATE DRIVES, OR PARKING AREAS BY MANUAL OR MECHANICAL SWEEPING A MINIMUM OF ONCE A WEEK AND BEFORE ALL IMMINENT RAINS
- EROSION AND SEDIMENT CONTROL STRUCTURES SHALL BE INSPECTED WEEKLY AND WITHIN 24 HOURS OF RAINFALL OF 0.5" OR MORE.

NO.	BIDS / CONSTRUCTION	DESCRIPTION	DATE
1			09/17/21

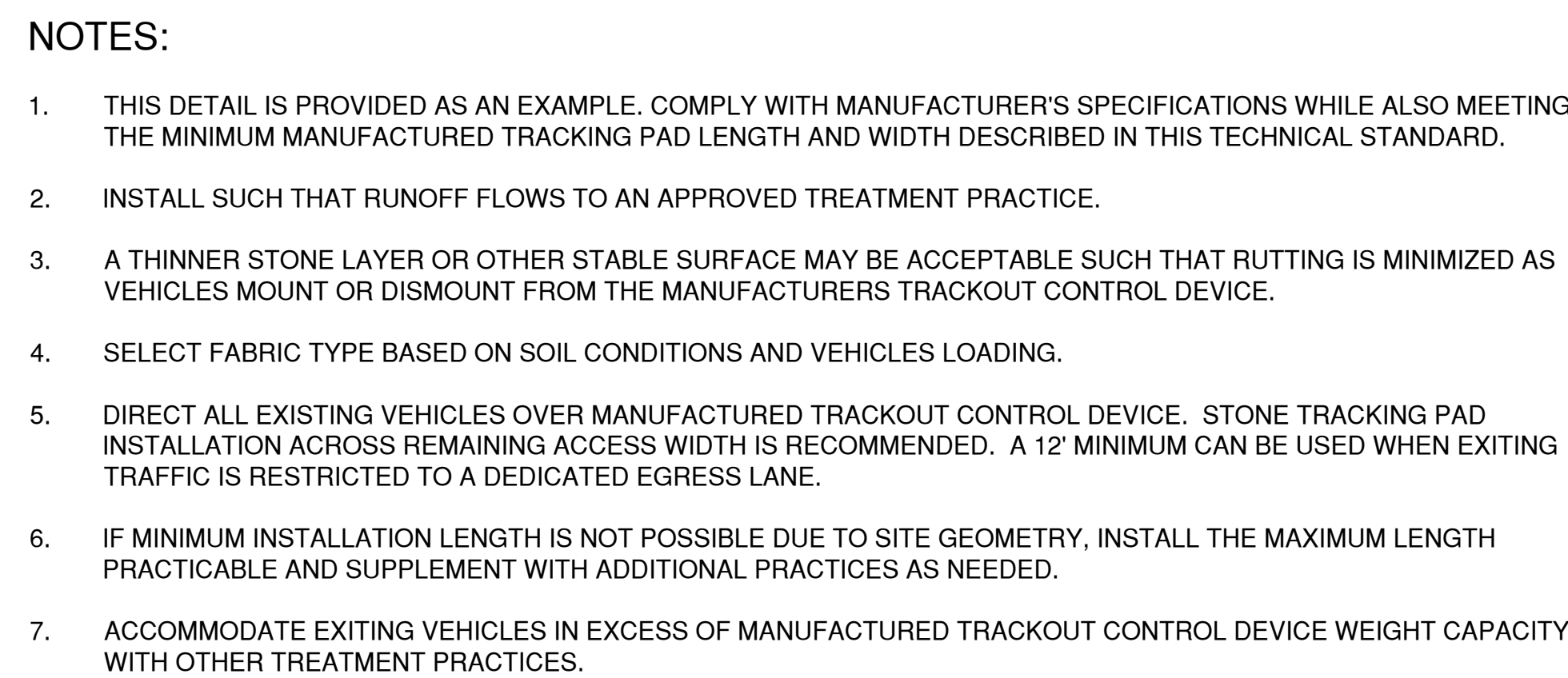
**PLANT 5
RENOVATION**
Belmark Inc.
De Pere, WI 54115



