



Plan Commission

335 South Broadway

Regular Meeting

De Pere, WI 54115
<http://www.de-pere.org>

Agenda

Monday, November 24, 2014	7:00 PM	De Pere City Hall Council Chambers
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Pursuant to Wisconsin Statutes 19.84, Notice is hereby given to the public that a meeting of the **Plan Commission** of the City of De Pere will be held on **November 24, 2014** at **7:00 PM** in the **De Pere City Hall Council Chambers, 335 S. Broadway Street, De Pere, WI 54115.**

This meeting can be viewed LIVE at www.depere.tv. This meeting is also rebroadcast on TW Cable Channel 4 and AT&T U-verse Channel 99 throughout the week and available on demand at www.depere.tv.

Call to Order

1. Roll Call.
2. Approval of the minutes of the October 27, 2014 Plan Commission meeting.
3. Review the Conditional Use Application for SNC Facilities Department and student housing at 405 Grant Street. Applicant: Saint Norbert College.*
4. Review the Site Plan Application for a 20,500 sq ft addition at 1850 Enterprise Drive (Arms Inc). Applicant: SMET Construction.
5. Review the Rezoning Application to rezone WD-52, WD-59 and part of WD-60 from General Industrial (I-3) to Residence District with a Planned Development District Overlay (R-3 PDD). Applicant: Commonwealth Development.*

Adjournment

*** Items with an asterisk require City Council approval.**

Any person wishing to attend this meeting who, because of disability, requires special accommodations should contact the Clerk-Treasurer's office at 339-4050 by Noon, Monday November 24th, 2014 so that arrangements can be made.

AGENDA SENT TO:

Plan Commission Members
Alderspersons
News Media
St. Norbert College
Smet Construction
Commonwealth Development Corp
Carol Jean Jacobe
C Kroll Properties LLC
Curtis & Mary Moore
Joseph B Van Denack
Laura L Quigley & Scott A Van Ryzin
Linzmeier Family LP
Masters Properties of De Pere LLC
Michael F Lemon & Colleen P Caine
Nicolet Highlands LLC
Ryan J & Michael R Maher
Thomas F & Elaine B Delsart

VHC Inc
Ashland Properties LLC
Brown County
C & Y DP Properties LLC
CESA 7
Craig J & Elizabeth Vanden Elzen
Elsie F Hussin
Feaker & Sons Co Inc
Gerald L & Sandra V Bos
GTO Investments LLC
Joanne P Bamke Revocable Living Trust Etal
John & Lydia G Parlow
Kenneth P Binsfeld
Linda M Turriff
Loretta K Barber
Nicholas Brice
Regan S Budek
Richard E & Jill M Delforge
Venture VI Group LLC
Village of Ashwaubenon
Wisconsin Central Ltd
Wisconsin Public Service

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: November 24, 2014

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Approval of the minutes of the October 27, 2014 Plan Commission meeting.

ATTACHMENTS:

- PC_Minutes_Oct2014_Draft (PDF)



Plan Commission

335 South Broadway

De Pere, WI 54115

<http://www.de-pere.org>

Regular Meeting

Draft Minutes

Monday, October 27, 2014

7:00 PM

De Pere City Hall Council Chambers

Call to Order

The meeting was called to order at 7:00 PM by Mayor Michael J. Walsh

Attendee Name	Title	Status	Arrived
Derek Beiderwieden	Commissioner	Present	
James Boyd	Aldersperson	Present	
Jim Kalny	Commissioner	Present	
Larry Lueck	Aldersperson	Excused	
Elizabeth Runge	Commissioner	Excused	
Steve Taylor	Commissioner	Present	
Michael J. Walsh	Mayor	Present	

Also present: City Planning Director Ken Pabich, and members of the public.

2. Approval of the minutes of the September 22, 2014 meeting of the Plan Commission.

RESULT: ADOPTED [UNANIMOUS]
MOVER: Jim Kalny, Commissioner
SECONDER: Steve Taylor, Commissioner
AYES: Beiderwieden, Boyd, Kalny, Taylor, Walsh
EXCUSED: Larry Lueck, Elizabeth Runge

Approval of the minutes of the October 7, 2014 special meeting of the Plan Commission.

RESULT: ADOPTED [UNANIMOUS]
MOVER: Steve Taylor, Commissioner
SECONDER: Michael J. Walsh, Mayor
AYES: Beiderwieden, Boyd, Kalny, Taylor, Walsh
EXCUSED: Larry Lueck, Elizabeth Runge

3. Review the Precise Implementation Plan for a 24 unit apartment building on College Ave. Applicant: Best Built.*

Ken Pabich reviewed the application and recommendations from city staff. He reported that the developer was unable to attend tonight, but provided him with information on exterior elevation colors, which he shared with Commission members. Mayor Walsh motioned, seconded by Jim Kalny, to approve the plan with staff items being addressed, and forward to City Council for approval. Upon vote, motion carried unanimously.

RESULT: ADOPTED [UNANIMOUS]
MOVER: Michael J. Walsh, Mayor
SECONDER: Jim Kalny, Commissioner
AYES: Beiderwieden, Boyd, Kalny, Taylor, Walsh
EXCUSED: Larry Lueck, Elizabeth Runge

4. Review the Site Plan Application for a 3,277 sq ft building off Parkview Rd. Applicant: Corrigan's.

Ken Pabich provided an overview of the site plan and comments from staff. Discussion followed regarding the concrete slab on the site.

Attachment: PC_Minutes_Oct2014_Draft (2874 : Approval of the minutes of the October 27, 2014 Plan Commission meeting.)

Jim Kalny motioned, seconded by Mayor Walsh, to open the meeting for public comments. Upon vote, motion carried unanimously. Steve Corrigan of Corrigan's CBS explained that they have already poured the concrete slab in order to beat the weather; this work did not require a permit. Plumbing was not roughed in the slab and would be added at a later date. If the site plan is not approved, the slab could be utilized for another purpose. Mayor Walsh motioned, seconded by Jim Kalny, to return to regular order. Upon vote, motion carried unanimously. Discussion followed on the proposed materials for the front elevation of the structure.

James Boyd motioned, seconded by Derek Beiderwieden, to re-open the meeting. Upon vote, motion carried unanimously. Jeff Meyer, owner of Performance Diesel, then addressed the board and described the design plans for the new structure, which will match the main building facing Ashland Avenue. Mayor Walsh motioned, seconded by James Boyd, to return to regular order. Upon vote, motion carried unanimously.

Mayor Walsh motioned, seconded by Steve Taylor, to approve the site plan with staff items being addressed. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Michael J. Walsh, Mayor
SECONDER:	Steve Taylor, Commissioner
AYES:	Beiderwieden, Boyd, Kalny, Taylor, Walsh
EXCUSED:	Larry Lueck, Elizabeth Runge

5. Review the Site Plan Application for a 5,511 sq ft expansion at De Pere Christian Outreach. Applicant: Mach IV.

Ken Pabich reviewed the application and staff comments. He noted that the owner is working with staff to pinpoint the location of the storm sewer on the north east corner of the site; the plan may require minor revision in order to avoid the sewer.

Mayor Walsh motioned, seconded by Jim Kalny, to approve the application with staff comments being addressed. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Michael J. Walsh, Mayor
SECONDER:	Jim Kalny, Commissioner
AYES:	Beiderwieden, Boyd, Kalny, Taylor, Walsh
EXCUSED:	Larry Lueck, Elizabeth Runge

6. Review the extra-territorial CSM application for a 2 lot CSM and road dedication off Swan Road in the Town of Ledgeview. Surveyor: Davel. *

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Jim Kalny, Commissioner
SECONDER:	James Boyd, Alderperson
AYES:	Beiderwieden, Boyd, Kalny, Taylor, Walsh
EXCUSED:	Larry Lueck, Elizabeth Runge

7. Future agenda items.

Ken Pabich polled the board members to determine their availability for the November Plan Commission meeting, as it is scheduled during the week of Thanksgiving.

Adjournment

Mayor Walsh motioned, seconded by Steve Taylor, to adjourn the meeting at 7:30 PM. Upon vote, motion carried unanimously.

Respectfully submitted,
Carey Danen

City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: November 24, 2014

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the Conditional Use Application for SNC Facilities
Department and student housing at 405 Grant Street. Applicant:
Saint Norbert College.*

ATTACHMENTS:

- PC_Staff_Memo_SNC (PDF)
- SNC_CU_App (PDF)

Item #3: Review the Conditional Use Application for SNC Facilities Department and student housing at 405 Grant Street. Applicant: Saint Norbert College.*

A Conditional Use Application was submitted by Saint Norbert College for the Facilities Department and student housing to be located at 405 Grant. Facilities would be on the first two floors and the student housing would be on the third floor. The property is zoned R-3 (General Residence District) with a PDD overlay. The table below summarizes some of the impacts related to the conditional use request.

Conditional Use Review Form	Yes	No	NA
Will the proposed use be compatible with the surrounding area?	X		
Will the proposed building be architecturally compatible with those in the surrounding area?			X
Will the condition create a:			
1. Noise problem		X	
2. Traffic problem		X	
3. Parking problem		X	
4. Highway Access problem			X
5. Garbage disposal problem		X	
6. Policy and Fire protection problem		X	
7. Be hazardous to children		X	
8. Lighting problem		X	
9. Sewage disposal problem		X	
10. Water supply problem		X	
11. Runoff or drainage problems		X	
12. Windblown articles		X	
13. Water pollution		X	
14. Air pollution		X	
15. Wind erosion		X	
Would the new use of the property have an adverse effect on population densities?		X	
Would the property insurance rates increase for adjoining owners?		X	
Would the granting of the conditional use be detrimental to the environment?		X	
Would the proposed use add or create a floodplain problem?		X	
Would prime agricultural land be destroyed if approved?		X	
Will this use have an adverse effect on a school district?		X	
Will this change decrease adjacent property values?		X	
Will the use add to the economic growth of the labor and industry of Brown County?		X	
Is the conditional use primarily for a speculative income return?		X	

Recommendation:

Staff recommends approval of the conditional use with the following recommendations:

1. Modifications to the building shall obtain the proper local and state permits.
2. SNC shall work with the Fire Department to determine the type of fire protection needed for the receiving / storage area.
3. The conditional use shall be forwarded to City Council for action.

	CITY OF DE PERE APPLICATION FOR CONDITIONAL USE	Fee: \$ 260.00
		Receipt #: _____
		Date: November 10, 2014

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Saint Norbert College	Authorized Representative John Barnes	Title Director of Facilities	
Mailing Address 100 Grant St	City De Pere	State WI	ZIP Code 54115
Email Address john.barnes@snc.edu	Phone Number (incl. area code) 403-3053	Fax Number (incl. area code)	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity)	Contact Person	Title	
Mailing Address	City	State	ZIP Code
Email Address	Phone Number (incl. area code)	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description 405 Grant Street	Parcel No. Parcel WD-646
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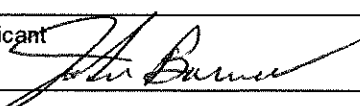
SECTION 4: Proposed Conditional Use

Existing Zoning:	R-2, SINGLE & TWO FAMILY RESIDENCE
Present Use of Parcel:	Former International School / Former SNC Facilities Building
Proposed Use of Parcel:	SNC Facilities and Student Housing on the third floor.
Present Use of Adjacent Properties:	North: R-2, South: R-2 & SNC, West: R-2, East: R-2. Site has campus uses on all sides.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) John Barnes	Title Director of Facilities	Phone Number 403-3053
Signature of Applicant 		Date Signed 11-3-14

A plan consisting of all applicable information listed on the attached shall be submitted with this application.

TO BE COMPLETED BY CITY STAFF

A Conditional Use Permit is authorized by the De Pere Zoning Code, Section(s):

FACILITIES SERVICE CENTER

ST. NORBERT COLLEGE, DE PERE, WISCONSIN

PROJECT DATA:

ZONING - R2.

ALTERATION - LEVEL 2.

