



Redevelopment Authority

Regular Meeting

335 South Broadway
De Pere, WI 54115
<http://www.de-pere.org>

Agenda

Monday, January 27, 2020	6:00 PM	De Pere City Hall Council Chambers
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Pursuant to Wisconsin Statutes 19.84, Notice is hereby given to the public that a meeting of the **Redevelopment Authority** of the City of De Pere will be held on **January 27, 2020** at **6:00 PM** in the **De Pere City Hall Council Chambers, 335 S. Broadway Street, De Pere, WI 54115.**

This meeting can be viewed LIVE at www.depere.tv. This meeting is also rebroadcast on Spectrum Cable Channel 4 and AT&T U-verse Channel 99 throughout the week and available on demand at www.depere.tv.

Call to Order

1. Roll Call
2. Approval of the minutes of the December 3, 2019 Special Redevelopment Authority meeting.
3. Introduction of Daniel Lindstrom, Director of Development Services.
4. Review and Possible Action on Request of Mulva Cultural Center to Acquire Parcel ED-812. *

PLEASE TAKE NOTICE, that pursuant to Wis. Stats. §19.85(1)(e), the Authority may convene in closed session to deliberate and consider competitive and bargaining reasons/concerns regarding the proposed transfer of Authority owned property.

The Authority may then reconvene in open session to take action on any matter discussed in closed session or for such other purposes as are allowed by law.

Adjournment

Any person wishing to attend this meeting, who, because of disability, requires special accommodations should contact the Development Services Department at 339-4043 by noon on the day of the meeting so that arrangements can be made.

*Items with an asterisk require City Council approval.

Agenda Sent To:

Alderspersons
City Administrator
Mayor
Department Heads
TV, Newspapers & Radio Stations
Kress Family Library
De Pere Chamber of Commerce



City of De Pere, Wisconsin

Request For Redevelopment Authority Action

MEETING DATE: January 27, 2020

DEPARTMENT: Planning

FROM: Kelly Barker

SUBJECT: Approval of the minutes of the December 3, 2019 Special Redevelopment Authority meeting.

ATTACHMENTS:

- RDA_Dec2019_Minutes_Draft (PDF)



Redevelopment Authority

Special Meeting

335 South Broadway
De Pere, WI 54115
<http://www.de-pere.org>

Draft Minutes

Tuesday, December 3, 2019

5:00 PM

De Pere City Hall Council Chambers

Call to Order

The meeting was called to order at 5:00 PM by Chairman Ted Penn

Attendee Name	Title	Status	Arrived
Jerry Henrigillis	Board Member	Excused	
Carol Karls	Board Member	Present	
Ted Penn	Chairman	Present	
Tina Quigley	Board Member	Present	
Lisa VandenAvond	Board Member	Present	
Joe Van Deurzen	Board Member	Present	
Julie Van Straten	Vice Chair	Present	

Also present: Development Services Director Kim Flom and City Attorney Judy Schmidt-Lehman.

2. Approval of the minutes of the September 23, 2019 Redevelopment Authority meeting.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Joe Van Deurzen, Board Member
SECONDER:	Tina Quigley, Board Member
AYES:	Karls, Penn, Quigley, VandenAvond, Van Deurzen, Van Straten
EXCUSED:	Jerry Henrigillis

3. Consideration and possible action regarding Facade Grant Guidelines. *

Development Services Director Kim Flom reviewed the current facade grant guidelines. She reported that the program has gone through some major changes in recent years. These changes have made the facade grant program more attractive, which has caused a huge increase in the number of facade grant applications. In fact, facade grant funds have been doubled in the last few years. Two discussion items that Kim brought up for consideration by the RDA were setting a timeline to complete projects and prioritizing projects. Ted Penn stated that he is in favor of putting a time limit on completing the work within a year. Joe Van Deurzen added that he would like to add a sunset clause of 45 days to start a project and 120 days to complete a project. If something came up and an applicant could not complete the project within that time period, they could request an extension. Kim stated that she feels 45 and 120 days are too restrictive. She explained that some projects run into issues regarding contractor availability or weather issues that are not under the control of the applicant. She agreed that implementing a timeline is a good idea, but encouraged some flexibility in setting the timeline so as not to discourage people from applying for the program. Carol Karls added that the RDA could end up granting several extensions since all projects are different. Kim replied that from a staff perspective, a timeline is a good idea, but urged the RDA to keep it simple. They do not want to have to grant extensions which would tie up administrative time. She noted that a year seems to be a fair timeline because then you go through all the seasons. Julie Van Straten and Lisa VandenAvond both agreed with the idea of a timeline clause, but agreed that the 45 and 120 days are too restrictive. Kim suggested that the RDA decide on a time frame as a group; otherwise, staff could do further research on other downtown facade grant programs before making a final decision. Tina Quigley suggested that the