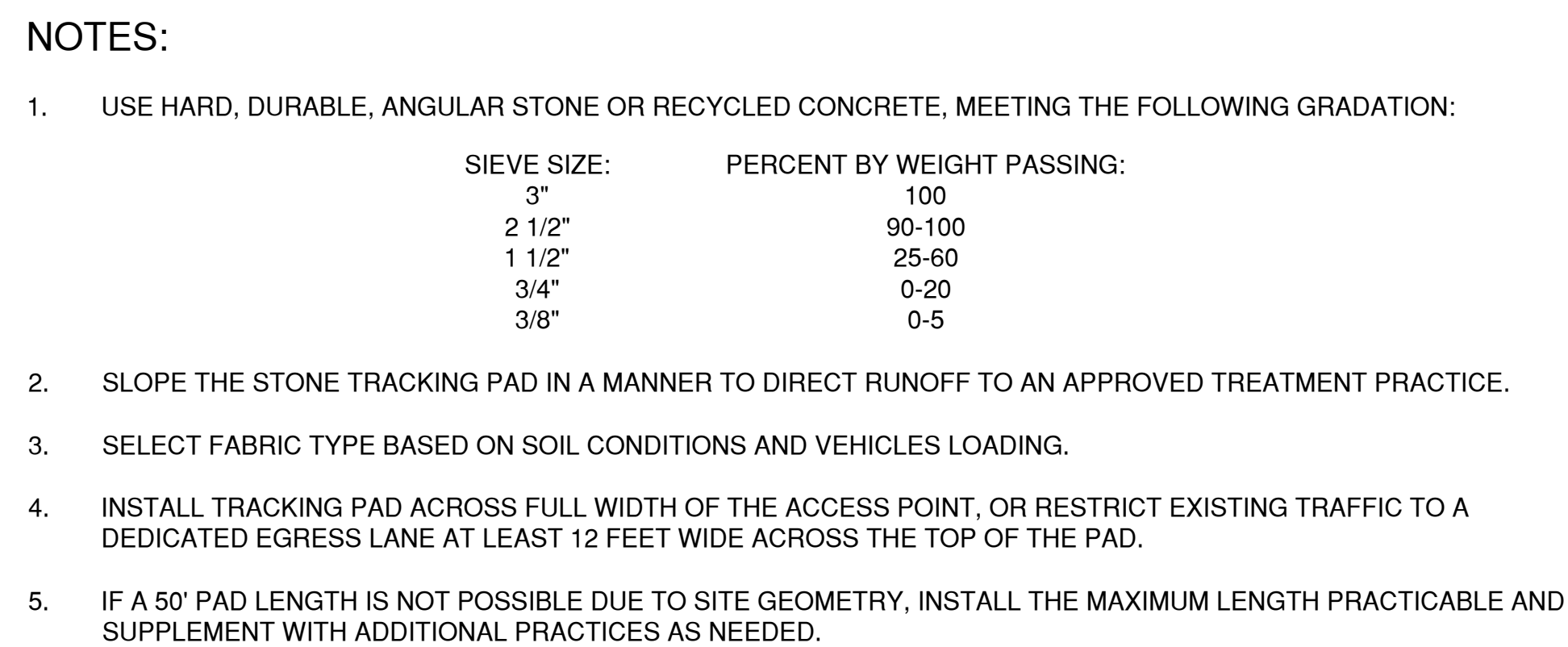
124 N. BRADSHAW, P.O. BOX 1948
DE PERE, WI 54155
PHONE: 920.662.9641 FAX: 920.335.2889 www.performainc.com

EROSION CONTROL
SHEET FLOW DETAILS

TITLE	
DRAWN	CHKD
PHK	CHK
DATE	SCALE
08/01/21	AS NOTED
DRAWING NO.	
C109	
PROJECT NO.	REV.
21071	XX

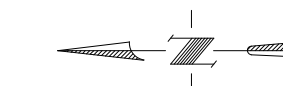


Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
 1250 CENTENNIAL CENTRE BOULEVARD HOBART, WI 54155
 920-662-9641 www.releeinc.com



STONE TRACKING PAD DETAIL

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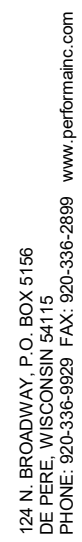
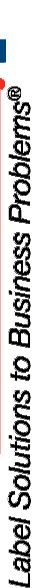


SCALE: 1/8" = 1'-0"

- MISCELLANEOUS
- 2A. REMOVE EXISTING ASPHALT RAMP, CONCRETE RETAINING WALL, AND CONCRETE STOOP AS REQD. SEE CIVIL DRAWINGS
 - 2B. REMOVE EXISTING STEEL STAIR AND HANDRAIL
 - 2C. REMOVE EXISTING DOWNSPOUT. COORDINATE WITH CIVIL
 - 2D. REMOVE EXISTING GUTTER ABOVE
 - 2E. COORDINATE REVISIONS TO OWNER EQUIPMENT AT EXISTING DOCK
 - 2F. REMOVE EXISTING DOWNSPOUT. SALVAGE FOR RELOCATION. COORDINATE WITH CIVIL

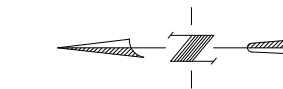
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De Pere, WI 54115



PLAN, PLAN, PLAN,

DRAWING NO.	
A1.1	
PROJECT NO.	REV.
21072	1



SCALE: 1/8" = 1'-0"

- A. EXPOSED COLUMNS SHALL BE GROUND AND/OR SANDED SMOOTH TO REMOVE ALL SCRAPS/DEFECTS BEFORE FINISH COAT
- B. COORDINATE SIZE AND LOCATIONS OF ANY AND ALL LOUVERS AND OPENINGS WITH MECHANICAL, ELECTRICAL, AND PLUMBING SUBCONTRACTORS
- C. VERIFY ALL DIMENSIONS W/ EXISTING CONDITIONS. RESOLVE ALL DISCREPANCIES PRIOR TO ANY INSTALLATION.