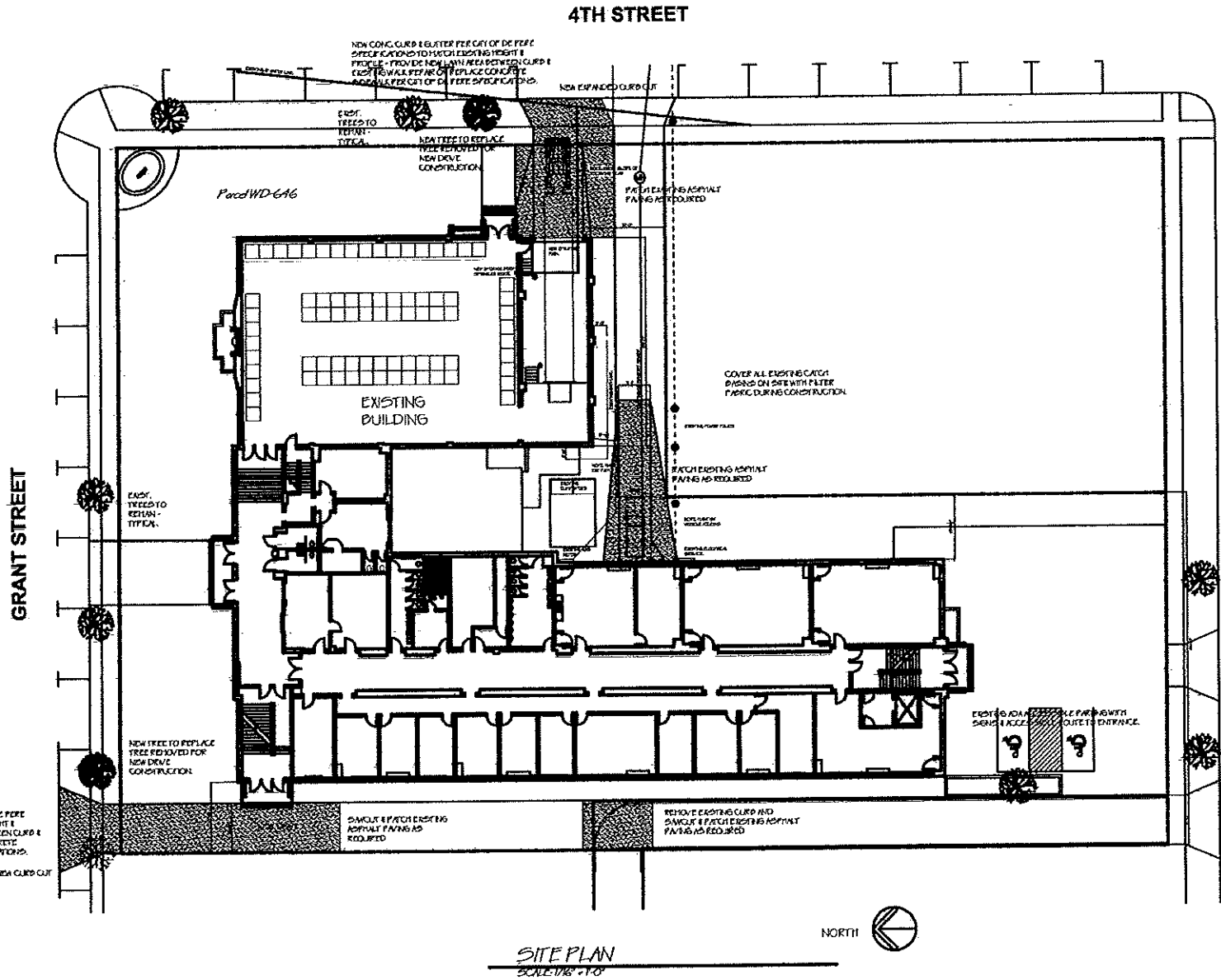
OCCUPANCY - WISCONSIN ENROLLED COMMERCIAL BUILDING
CODE GROUP 5 F, 5 & D.

CONSTRUCTION - WISCONSIN ENROLLED COMMERCIAL BUILDING
CODE TYPE 1B.

SOFFIT LIGHTING IS PROVIDED @ ALL ENTRANCES. MAXIMUM LITE LEVEL AT THE
PROPERTY LINES WILL BE 1 FOOT CANDLE.

- GENERAL NOTES:
- 1) CONTACT DESIGNER HOTLINE AND/OR LOCAL UTILITY COMPANIES FOR LOCATION AND SIZE OF UNDERGROUND FACILITIES.
 - 2) CONTRACTOR AND SUBCONTRACTORS SHALL COMPLY WITH ALL STATE AND LOCAL GOVERNING CODES AND REGULATIONS, AND SHALL ARRANGE AND PAY FOR ALL INSPECTIONS, PERMITS, FEES, ETC.
 - 3) DRAWINGS SHOW ARCHITECTURAL AND STRUCTURAL WORK ONLY.
 - 4) PROVIDE EROSION CONTROL AS REQUIRED BY ALL GOVERNING REGULATIONS.
 - 5) ALL NEW CONC. CURBS, WALKS, ETC. TO MATCH EXISTING CONSTRUCTION.

NEW CONC. CURB & GUTTER PER CITY OF DE PERE
SPECIFICATIONS TO EXISTING EXHIBIT E
PROFILE - PROVIDE NEW LAWN AREA BETWEEN CURB &
EXISTING WALKWAY OR REPLACE CONCRETE
SUGAR LAKE CITY OF DE PERE SPECIFICATIONS.



REV/EXCD	PROJ. NO.	SHEET C1	DATE: 11/3/14 @ COPYRIGHT	C. RENIER ARCHITECTS, INC. 348 MAIN AVENUE DE PERE, WISCONSIN 54115 TEL: (920) 330-0500 FAX: (920) 330-0504	SITE PLAN	DRAWN: C.C.R. CHECKED: C.C.R. NOTED: C.C.R. THIS DRAWING IS THE PROPERTY OF THE ARCHITECT AND IS NOT TO BE USED FOR OTHER WORK EXCEPT BY WRITTEN AGREEMENT WITH THE ARCHITECT.	FACILITIES SERVICE CENTER ST. NORBERT COLLEGE DE PERE, WISCONSIN

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: November 24, 2014

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the Site Plan Application for a 20,500 sq ft addition at 1850 Enterprise Drive (Arms Inc). Applicant: SMET Construction.

ATTACHMENTS:

- PC_Staff_Memo_Arms (PDF)
- Arms_Addition (PDF)

Item #4: Review the Site Plan Application for a 20,500 sq ft addition at 1850 Enterprise Drive (Arms Inc). Applicant: SMET Construction.

Overview
ARMs is planning to add a 20,500 sq ft addition to the existing facility. As part of the plan, they are also requesting an additional driveway
Public Works
Sanitary Sewer 1. No change. Water Main 1. No change. Storm Water Management 1. Storm water discharges to an off-site regional detention pond. 2. The plans show existing 4" and 8" storm laterals. Two additional connections are shown as proposed. 3. Provide a storm water management plan and calculations to show the post development discharge rate from all pipe connections does not exceed the 5-year post developed discharge rate for the site. 4. Show where silt fence is to be installed on the plan. 5. Discharge from the proposed 6" storm shown for downspouts on the south side of the building could cause icing on the walkway and/or parking area. Traffic/Vehicle Access: 1. There are two existing (two-way) driveways to the site and the plan shows an additional two-way drive is proposed. The additional driveway will require Plan Commission approval. The municipal code, Section 14-55 (8) 4) v., allows one two-way or two one-way drives for each 200 feet of total lot frontage unless otherwise approved by the Plan Commission in site development plan review. There are 300 feet of lot frontage. 2. Complete new approved curb cuts to comply with the City curb cut permit requirements. Construct the driveway approach per Drawing C-1 of the City of De Pere Department of Public works 2014 Standard Specifications. This will require concrete for the driveway section within the City right of way. 3. Show all driveway widths on the plan. 4. Show dimensions of parking spaces on the plan. 5. The westerly stalls are not functional. Provide a paved area for vehicles to back out of these spaces. Other: 1. All utility connections to be made within the street right of way will require a street excavation permit. 2. Show and label the right of way and property lines on the plan. 3. Curb cut permits are required for new driveways.
Forestry & Parks
Required Actions: 1. No changes required.
Fire
Required Actions: 1. No changes required.
Planning & Building Inspection
1. On the front elevation, the plan shows textured clad metal panels. Similar materials have been approved by the Plan Commission; however the contractor should provide a sample as part of the approval.

Recommendation:

Staff recommends approval of the project with the items identified above being addressed.

	CITY OF DE PERE APPLICATION FOR SITE PLAN REVIEW	Fee: \$ 260.00
		Receipt #: 97984
		Date:

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Fisher and Associates LLC	Authorized Representative Richard J. Fisher	Title Architect	
Mailing Address 215 Peterlynn Drive	City Wrightstown	State WI	ZIP Code 54180
Email Address rfisher@fisherandassociatesllc.com	Phone Number (incl. area code) 920-376-0007	Fax Number (incl. area code)	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) A.R.M.S. Inc.	Contact Person Eric Hass	Title President/CEO	
Mailing Address 1850 Enterprise Dr	City DePere	State WI	ZIP Code 54115
Email Address	Phone Number (incl. area code) 920-339-0135	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description 1850 Enterprise Dr	Parcel No.
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SECTION 4: Project Information

Existing Zoning:	I-2 industrial		
Present Use of Parcel:	Warehouse and Office		
Proposed Use of Parcel:	Warehouse and Office		
Estimated Start Date:	11/24/14	Estimated Completion Date:	5/25/14

Please submit 1 hard copy 24x36, 1 hard copy 11x17 and 1 PDF copy of the Site Plan.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Richard J. Fisher	Title Architect	Phone Number 920-376-0007
Signature of Applicant 		Date Signed 11/8/14

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.

PROPOSED NEW ADDITION FOR:
A.R.M.S., INC.

**1850 ENTERPRISE DRIVE
CITY OF DE PERE , WISCONSIN**

SHEET INDEX

ARCHITECTURAL

TS - TITLE SHEET

G1.1 - GENERAL INFORMATION

C1.0 - SITE PLAN

C1.2 - DRAINAGE AND GRADING PLAN

C3.1 - DRAINAGE AND GRADING DETAILS

L1.0 - LANDSCAPE & LIGHTING PLAN

A1.0 - OVERALL FLOOR PLAN

A1.1 - PARTIAL FLOOR PLAN

A3.1 - BUILDING ELEVATIONS

STRUCTURAL

PLUMBING

THIS IS A DESIGN BUILD PROJECT FOR PLUMBING. THE PLUMBING CONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN BUILDING OFFICIAL. THE PLUMBING CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

HVAC

THIS IS A DESIGN BUILD PROJECT FOR HVAC. THE HVAC CONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN BUILDING OFFICIAL. THE HVAC CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

ELECTRICAL

THIS IS A DESIGN BUILD PROJECT FOR ELECTRICAL. THE ELECTRICAL CONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN BUILDING OFFICIAL. THE ELECTRICAL CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

NOTE:
ELECTRICAL CONTRACTOR TO INSTALL CABLE & VOICE/DATA SYSTEMS IN ALL APARTMENTS AND BEDROOMS - MATCH LAYOUT OF EXISTING BUILDING

FIRE SPRINKLER

THIS IS A DESIGN BUILD PROJECT FOR FIRE SPRINKLER SYSTEM. THE SPRINKLER CONTRACTOR SHALL PROVIDE PLANS TO THE PROJECT MANAGER & THE SUPERVISING PROFESSIONAL FOR REVIEW PRIOR TO THE PLANS BEING SUBMITTED TO WISCONSIN BUILDING OFFICIAL. THE SPRINKLER CONTRACTOR SHALL MAINTAIN A SET OF DRAWINGS AT THE SITE TO RECORD ANY CHANGES TO THE DESIGN. THIS DRAWING OF RECORD & STATE APPROVED PLANS SHALL BE TURNED OVER TO THE PROJECT MANAGER AT THE END OF THE PROJECT.

PROJECT INFORMATION

PROJECT:	AR.M.S., INC. ADDITION	DESIGNERS OF RECORD:	OCCUPANCY: STORAGE S1 & B NON-SEPARATED TYPE OF CONSTRUCTION: IIB (METAL FRAMED UNPROTECTED) FULLY-SPRINKLERED - LIMITED AREA BUILDING	ACTUAL AREA PER FLOOR
ADDRESS:	1850 ENTERPRISE DRIVE DE PERE, WI 54115	ARCHITECT: FISHER & ASSOCIATES ARCHITECTS / PLANNERS 215 PETERLYNN DRIVE WRIGHTSTOWN, WI 54180 P.(420) 532-4141 F.(420) 532-4114		EXISTING BUILDING 46,668 S.F. PROPOSED ADDITIONS 20,500 S.F. TOTAL BUILDING AREA 67,168 S.F.
USE:	STORAGE S1 & B NON-SEPARATED		EGRESS WIDTH REQUIRED 15'1" OCCUPANT SPRINKLED 2'1" OCCUPANT NON-SPRINKLED 200' X 15' = 30.0' REQUIRED	
OWNER:	AR.M.S., INC. 1850 ENTERPRISE DRIVE DE PERE, WI 54115	CONTACT: RICHARD J. FISHER AIA	EXIT ACCESS TRAVEL DISTANCE 250' PER TABLE 1004.2.4	ALLOWABLE AREA PER FLOOR
CONTACT:	ERIC HAAS 420-334-0185	STRUCTURAL ENGINEERS: LARSON ENGINEERING OF WISCONSIN 2801 E ENTERPRISE AVE SUITE 200 APPLETON, WISCONSIN 54913 P.(420) 734-4861 F.(420) 734-4860	GRADE PLAN DETERMINATION THE GREATEST HGT. FROM GRADE TO TOP OF WALL IS 30'-0" ALLOWABLE HEIGHT PER TABLE 503 IS 55'	FULLY-SPRINKLERED - LIMITED AREA BUILDING SPRINKLER INCREASE PER IBC 506.3 ALLOWABLE AREA = 15,500 x 4 = 62,000 S.F. FRONTAGE INCREASE ALLOWABLE AREA = 15,500 x .75 = 11,625 S.F. TOTAL ALLOWABLE = 73,625 S.F.
DESIGNERS OF RECORD:		CONTACT: BRIAN ENDER	NUMBER OF STORIES (1) THIS BUILDING HAS ONE FLOOR LEVEL	FRONTAGE INCREASE P = 1200' F = 1200' W = 30' INCREASE = (F/P - 25) X W/30 .75 = (1200/1200 - 25) X 30/30 15500X.75 = 11,625 FIRE FIGHTING APPARATUS THE BUILDING IS LIMITED IN AREA THE FIRELANE IS UNOBSTRUCTED THE FIRELANE IS WITHIN 30' OF ALL PARTS OF THE EXTERIOR WALL WITH A MIN. UNOBSTRUCTED HEIGHT OF 13'-6" THE BUILDING IS 30'-0" TALL
ARCHITECTURAL	FISHER & ASSOCIATES ARCHITECTS / PLANNERS 215 PETERLYNN DRIVE WRIGHTSTOWN, WI 54180 P.(420) 532-4141 F.(420) 532-4114			CONTROL AREAS NO HAZARDOUS MATERIALS WILL BE STORED WITHIN THIS BUILDING PER TABLES 307.1(1) AND 307.1 (2)
CONTACT:	RICHARD J. FISHER AIA			
STRUCTURAL ENGINEERS:	LARSON ENGINEERING OF WISCONSIN 2801 ENTERPRISE AVE APPLETON, WISCONSIN 54913 P.(420) 734-4861 F.(420) 734-4860			
CONTACTS:	BRIAN ENDER			
GENERAL CONTRACTOR:	SHEET CONSTRUCTION SERVICES 300 N. BROADWAY GREEN BAY, WI 54303 P.(420) 532-5828 F.(420) 532-3841			
CONTACT:	-			

ISSUED FOR SITE PLAN APPROVAL

11/10/14

PROJECT INFO:

DRAWN BY:

RJF

SMET NO.:

14---

ARCHT. NO.:

14070

DATE:

SEPT 21, 2014

SALES:

-

SHEET:

TS

PROPOSED BUILDING
ADDITION FOR:

A.R.M.S., INC.