Mainstreet Design Committee could also help out with the research. Carol Karls suggested treating it as a development agreement where the applicant agrees upon an acceptable completion date. If the work isn't completed by that date, they need to request an extension. Julie Van Straten stated that this type of agreement would work well because it treats each project on an individual basis since some projects are more complex and may take longer than other projects. This way, there is not a one size-fits all deadline for projects. City Attorney Judy Schmidt-Lehman suggested that the facade grant application form be made more clear and specifically list the start date and completion date, with a space for the applicant's signature. This way, the specific time frame is in writing and it is more binding. Everyone was in agreement of this change. Development Services Director Kim Flom noted that any revisions to the application will come back to the RDA for final approval. Next, Kim brought up the topic of prioritization of projects and whether or not the RDA should prioritize projects rather than be reviewed on a first-come, first-serve basis. Also up for discussion is whether projects need to meet certain criteria or qualifications or leave the guidelines as they are. Ted Penn and Tina Quigley both agreed that projects should be prioritized. Carol Karls stated that she was in favor of exploring alternatives to clearly define the guidelines but is concerned that forcing a timeline to submit facade grant applications may make the program too competitive. The way these projects come about is that the timing is never in sync with a set application period. She felt that a set application period would cut off a lot of people from applying for a facade grant. Tina Quigley suggested that a process for prioritizing facade grant applications should be based more on identifying criteria. Development Services Director Kim Flom stated that staff would explore different options and present them at a future RDA meeting. She added that there would not be a December RDA meeting and that with a new staff person transitioning into the new role, the RDA may not meet again until possibly February.

RESULT:	NO ACTION
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Adjournment

Ted Penn thanked Development Services Director Kim Flom for her service with the City of De Pere. Julie Van Straten moved, seconded by Carol Karls, to adjourn the meeting at 5:39 PM. Upon vote, motion carried unanimously.

Respectfully submitted,
Kelly Barker



City of De Pere, Wisconsin

Request For Redevelopment Authority Action

MEETING DATE: January 27, 2020

DEPARTMENT: City Attorney

FROM: Judith Schmidt-Lehman

SUBJECT: Introduction of Daniel Lindstrom, Director of Development Services.

ATTACHMENTS:

- Press Release - Lindstrom Development Services Director Start(DOCX)

PRESS RELEASE

For Immediate Release: 1/17/2020

City of De Pere
335 South Broadway
De Pere, WI 54115-1199
www.de-pere.org

Contact: Andrew Pantzlaff
Communications Specialist
Phone: 920-339-2371
apantzlaff@mail.de-pere.org



Lindstrom tabbed as De Pere's next Development Services Director *Begins official duties on January 27, 2020*

DE PERE, WIS. – Daniel Lindstrom will be the City of De Pere's new Development Services Director, effective an official start date of January 27, 2020.

The Development Services Director in De Pere is tasked with overseeing the City's economic development program, promoting growth and development of the City's economic base, assisting in the retention and expansion of existing businesses and vigorously seeking out new businesses for the City.

This position also oversees the functions of the Planning, Zoning, Geographic Information Systems (GIS), Building Inspection and Code Enforcement.

Prior to joining De Pere, Lindstrom's most recent career roles include working for Vierbicher as a Planning and Community Development Department Manager (Principal Planner). In this role, he managed a team of planners and designers to assist municipalities and businesses on many aspects of economic development and planning. In addition, Lindstrom himself served as a community planner, zoning, and sign administrator for several communities in Wisconsin and was a tax increment financing (TIF) planner where he facilitated the creation, amendment, administration, and reporting of tax increment districts and business parks throughout Wisconsin.

Previous to his time at Vierbicher, Lindstrom held a Planner II role with the City of Green Bay. Lindstrom received his Masters of City and Regional Planning from the Ohio State University - Knowlton School of Architecture and an undergraduate degree in Urban and Regional studies from the University of Wisconsin – Green Bay.

For more information on the City of De Pere, visit deperewi.gov.