ROOF PLAN GENERAL NOTES

- A. PIPE PENETRATIONS THROUGH ROOF AND MECHANICAL EQUIP. CURBS - SEE DETAILS ON SHEET A6.1. COORDINATE ALL OPENINGS FOR MISC. VENTS, PIPING, AND DUCTWORK WITH MECHANICAL AND ELECTRICAL CONTRACTORS
- B. SHADED REGIONS INDICATE TAPERED INSULATION. SHALL BE CONSTRUCTED OF TAPERED E.P.S. (SLOPE TO BE 1/4"/FT.)
- C. A CRICKET OR SADDLE SHALL BE INSTALLED ON THE RIDGE SIDE OF ANY PENETRATION GREATER THAN 30 INCHES WIDE AS MEASURED PERPENDICULAR TO THE SLOPE

ROOF SYSTEMS

- 1 FULLY ADHERED EPDM ROOF SYSTEM
- METAL DECK
 - VAPOR RETARDER
 - (2) LAYERS OF 2 1/2" RIGID INSULATION
 - 60 MIL EPDM ROOFING MEMBRANE - WHITE
- 2 30" WIDE ROOFING MAT ADHERED TO EPDM ROOFING

ROOF SPEC

EPDM: ASTM D 4607, TYPE I, NONREINFORCED, UNIFORM, FLEXIBLE EPDM SHEET

- THICKNESS: 60 MILS, NOMINAL
- EXPOSED FACE COLOR: WHITE

SELF-ADHERING-SHEET VAPOR RETARDER: ASTM D 1910, POLYETHYLENE FILM LAMINATED TO LAYER OF RUBBERIZED ASPHALT ADHESIVE

- MINIMUM 40-mil TOTAL THICKNESS
- MAXIMUM PERMEANCE RATING OF 0.1 PERM
- GOLF APPLIED WITH SLIP-RESISTING SURFACE AND RELEASE PAPER BACKING
- PROVIDE PRIMER WHEN RECOMMEND BY MANUFACTURER

POLYISOCYANURATE BOARD ROOF INSULATION: ASTM C 1289, TYPE II, CLASS 1, GRADE 2, FELT OR GLASS-FIBER MAT FACER ON BOTH MAJOR SURFACES. THICKNESS AS INDICATED IN DRAWINGS.

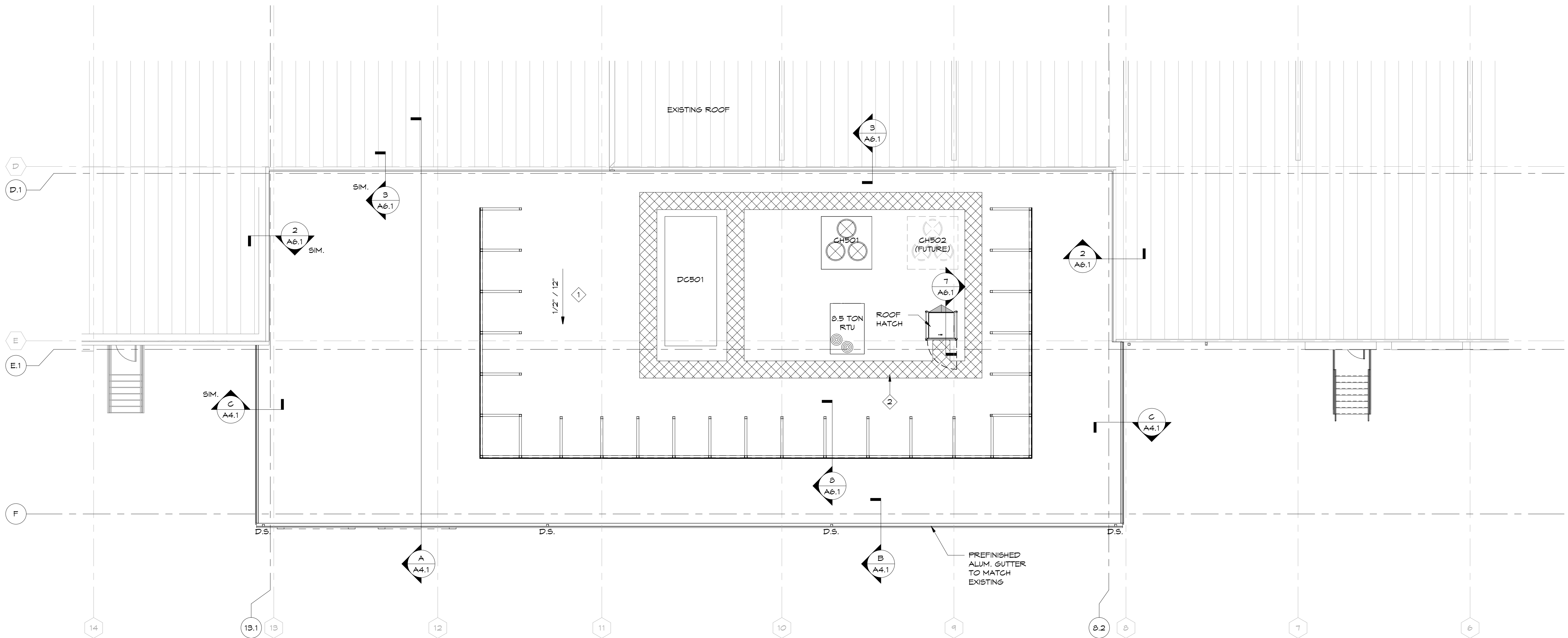
FLEXIBLE WALKWAYS: FACTORY-FORMED, NONPOROUS, HEAVY-DUTY, SOLID RUBBER, SLIP-RESISTING WALKWAY PADS, APPROXIMATELY 3/16 INCH THICK AND ACCEPTABLE TO ROOFING MANUFACTURER.