**1850 ENTERPRISE DRIVE
DE PERE, WI**

REVISIONS:

1 PRELIM DESIGN
2 PRELIM DESIGN
3 SITE PLAN REVIEW

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THIS DRAWING IS THE PROPERTY OF C.S. SMET
CONSTRUCTION SERVICES. IT IS TO BE USED
FOR THE SOLE PURPOSE OF CONSTRUCTION
AND NOT FOR ANY OTHER PURPOSE. NO
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OR TRANSMITTED IN ANY FORM OR BY ANY
MEANS, ELECTRONIC OR MECHANICAL,
INCLUDING PHOTOCOPYING, RECORDING,
OR BY ANY INFORMATION STORAGE AND
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FOR THE PURPOSE OF REPRODUCING
YOUR PROPOSAL SIGNIFIES YOUR UNDERSTANDING
AND ACCEPTANCE OF THIS CONDITION.

CORPORATE OFFICE
300 N. BROADWAY, SUITE 2B
GREEN BAY, WI 54303
(800) 275-1672
(920) 532-3828
(920) 532-3831
E-MAIL BUILD@SMET.COM
WWW.SMET.COM

OUR REPUTATION IS BUILDING
MARINETTE OFFICE
1423 MAIN STREET, SUITE D
MARINETTE, WI 54443



ZONING DISTRICT: I-2 INDUSTRIAL
SETBACKS: 40'-0" FRONT AND 10'-0" SIDES AND 15'-0" REAR

OFF STREET PARKING REQUIREMENTS
(1) SPACE / 2 EMPLOYEES
THE CURRENT MAXIMUM SHIFT = 40
TOTAL SPACES = 60

29 NEW 31 EXIST.

LOT AREA	201,663 S.F.	
BUILDING AND CANOPIES	67,168 S.F.	33.5%
GREEN SPACE	49,515 S.F.	24.5%
PAVEMENT AND SIDEWALKS	84,980 S.F.	42%

PROJECT INFO:

DRAWN BY:	RJF
SMET NO.:	14---
ARCHT. NO.:	14070
DATE:	SEPT 21, 200

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SHEET:	

PROPOSED BUILDING
ADDITION FOR:
A.R.M.S., INC.
1850 ENTERPRISE DRIVE
DE PERE, WI

REVISIONS:

1	10-10-14	PRELIM DESIGN
2	10-10-14	PRELIM DESIGN
3	11-10-14	SITE PLAN REVIEW

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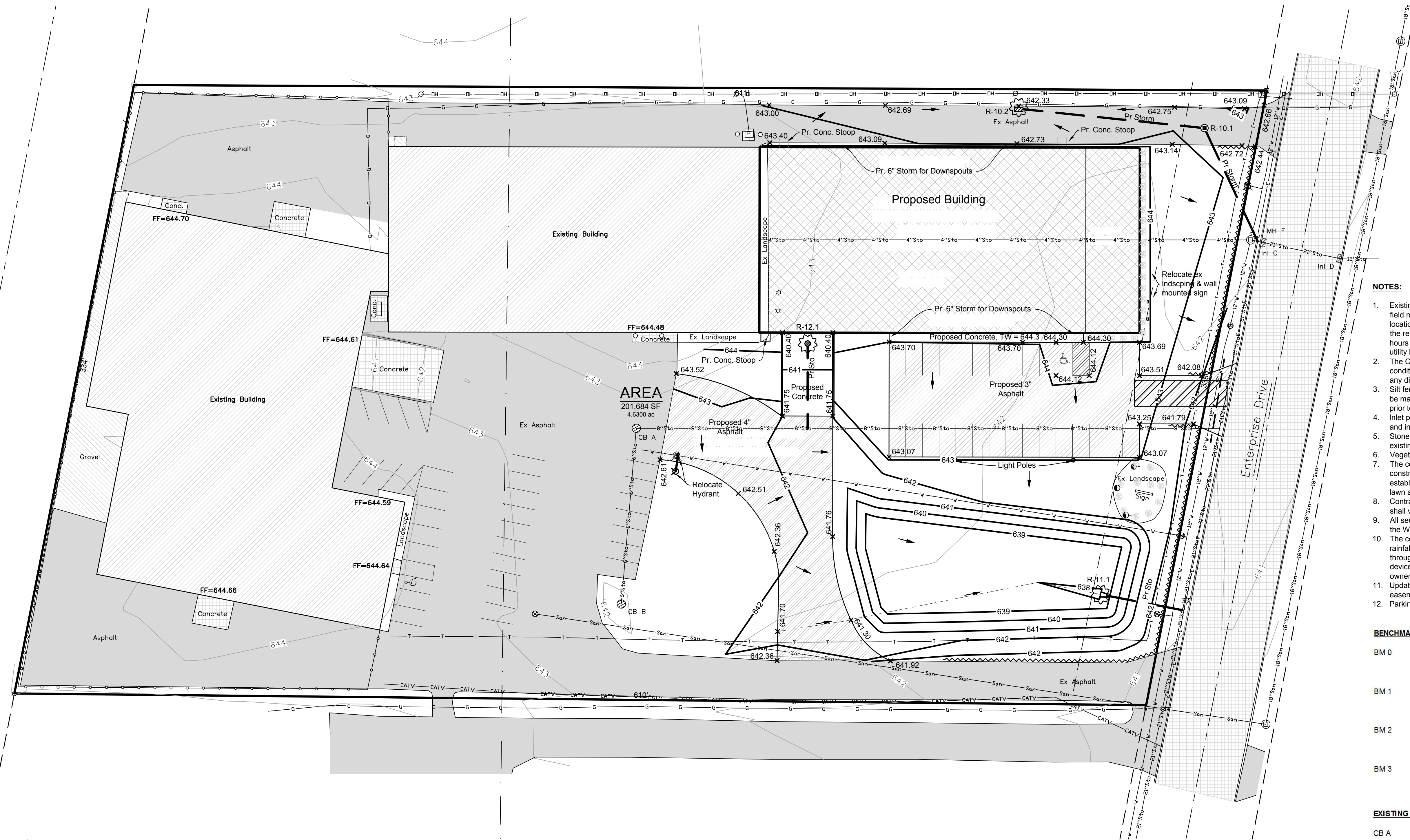
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—DH—DH	Overhead Electric Lines	○	Clean Out / Curb Stop / Pull Box
—San—San	Sanitary Sewer	○	Storm Manhole
—Sto—Sto	Storm Sewer	○	Hydrant
—E—E	Underground Electric	○	Utility Valve
—G—G	Underground Gas Line	○	Utility Meter
—T—T	Underground Telephone	○	Utility Pole
—V—V	Water Main	○	Light Pole / Signal
—F—F	Fence - Steel	○	Guy Wire / Pump
—799.9	Intermediate Contour	○	Ex Spot Elevation
—608	Proposed Storm Sewer	○	Proposed Storm Manhole
—608	Proposed Sanitary Sewer	○	Proposed Curb Inlet
—608	Proposed Watermain	○	Prop. Catch Basin / Yard Drain
—608	Proposed Contour	○	Proposed Endwall
—608	Proposed Swale	○	Proposed Rip Rap
—608	Proposed Culvert	○	Prop. Flowline Spot Elev.
—608	Proposed Silt Fence	○	Prop. Top of Walk Elev.
—608	Prop. Drainage Direction	○	Existing Grade
—608	Proposed Ditch Check	○	Proposed Inlet Protection
—608	Proposed Tracking Pad	○	Type of Inlet Protection

STORM SEWER STRUCTURE SUMMARY						
Structure	Type	Size	Cover	Rim	Invert	Depth
R-10.1	MH (48)	36	R-1710	642.79	637.70	5.09
R-10.2	Inlet	36	R-3067-C	642.33	638.37	3.96
R-11.1	Endwall	6	#N/A	637.65	#N/A	#N/A
R-12.1	Catch Basin	36	#N/A	640.20	637.85	2.35

STORM SEWER PIPE SUMMARY						
Reach		US Inv	DS Inv	Length	Slope	Size (in)
R-10.2	R-10.1	638.37	637.70	67	0.0100	8
R-10.1	EX F	637.70	638.69	101	0.0100	8
R-11.1	EX 21"	637.65	637.20	45	0.0100	6
R-12.1	EX 8"	637.85	637.39	46	0.0100	4

NOTES:

- Existing utilities shown are indicated in accordance with available records and field measurements. The contractor shall be responsible for obtaining exact locations & elevations of all utilities, including sewer and water from the owners of the respective utilities. All utility owners shall be notified by the contractor 72 hours prior to excavation. Contact Digger's Hotline (1-800-242-8511) for exact utility locations.
- The Contractor shall verify all staking and field layout against the plan and field conditions prior to constructing the work and immediately notify the Engineer of any discrepancies.
- Silt fence shall be installed at the toe of all newly constructed fill slopes and shall be maintained until slope vegetation is established. Silt fence shall be installed prior to site grading.
- Inlet protection shall be installed around the upstream end of new culvert pipes and inlets, in accordance with Wisconsin DOT Standard Detail Drawing 8E10-2. Stone access shall be provided to the construction site. Tracking of mud on existing streets shall be cleaned up daily.
- Vegetation beyond slopes shall remain.
- The contractor shall minimize the area disturbed by construction as the project is constructed. Disturbed areas shall be seeded as soon as final grade is established. Contractor shall replace topsoil and then seed, fertilize and mulch all lawn areas within 1 week of topsoil placement.
- Contractor shall remove all excess materials from the site. Earthwork contractors shall verify topsoil depth.
- All sediment and erosion control devices and methods shall be in accordance with the Wisconsin DNR Technical Standards.
- The contractor shall make weekly inspections and inspections within 1 day of any rainfall exceeding 0.5 inches of the sediment and erosion control devices throughout construction. The contractor shall repair or maintain erosion control devices as necessary. The inspection reports shall be made available to the owner at the end of the construction or upon demand during construction.
- Updated survey and title search have not been authorized and the boundary and easements shown may be inaccurate or incomplete.
- Parking lot striping shall be 4" painted safety yellow.

BENCHMARKS (NGS NAVD 88)

BM 0	NGS NAVD 88	Elev	659.04
BM 1	Fire Hydrant, Tag Bolt E side of parking lot	Elev	643.92
BM 2	Fire Hydrant "T" in TENN ±340' NE of BM 1, W R/W Enterprise Dr.	Elev	644.34
BM 3	Fire Hydrant, Tag Bolt ±400' SE of BM 2, W R/W Deenwood Ave	Elev	642.69

EXISTING STRUCTURES TABLE

CB A	Rim 6" PVC S 6" PVC E	642.08 637.78 637.48
CB B	Rim 6" PVC N SUMP	641.70 638.35 637.00
INL C	Rim 15" PVC W 15" PVC E	641.49 636.64 636.69
INL D	Rim 12" PVC E 15" PVC W	641.42 638.42 638.22
MH E	Rim 21" RCP N 21" RCP S 42" RCP E 12" PVC W	639.90 633.50 633.25 631.50 635.90
MH F	Rim 4" PVC W 15" RCP E 21" RCP S	641.61 636.91 636.16 635.96

DRAINAGE & GRADING PLAN



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2	10-16-14	PRELIM DESIGN	11-07-14	SITE PLAN REVIEW
3	11-07-14	SITE PLAN REVIEW		