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City of De Pere, Wisconsin

Request For Redevelopment Authority Action

MEETING DATE: January 27, 2020

DEPARTMENT: City Attorney

FROM: Judith Schmidt-Lehman

SUBJECT: Review and Possible Action on Request of Mulva Cultural Center to Acquire Parcel ED-812. *

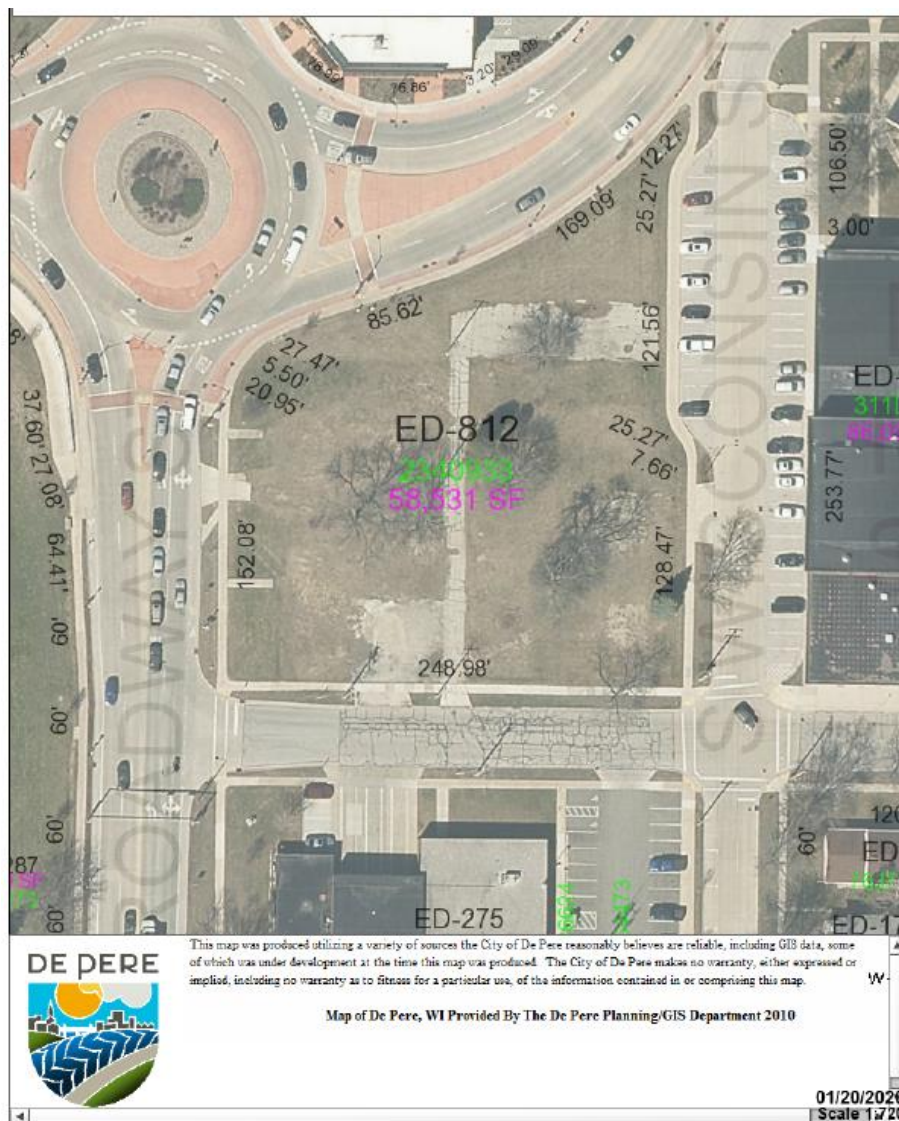
ATTACHMENTS:

- RDA Staff Report Mulva Cultural Center Request for ED-812 (DOCX)
- Mulva Cultural Center Request to RDA 20200117 (PDF)

Item 4: Request of Mulva Cultural Center/DePere Cultural Foundation Inc. to Acquire Parcel ED-812 (221 S. Broadway Street)

Project Description:

The Redevelopment Authority (RDA) has received a formal request for the DePere Cultural Foundation Inc. ("Cultural Foundation") to acquire Parcel ED-812 (221 S. Broadway Street). The Cultural Foundation seeks to construct a first-class cultural destination in downtown De Pere, with a two-story building which includes a large exhibition hall, an auditorium, and a large double-height and multi-purpose atrium. Attached is a full description of the project along with projected timeline. City staff recommends the RDA authorize City staff to negotiate an agreement with the Cultural Foundation for the transfer of ED-812 with final approval of the same by the RDA and the Common Council.