SPECIAL WARRANTY:

- MANUFACTURER AGREES TO REPAIR OR REPLACE COMPONENTS OF ROOFING SYSTEM THAT FAIL IN MATERIALS OR WORKMANSHIP WITHIN SPECIFIED WARRANTY PERIOD.
- SPECIAL WARRANTY INCLUDES MEMBRANE ROOFING, BASE FLASHINGS, ROOF INSULATION, COVER BOARDS, ROOFING SYSTEM.
- WARRANTY PERIOD: 20 YEARS FROM DATE OF SUBSTANTIAL COMPLETION.

ROOF HATCH

- 36" X 36" GALVANIZED ROOF HATCH WITH FACTORY PRIME COATING.
- HATCH LID: OPAQUE, DOUBLE WALL, INSULATED WITH 1" THICK GLASS FIBER BOARD - R-VALUE 12.0
- FABRICATE CURB HEIGHT TO A MINIMUM OF 12" ABOVE ROOF SURFACE
- HARDWARE: SPRING OPERATORS, HOLD-OPEN ARM, STAINLESS STEEL SPRING LATCH WITH TURN HANDLES.
- SAFETY RAILING: SAFETY RAIL TO BE 42" INCHES HIGH ATTACHED TO ROOF HATCH, WITH SELF-CLOSING AND LATCHING GATE FEATURE.
- POSTS AND RAILS: GALVANIZED STEEL PIPE, 1- 1/2" IN DIAMETER.
- LADDER ASSIST POST: 42" ABOVE FINISHED DECK, POST LOCKS IN PLACE ON FULL EXTENSION; RELEASE MECHANISM RETURNS POST TO CLOSED POSITION.



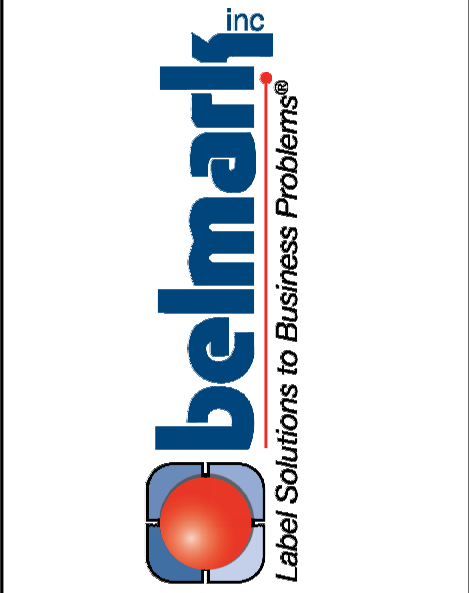
ROOF PLAN
SCALE: 1/8" = 1'-0"

DATE	DESCRIPTION	NO.
09/17/21	BIDS/CONSTRUCTION	1

PLANT 5 ADDITION

Belmark Inc.

De Pere, WI 54115



TITLE			
DRAWN	DWB	CHKD	ENP
DATE	09/17/21	SCALE	1/8" = 1'-0"
DRAWING NO.	A1.2		
PROJECT NO.	21072	REV.	1

Packet Pg. 35