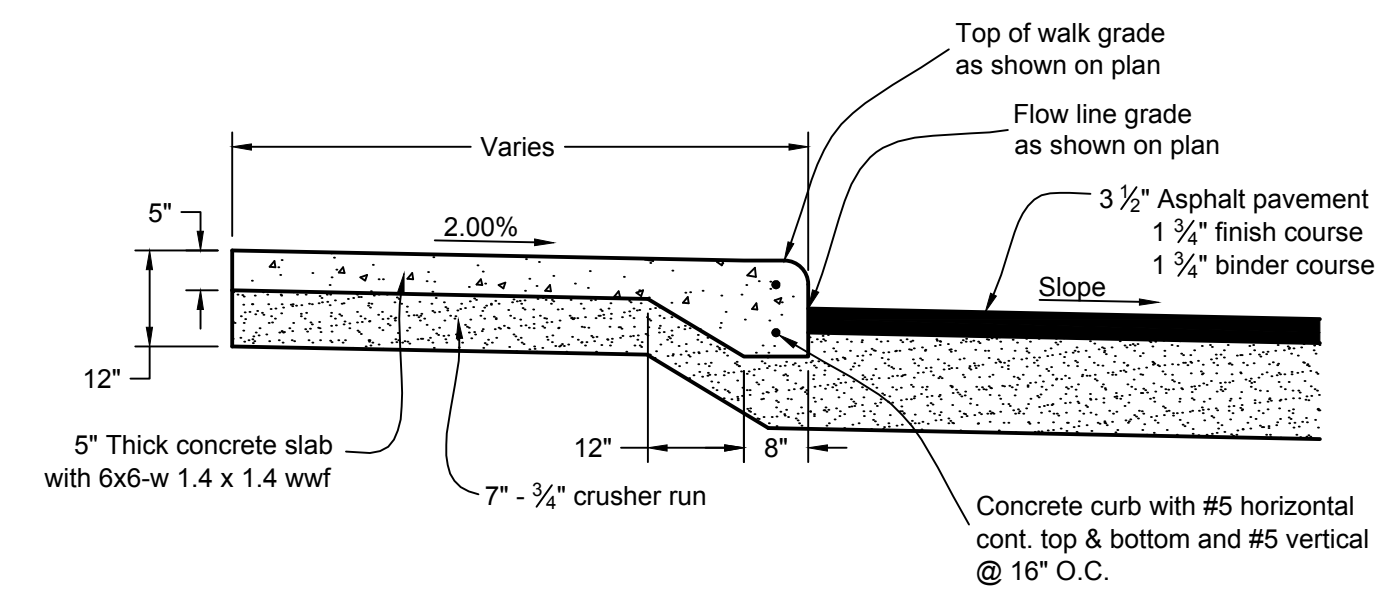
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PROPOSED BUILDING ADDITION FOR:
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DE PERE, WI

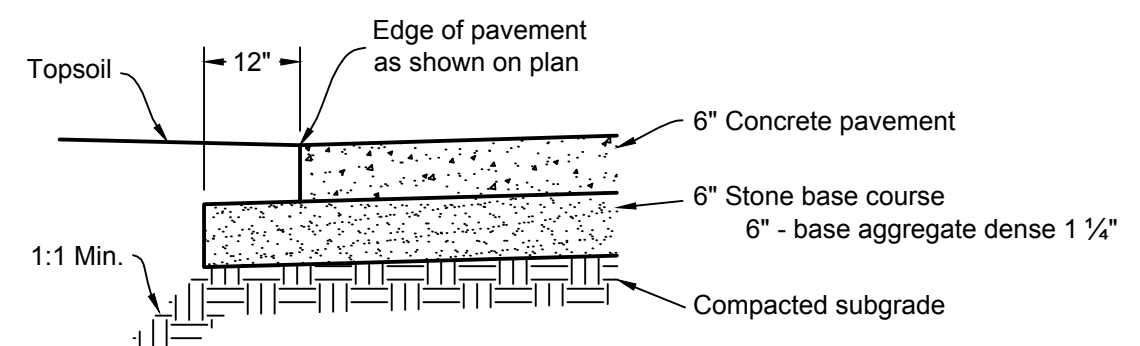
PROJECT INFO:

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SMET NO.:	SHEET:
14---	
ARCHT. NO.:	
14070	
DATE:	
11/10/2014	

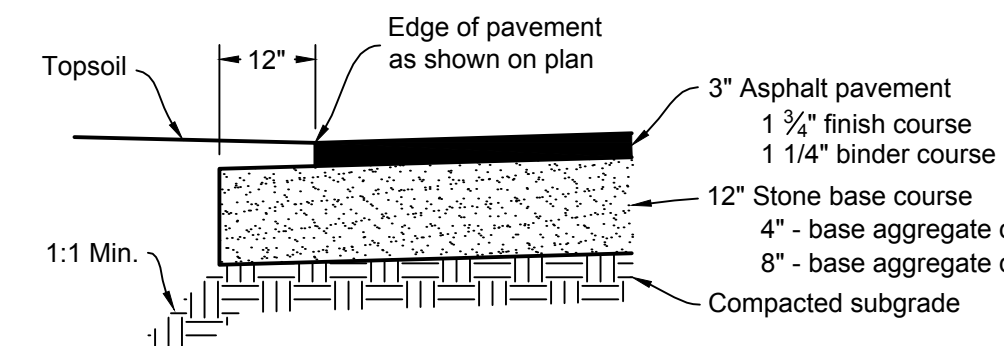
C1.2



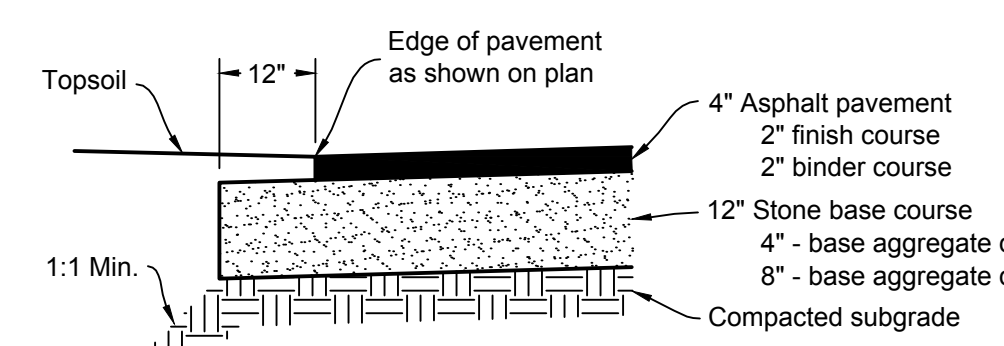
INTEGRAL SIDEWALK / PAVEMENT SECTION



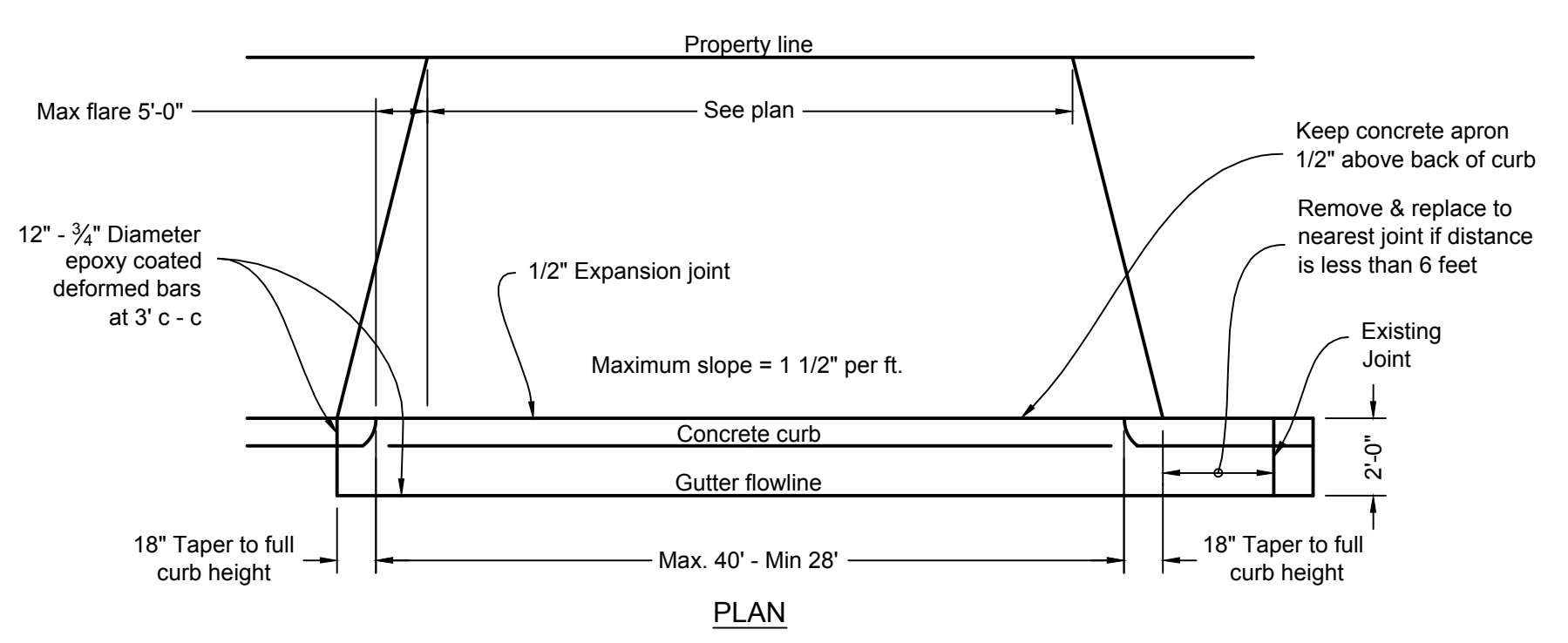
CONCRETE PAVEMENT SECTION



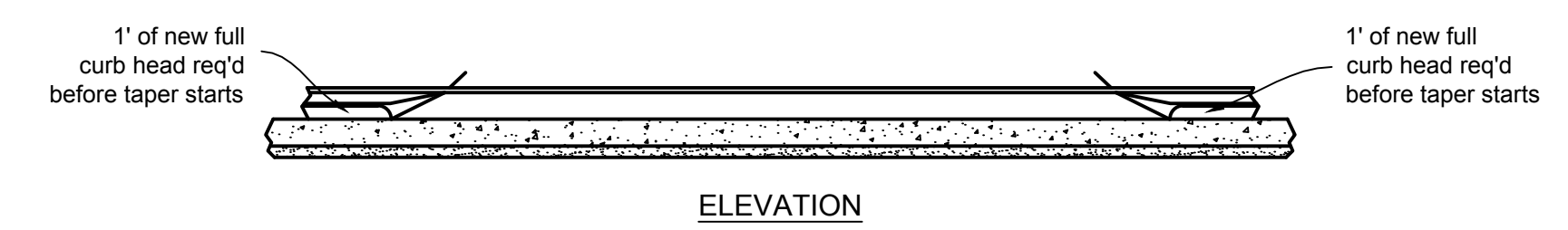
3" ASPHALT PAVEMENT SECTION



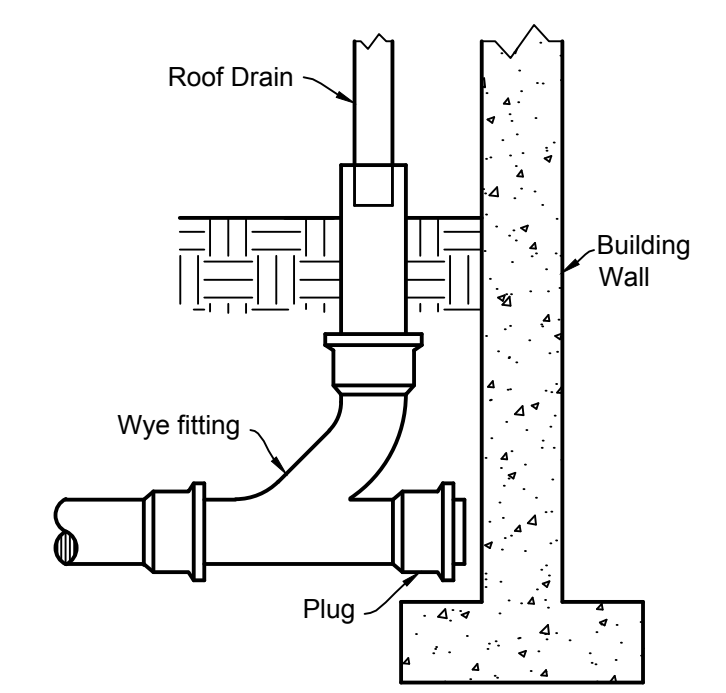
4" ASPHALT PAVEMENT SECTION



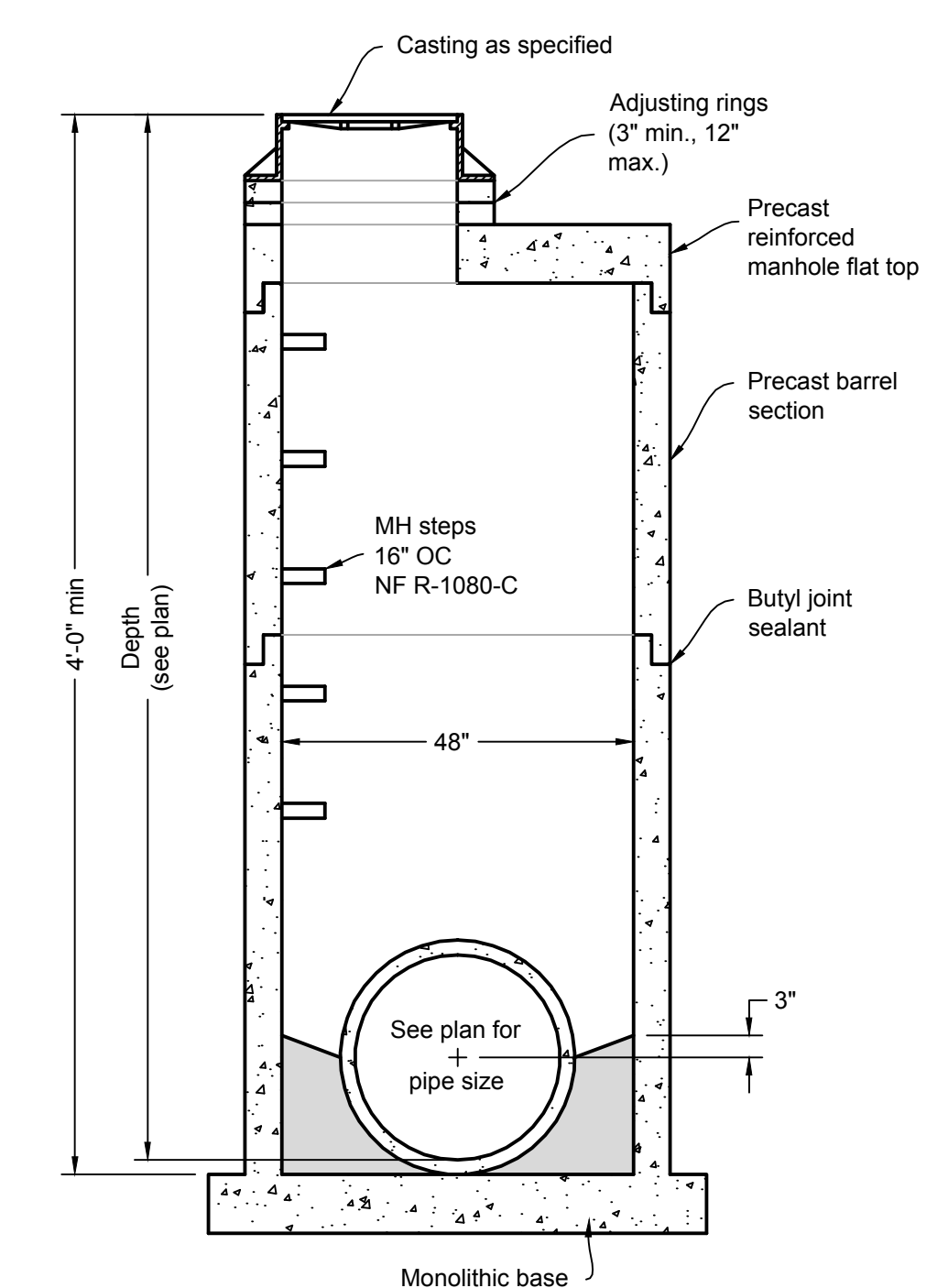
CURB REMOVAL FOR DRIVEWAY OPENING



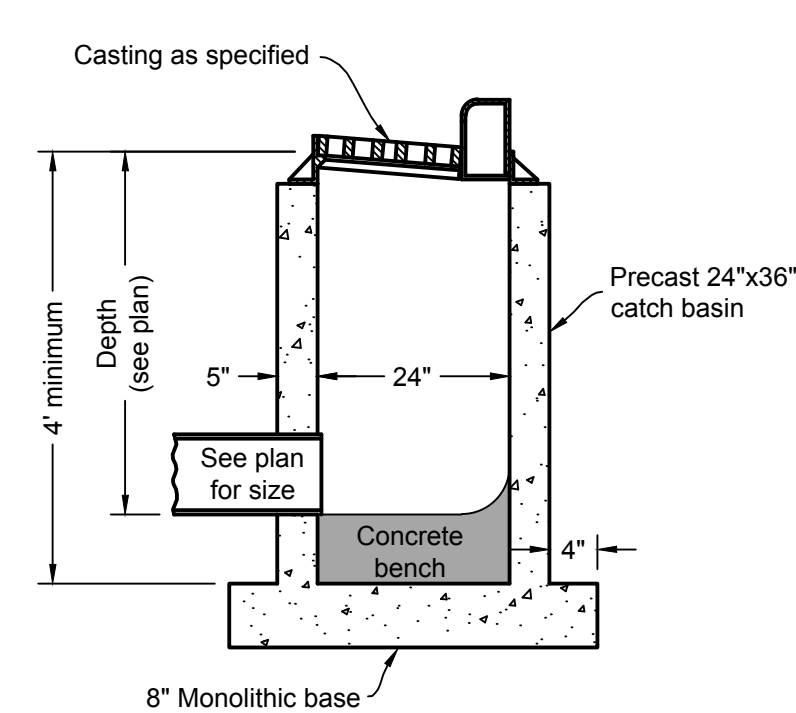
ELEVATION



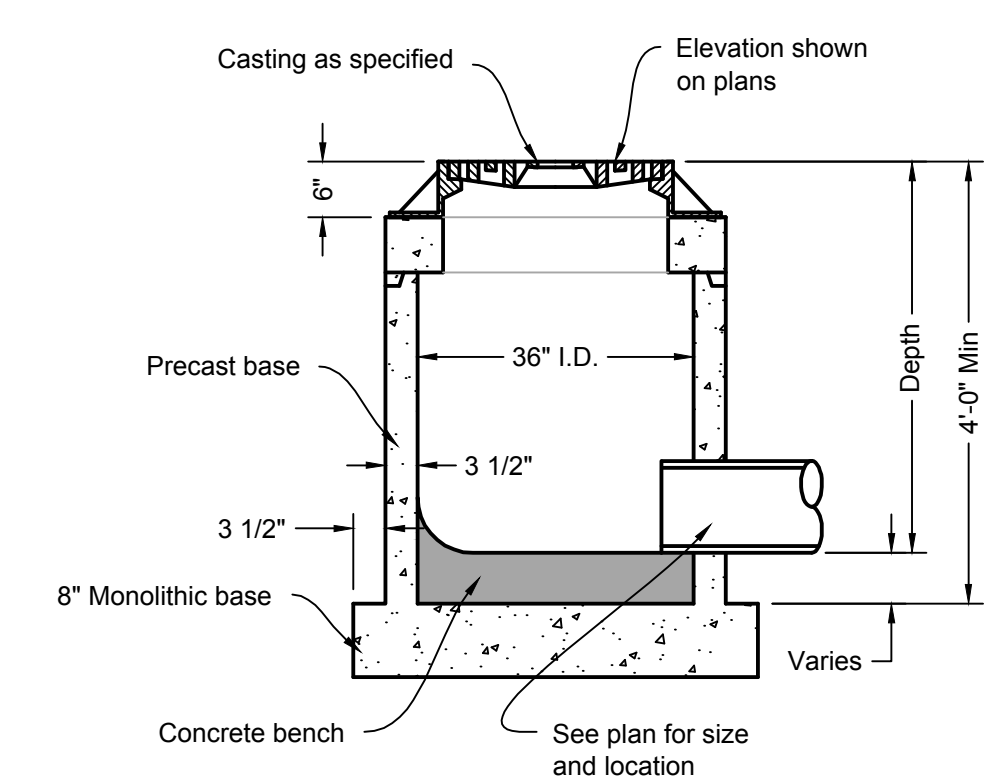
ROOF DRAIN CONNECTION TO STORM SEWER



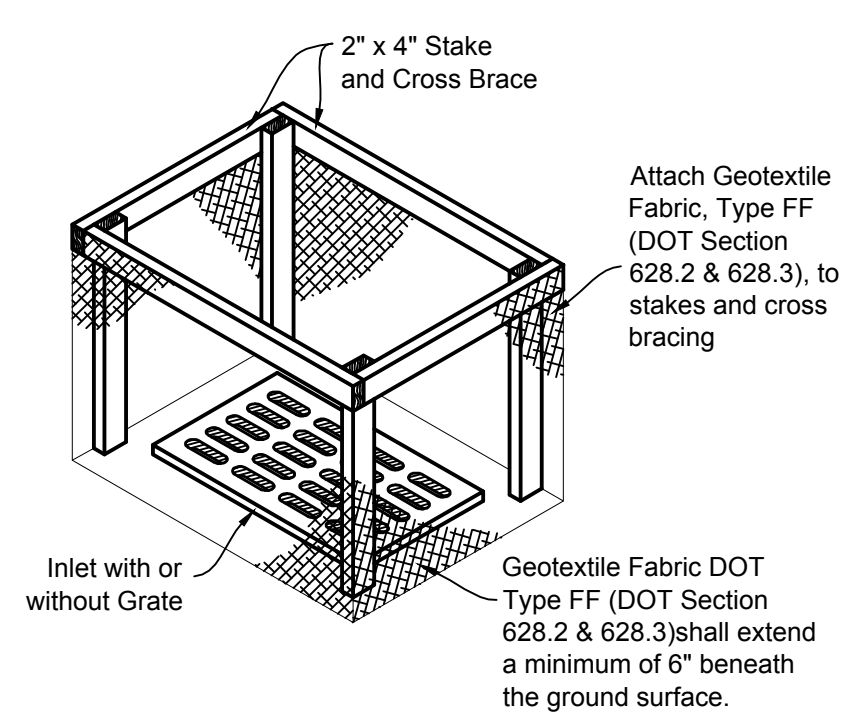
STANDARD STORM MANHOLE



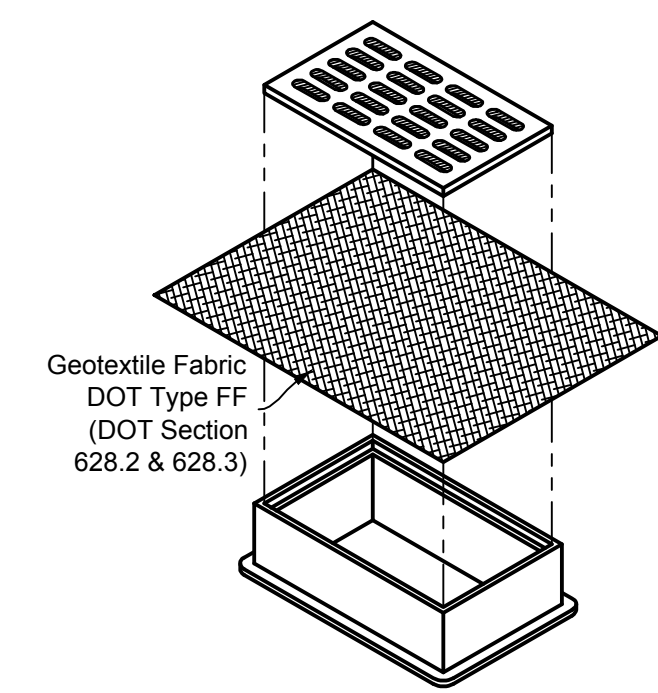
CURB INLET DETAIL



ROUND INLET

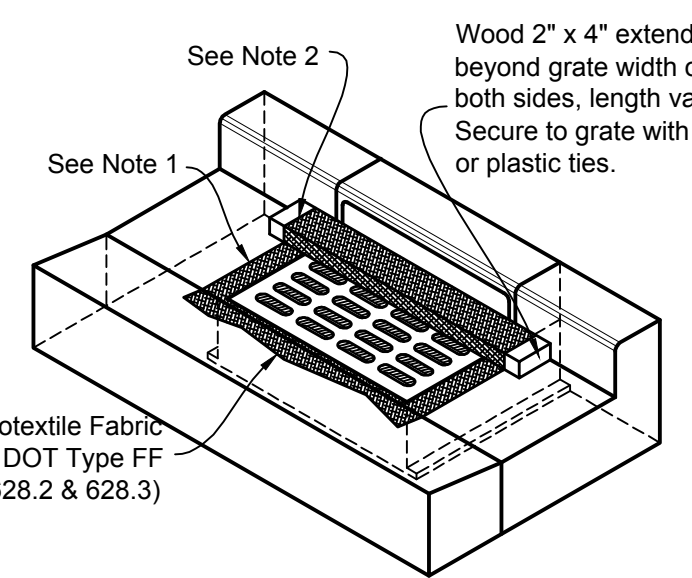


INLET PROTECTION, TYPE A



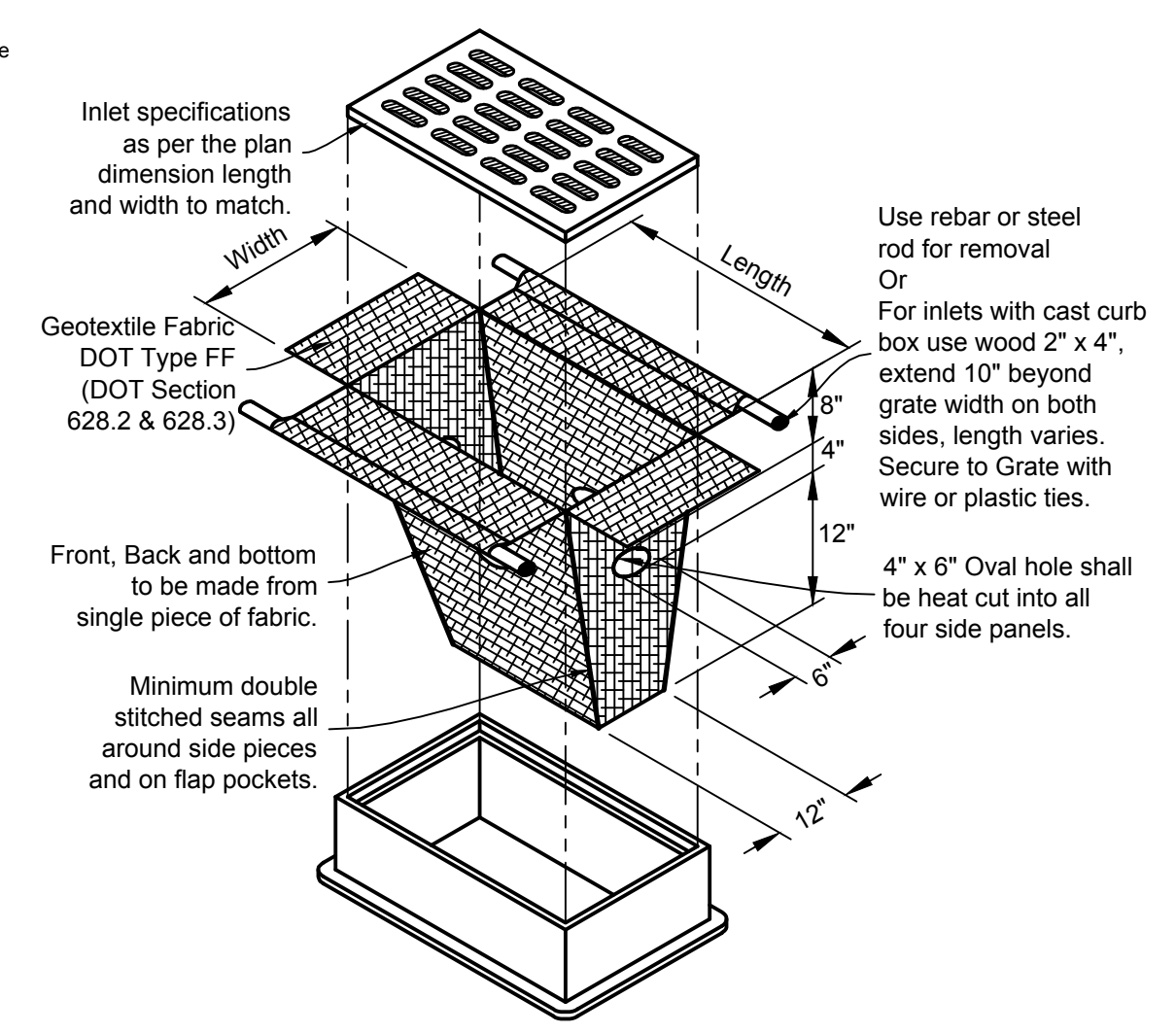
INLET PROTECTION, TYPE B
(CAN BE INSTALLED IN ANY INLET WITHOUT A CURB BOX)

GENERAL NOTES:
Inlet protection devices shall be maintained or replaced at the direction of the engineer.
Manufactured alternatives approved and listed on the DOT Erosion Control Product Acceptability list may be substituted.
When removing or maintaining inlet protection, care shall be taken so that the sediment trapped on the geotextile fabric does not fall into the inlet. Any material falling into the inlet shall be removed immediately.
1. Finished size, including flap pockets where required, shall extend a minimum of 10" around the perimeter to facilitate maintenance or removal.
2. For inlet protection, Type C (with curb box), an additional 10" of fabric is wrapped around the wood and secured with staples. The wood shall not block the entire height of the curb box opening.
3. Flap pockets shall be large enough to accept wood 2x4.



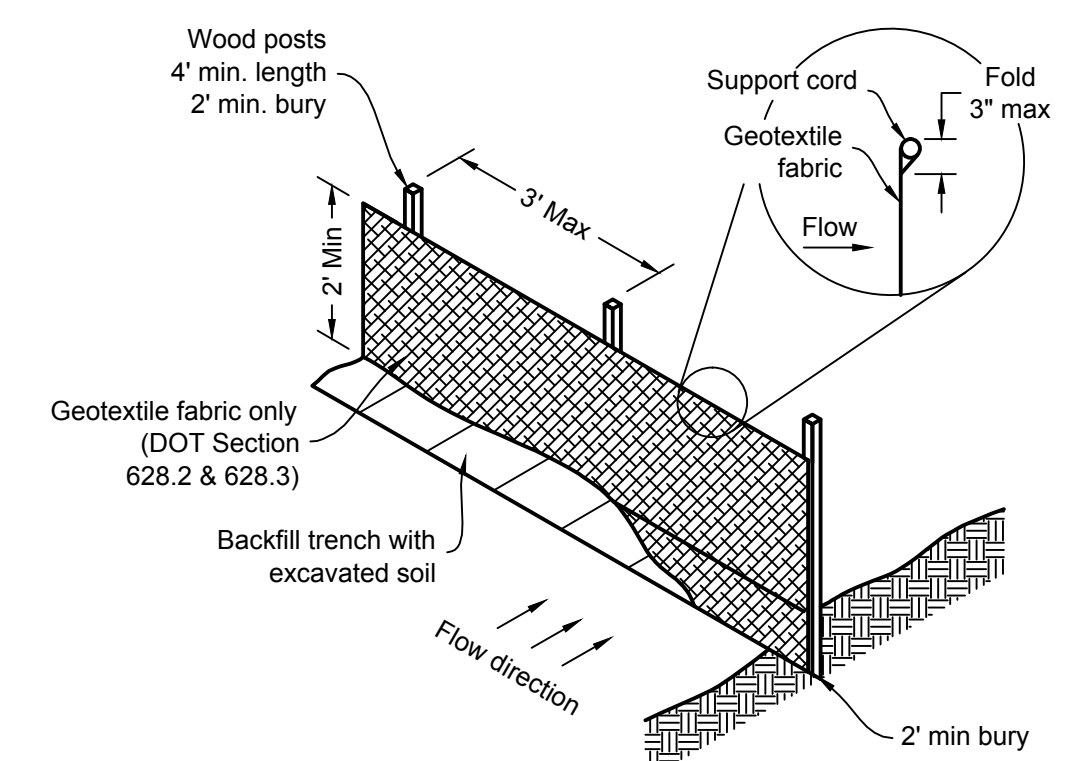
INLET PROTECTION, TYPE C

INSTALLATION NOTES:
Inlet protection Type A shall be utilized around field inlets until permanent stabilization methods have been established. Inlet protection Type A shall be utilized on pavement inlets prior to installation of curb and gutter or pavement.
Inlet protection Type B shall be utilized on street inlets without curb heads, once surrounding surface is in place.
Inlet protection Type C shall be utilized on street inlets with curb heads.
TYPE B & C
Trim excess fabric in the flow line to within 3" of the grate.
The contractor shall demonstrate a method of maintenance, using a sewn flap, hand holds, or other method to prevent accumulated sediment from entering the inlet.



INLET PROTECTION, TYPE D
(CAN BE INSTALLED IN ANY INLET WITH OR WITHOUT A CURB BOX)

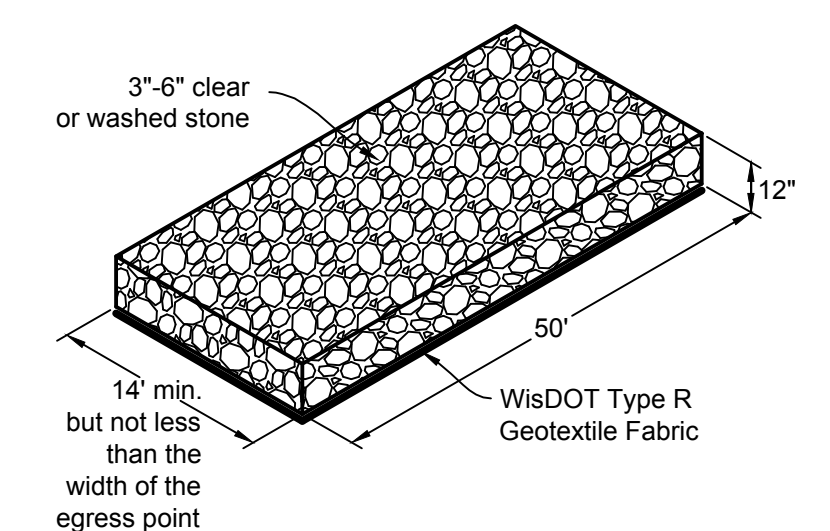
INSTALLATION NOTES:
Do not install inlet protection type D in inlets shallower than 30", measured from the bottom of the inlet to the top of the grate.
Trim excess fabric in the flow line to within 3" of the grate.
The installed bag shall have a minimum side clearance between the inlet walls and the bag measured at the bottom of the overflow holes of 3". Where necessary, the contractor shall cinch the bag using plastic zip ties to achieve the 3" clearance. The ties shall be placed at a minimum of 4" from the bottom of the bag.



TRENCH DETAIL

Silt fence notes:
1. Detail of construction not shown on this drawings shall conform to criteria set by authorities having jurisdiction and by DNR Technical Standard 1056.
2. When possible, the silt fence should be constructed in an arc or horseshoe shape with the ends pointing upslope to maximize both strength and effectiveness.
3. Attach the fabric to the posts with wire staples or wooden lath and nails.
4. 8'-0" post spacing allowed if a woven geotextile fabric is used.
5. Trench shall be a minimum of 4" wide and 6" deep to bury and anchor the geotextile fabric. Fold material to fit trench and backfill and compact trench with excavated soil.
6. Geotextile fabric shall be reinforced with an industrial polypropylene netting with a maximum mesh spacing of 3/4" or equal. A heavy-duty nylon top support chord or equivalent is required.
7. Steel posts shall be studded "tee" or "u" type with a minimum weight of 128 lbs/lineal foot (without anchor). Fin anchors shall be a minimum size of 4" diameter or 1 1/2" x 3 1/2", except wood posts for geotextile fabric reinforced with netting shall be a minimum size of 1 1/8" x 1 1/8" oak or hickory.

SILT FENCE INSTALLATION



TRACKING PAD DETAIL

DRAINAGE & GRADING DETAILS

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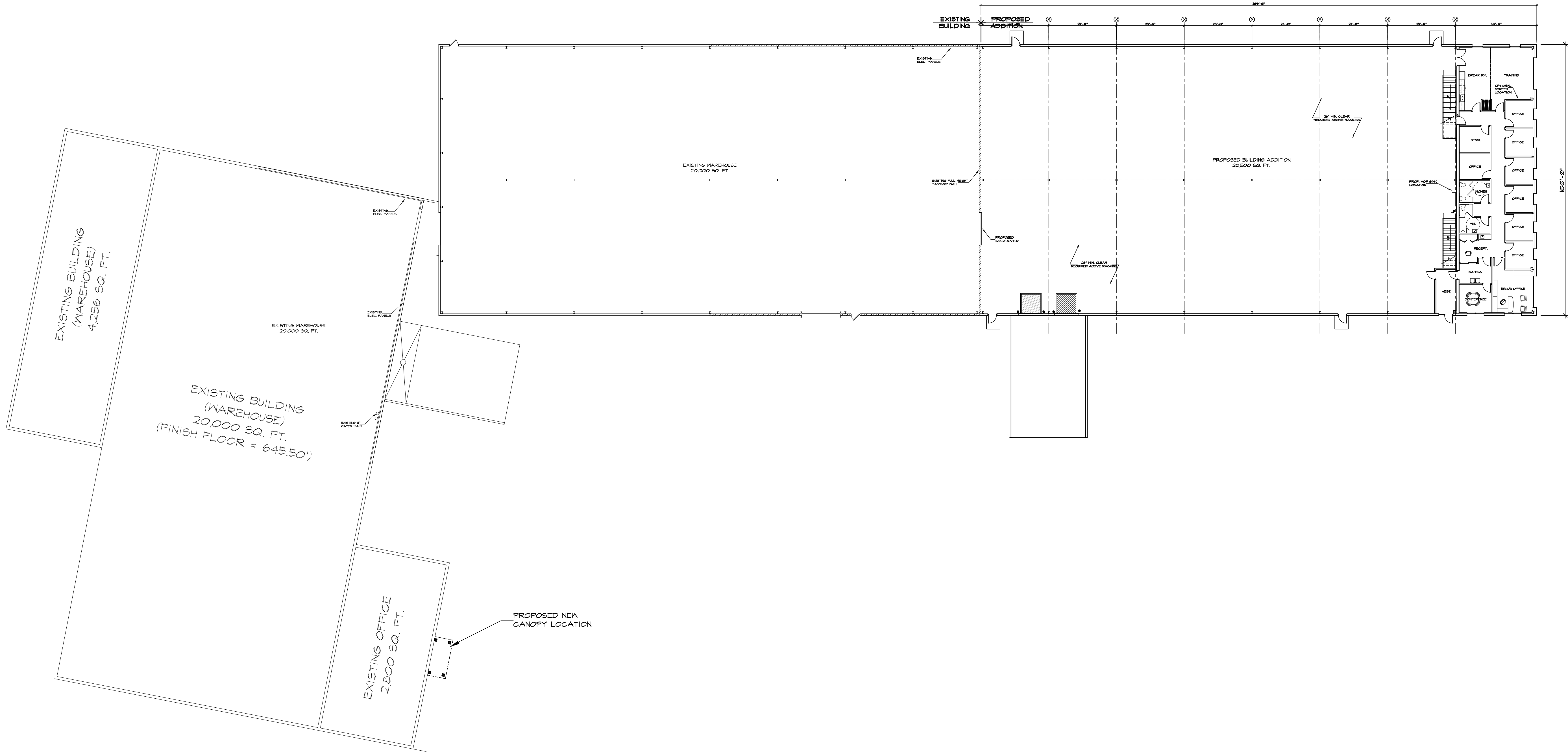
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A.R.M.S., INC.
1850 ENTERPRISE DRIVE
DE PERE, WI

PROJECT INFO:
DRAWN BY: JRD
SMET NO.:
14070
DATE: 11/10/2014

SALES:
SHEET: C2.1



Packet Pg. 18



OVERALL
FLOOR PLAN
1" = 20'-0"



PROPOSED BUILDING
ADDITION FOR:
A.R.M.S., INC.
1850 ENTERPRISE DRIVE
DE PERE, WI

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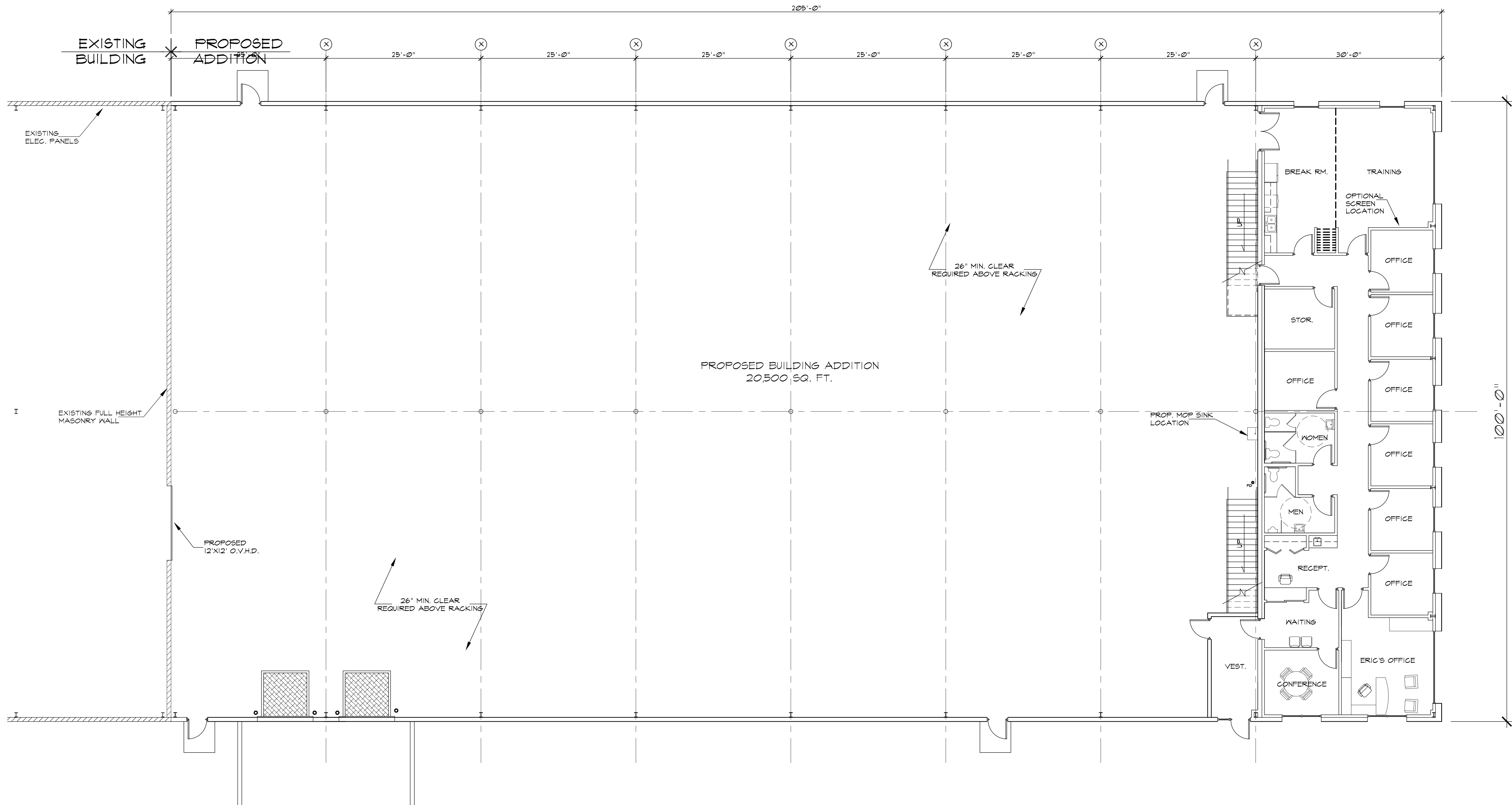
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FLOOR PLAN
1/8" = 1'-0"

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ARCHT. NO.:	
14070	
DATE:	
SEPT 21, 2014	

PROPOSED BUILDING
ADDITION FOR:
A.R.M.S., INC.
1850 ENTERPRISE DRIVE
DE PERE, WI

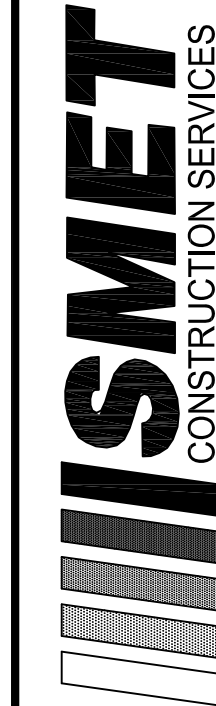
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fisher@fisherandassociates.com

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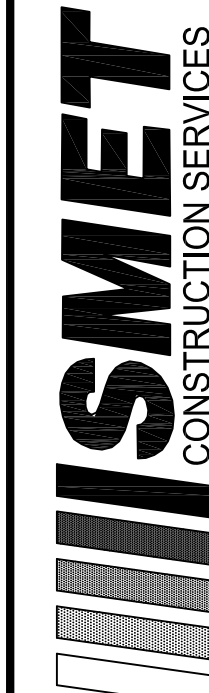
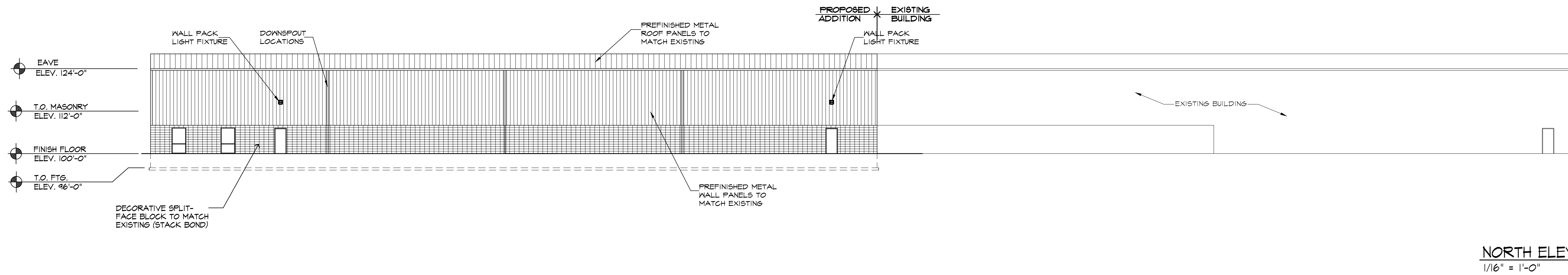
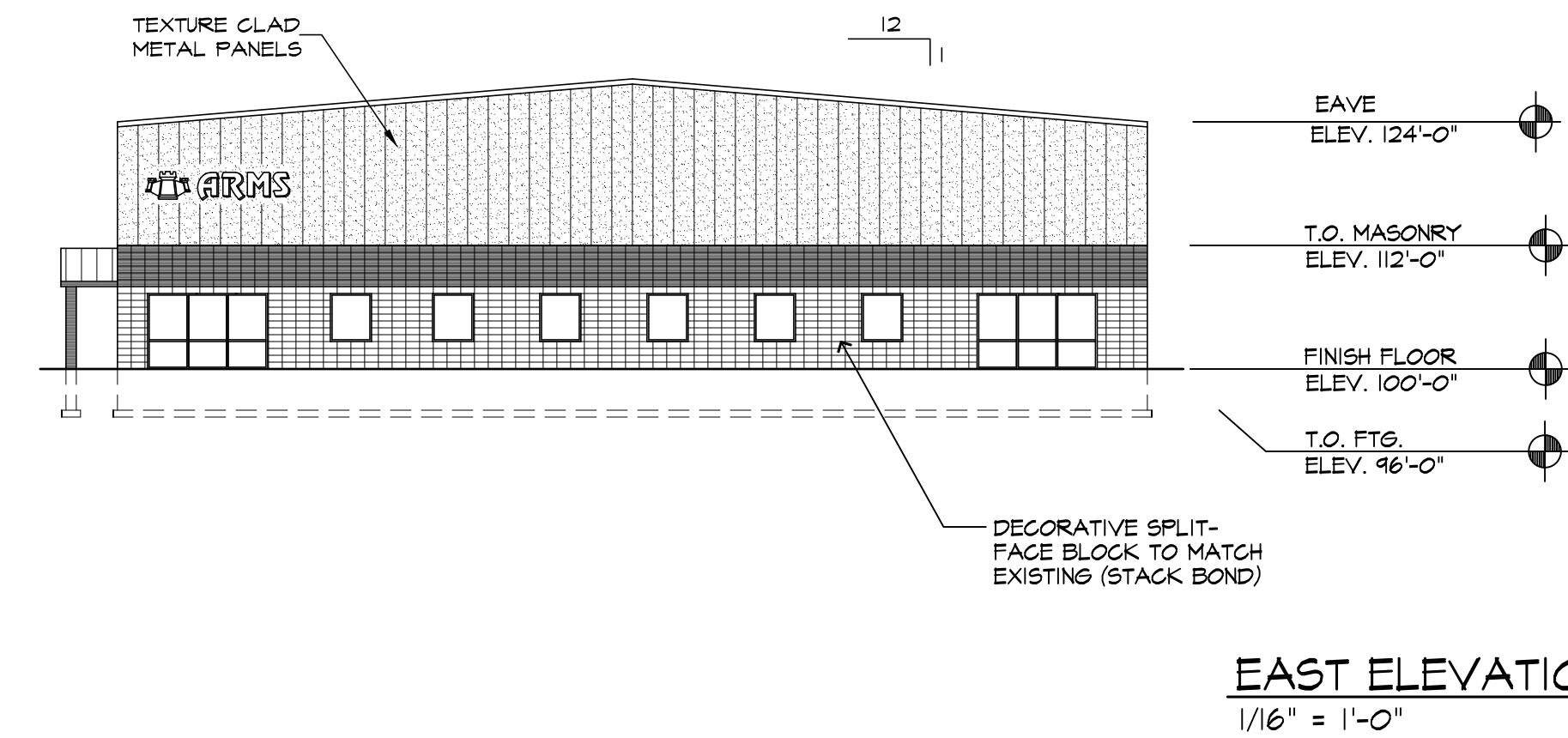
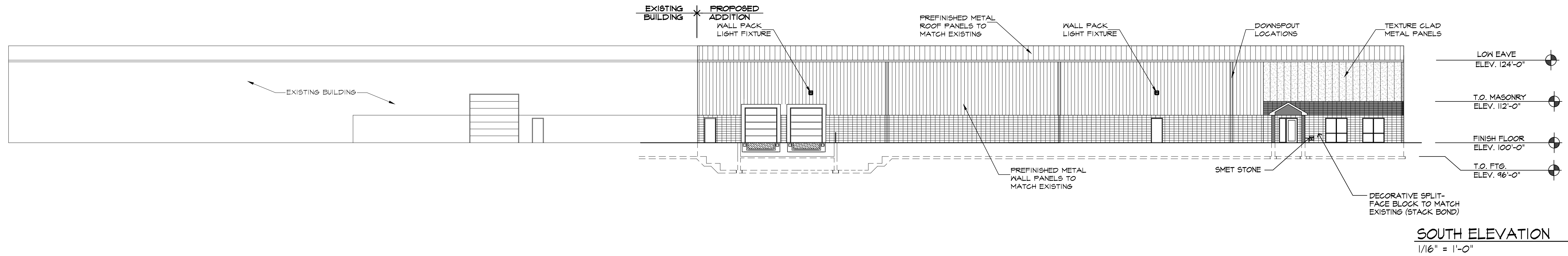
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4.b

Attachment: Arms Addition (2889 : Arms)



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PROJECT INFO:
**PROPOSED BUILDING
ADDITION FOR:
A.R.M.S., INC.
1850 ENTERPRISE DRIVE
DE PERE, WI**

DRAWN BY:
RJF

SMET NO.:
14---

ARCHT. NO.:
14070

DATE:
SEPT 21, 2014

SALES:
-

SHEET:
A3.1

City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: November 24, 2014

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the Rezoning Application to rezone WD-52, WD-59 and part of WD-60 from General Industrial (I-3) to Residence District with a Planned Development District Overlay (R-3 PDD). Applicant: Commonwealth Development.*

ATTACHMENTS:

- PC_Staff_Memo_Commonwealth (PDF)
- Commonwealth_Rezone (PDF)

Item #5: Review the Rezoning Application to rezone WD-52, WD-59 and part of WD-60 from General Industrial (I-3) to Residence District with a Planned Development District Overlay (R-3 PDD). Applicant: Commonwealth Development.*

Description: The current parcel is undeveloped and is used by the current owner for outdoor storage. The proposed project is to redevelop the site with a multi-family complex which would cover parcels WD-52, WD-59 and part of WD-60. A CSM would be completed as part of the Precise Development Plan.

Location: 1703 Fort Howard Ave.

Zoning

Existing Zoning: The I-3 General Industrial District is designed to accommodate those heavy industrial activities which, by their character, should be relatively remote from residential and business development.

Proposed Zoning: The purpose of the Planned Development District is to promote the maximum benefit from coordinated area site planning, diversified location of structures, mixed compatible uses, provide for a safe and efficient system of pedestrian and vehicular traffic, attractive recreation and landscaped open spaces, economic design and location of public and private utilities and ensure adequate planning.

Adjacent Zoning: Office to the north (Ashwaubenon), B-2 to the south, I-3 to the west (across Ashland Ave), R-1 and R-2 to the east.

Land Use

Current use: Vacant.

Use of Adjacent Property: Uses are consistent with the zoning.

Suitability to Existing Zoning: There is a general mix of zoning in the area. A high I-3 use would be considered incompatible from the staff perspective.

Suitability to Proposed Zoning: The requested use would be compatible with the residential uses to the east. The rail and river provides a buffer from uses to the west and north. Existing commercial to the south is in transition.

Effects of Proposed Rezoning

Densities:	Change	Utilities:	Change	Police and Fire:	Change
Traffic:	Increase	Pedestrian:	Increase	Parking:	Provided on site
Highway Access:	NA	Garbage:	Increase	Property Value:	Increase
Pollution:	No change	Schools:	Increase		

General Development Plan Review

The project would combine several parcels and develop a 62 unit apartment complex. The density would be 4,335 sq ft per unit which is above our minimum which is 3,500 sq ft per unit. (Please see the attached project summary).

Public Works

Sanitary Sewer

1. The City of De Pere has an 8" diameter sanitary sewer along the east side of Fort Howard Avenue that is approximately 9 feet deep. The Green Bay Metropolitan Sewerage District interceptor sewer traverses along the south side of Ashwaubenon Creek through WD-52 and WD-59. This is a large diameter pipe (48") with depth in excess of 30 feet.

Water Main

2. An 8" diameter water main is located on the east side of Fort Howard Avenue. Calculations would need to be done to determine if this pipe could supply the demand and meet fire flow requirements for this development. A loop may be needed.

Storm Water Management

1. This site would need to comply with City of De Pere and WDNR NR151 regulations for storm water management.

Traffic/Vehicle Access:

1. None

Other:

1. All utility connections to be made within the street right of way will require a street excavation permit.
2. Curb cut permits are required for new driveways.

Forestry & Parks

Required Actions:

1. Landscape plan would be part of the Precise Implementation Plan.

Fire

Required Actions:

1. Fire will want to review building drawings for fire safety.
2. Driveways need to support access for emergency vehicles. The turning radius on the general plan does not seem to support emergency vehicles.

Planning & Building Inspection

Required Actions:

1. For the Precise Implementation Plan, staff would recommend that additional screening (fence / berm) be provided along the south property line.
2. The Plan Commission should provide some initial guidance on the expectation of the materials used for the elevations. Please note, Commonwealth will provide a summary at the meeting of what will be proposed for elevations.

Recommendation:

Based on staff review, we would recommend that the rezoning be approved and that the General Development Plan and rezoning request be forwarded to Council for the required public hearing.

	CITY OF DE PERE APPLICATION FOR REZONING	Fee: \$ 260.00
		Receipt #: _____
		Date: 11/5/2014

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Commonwealth Development Corp.	Authorized Representative Louie A. Lange III	Title President	
Mailing Address 54 E. First Street	City Fond du Lac	State WI	ZIP Code 54935
Email Address k.mcdonell@commonwealthco.net	Phone Number (incl. area code) 920-922-8170	Fax Number (incl. area code) 920-922-8171	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) Feaker & Sons Co Inc	Contact Person Dan Feaker	Title Owner	
Mailing Address 1669 Fort Howard Ave	City De Pere	State WI	ZIP Code 54115
Email Address	Phone Number (incl. area code)	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description 1703 Fort Howard Ave, De Pere, WI 54115	Parcel Number(s): WD-52, WD-59, & Part of WD-60
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SECTION 4: Proposed Rezoning Use

Existing Zoning:	I-3		
Proposed Zoning:	PDD		
Adjacent Zoning: North N/A	Adjacent Zoning: South B-2	Adjacent Zoning: West Hwy 41 Dist-B & I-3	Adjacent Zoning: East R-2 & R-1
Present Use of Parcel	Construction Equipment Storage		
Proposed Use of Parcel	Multifamily Housing		

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Kevin McDonnell	Title VP of Development	Phone Number (920) 922-8170
Signature of Applicant 		Date Signed 11/13/14

Attached additional sheets if necessary.

Attachment: Commonwealth_Rezone (2870 : Commonwealth)



November 12, 2014

City of De Pere
Attention; Ken Pabich
335 S. Broadway
De Pere, WI 54115

Dear Mr. Pabich,

Commonwealth is requesting to rezone a 6.17 acre parcel that consists of parcel #'s WD-52, WD-59, and approximately 2 acres of WD-60. The request is to rezone the property from an I-3 District to a Planned Development District. We have the parcel under contract and are proposing to develop 62 apartment units for families in De Pere. In addition to the apartment units our proposal includes a management office, fitness center, and community space for the tenants to enjoy. The proposal includes a 3-story midrise building with at-grade parking on the first floor, and three additional townhouse style buildings. An additional garage building will ensure each unit has a designated private garage. The 2-story townhouses will have individual entrances with attached garages for each unit.

We believe our project is a very appropriate use for the parcels that have been under-utilized for many years. Allowing for multifamily on the site will provide for a smooth transition from the single-family homes to the commercial uses that are adjacent to the property, while providing scenic views of the Ashwaubenon Creek for our tenants. Positioning the townhouse buildings surrounding the 3-story midrise will provide a smooth transition, which will enhance the look and feel of the corridor running along Fort Howard Avenue, while providing the type of high-quality apartments the community demands.

Steps away from the Ashwaubomay Memorial River Park, the Brown County Fair Grounds and the Ashwaubenon Creek, tenants will have a number of recreational activities at their doorstep. In addition, the property is located within minutes of the vibrant downtown and many of the largest employers in the area. Providing a housing option at this location will create a beneficial link between the nearby jobs and commercial uses, while also providing tenants access to many of the great amenities that the area has to offer. We are excited for the opportunity to work with the City of De Pere and look forward to having an opportunity to present our proposal in further detail.

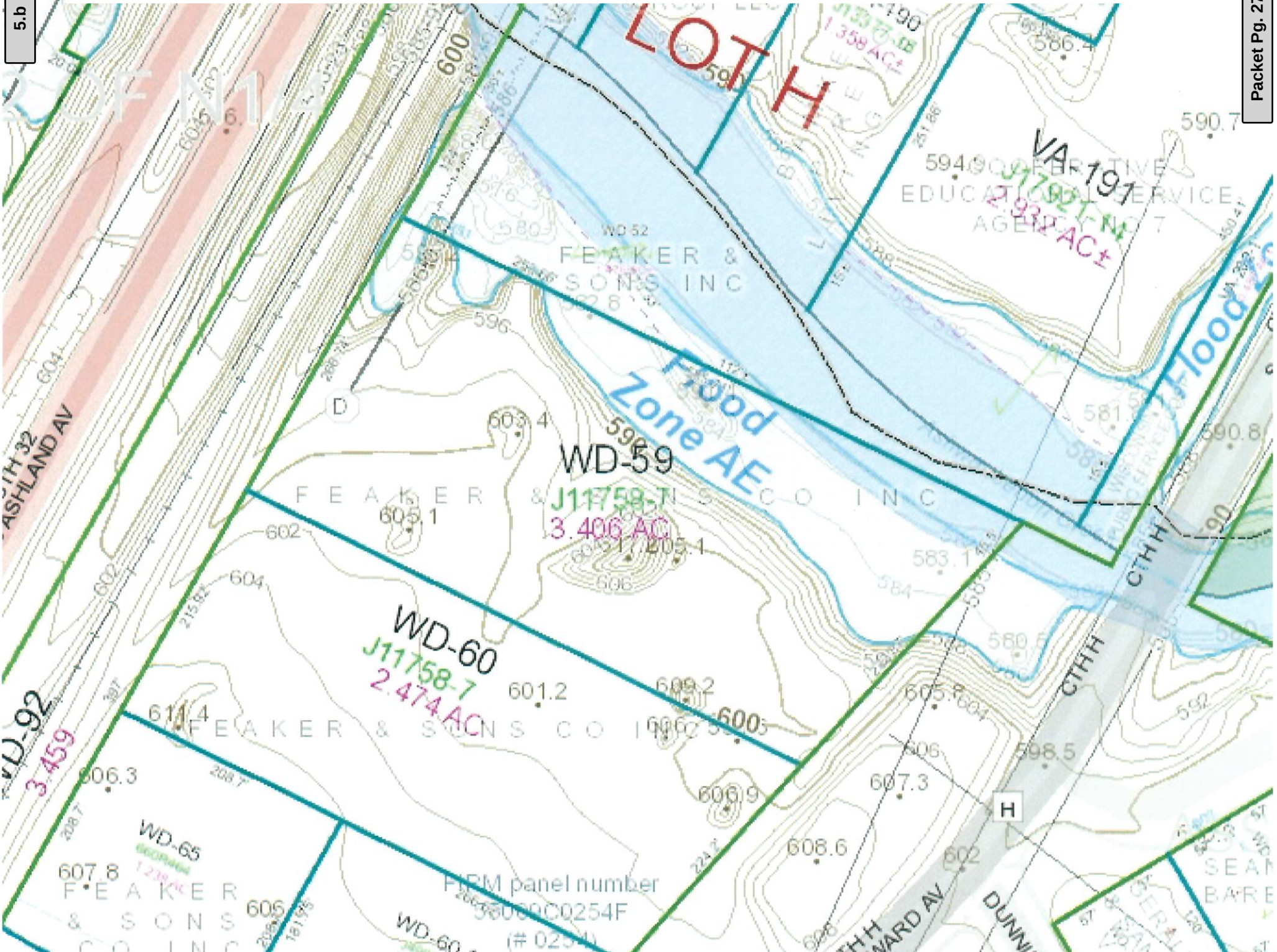
Sincerely,

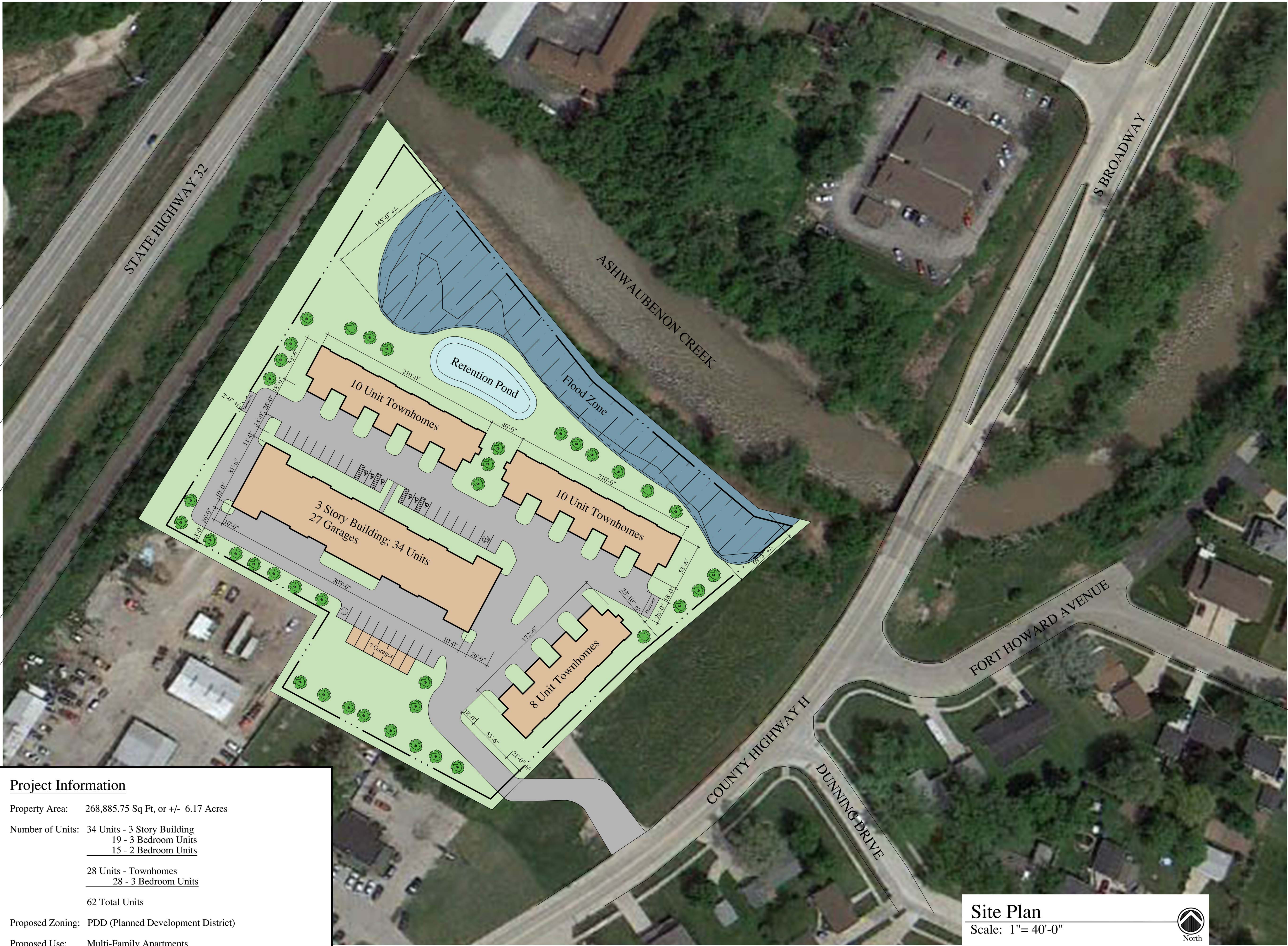
Kevin C. McDonell
Vice President of Development

54 East First Street · Fond du Lac, WI 54935 · (920) 922-8170 · Fax: (920) 922-8171

www.commonwealthco.net

Attachment: Commonwealth_Rezone (2870 : Commonwealth)





Project Information

Property Area: 268,885.75 Sq Ft, or +/- 6.17 Acres

Number of Units: 34 Units - 3 Story Building
19 - 3 Bedroom Units
15 - 2 Bedroom Units

28 Units - Townhomes
28 - 3 Bedroom Units

62 Total Units

Proposed Zoning: PDD (Planned Development District)

Proposed Use: Multi-Family Apartments

Parking Provided: 62 Surface Stalls (6 HC/ADA Accessible)
62 Total Garages
124 Total Stalls Provided

11.14.2014

M-A MEIKLEJOHN+ASSOCIATES DESIGN, LLC
79 East Division Street
Fond du Lac, Wisconsin
p (920) 923-3163

COMMONWEALTH
CONSTRUCTION CORPORATION
514 E. FIRST STREET, FOND DU LAC, WI 54935
(920) 922-8170 FAX: (920) 922-8171

PRELIMINARY
New Buildings For:
Fort Howard Property
County Highway H,
De Pere, WI 54115

2014.92
Site...