MULVA CULTURAL CENTER



WRITTEN REQUEST TO THE CITY OF DE PERE TO ACQUIRE PROPERTY AND RIGHT OF WAY

SOM | **BOLDT**

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Legal name of entity who will be party to Developer's Agreement

**Business Plan /
Programming Plan**

**Conceptual Site Plan +
Building Elevations**

Design and Construction Timeline

Construction Value

Assessed Value

**Estimated Economic Impact
throughout Downtown**

**LEGAL NAME OF ENTITY
WHO WILL BE PARTY TO DEVELOPER'S AGREEMENT**

DEPERE CULTURAL FOUNDATION INC.

A non-stock, non-profit corporation under Wisconsin law.

BUSINESS PLAN/ PROGRAMMING PLAN

The facility will feature over 10,000 square feet devoted to national touring exhibitions from leading firms such as National Geographic and the Smithsonian in Washington, D.C. For example, "JFK's Life and Times", "Gettysburg" or "Elephants and Us: Considering Extinction".

The Center will also have a 200-plus seat auditorium for lectures, artistic performances and film. Two state-of-the-art classrooms will educate and stimulate intellectual curiosity.

The atrium will have stunning views of the riverfront and downtown De Pere and serve as a community 'living room'. A signature restaurant and gift shop will be located adjacent to the atrium.

The Center will be open from 9am to 6pm, six or seven days a week. The Center will be open occasionally in the evening for private receptions, particularly during periods when hosting a special exhibition.

It is challenging to accurately estimate the number of visitors and the spending habits of those visitors but we believe the information below is a conservative and somewhat educated guess. The Milwaukee Public Museum features 2-3 special traveling exhibitions each year and has an IMAX theater. MPM is the most visited museum in Wisconsin - hundreds of thousands of visitors annually. Bergstrom-Mahler Museum of Glass in Neenah is a smaller non-profit and registers around 20,000 annual visitors. The Mulva Cultural Center could expect to attract significantly more than 100,000 visitors on an annual basis.

In the Fox Cities (Appleton area) per-person average spending when visiting an arts and culture venue is \$30.74. Using this number as a guide, I would project visitor spending in our community by cultural center visitors would exceed \$3,100,000 annually. Of course, this projection will be greatly impacted by the type of development on Broadway downtown.



CONCEPTUAL SITE PLAN + BUILDING ELEVATIONS

DESIGN PROPOSAL

Introduction

The proposed design for the Mulva Cultural Center is aimed at creating a first-class cultural destination for the community of De Pere and for greater northeast Wisconsin. The two-story building is situated on a prominent intersection in downtown De Pere and faces the Fox River, creating a connection to the history of the area and becoming a prominent destination within the city. The project seeks to become an invaluable cultural asset for the community.

The two-story building contains a large exhibition hall, an auditorium, classrooms, a restaurant, and a large double-height and multi-purpose atrium. The exhibition hall will host world-class traveling exhibits, creating a compelling and ever-changing series of attractions that will benefit local citizens and visitors alike. The auditorium will accommodate a variety of events including movie showings, lectures, live music, and other community attractions. In addition, the auditorium combined with two classrooms will help support robust educational activities within the center. The restaurant will be flexible and be able to serve and accommodate small, intimate dining scenarios as well as larger catered events within the atrium. Finally, the double-height atrium will serve as a grand and spacious entry sequence while providing circulation, daylight, and a sense of spatial connection within the building.

The design seeks to be a timeless piece of architecture that supports a wide variety of cultural, community, and educational events within its doors. The Mulva Cultural Center is a place where all visitors are invited to experience a culturally creative and diverse environment for education, enlightenment, contemplation and enjoyment.

Massing

The proposed design is a two-story building, standing at 50' tall with a prominent horizontal roof line. The roofline extends out on the west face of the building, facing the Fox River and creating protection from the western afternoon and evening sun. The roof floats over a series of vertical stone volumes and glass planes, creating a sense of rhythm and composition. The building is elevated on a plinth roughly 10' tall to create a civic presence while also maintain ease of access. The vertical stone volumes utilize locally sourced materials and the surfaces of glass are aligned with interior moments to allow for views and connections with the surrounding landscape. A solid and elegant south façade protects interior spaces from harsh and direct southern light, especially into the traveling exhibit hall, and provides separation of cultural activities within the building to adjacent residential buildings and a fire station to the south. The main entry is positioned on the east face of the building facing a drop-off and parking surface.

The main entry and drop-off is covered by a generous entry canopy, providing protection from some of the harsh elements of a northern Wisconsin climate. The canopy provides a protected, gracious, and accessible entry sequence into the main atrium of the building.

Atrium

The two-story atrium is positioned on the north side of the building, facing a prominent roundabout intersection. The atrium is covered by the prominent roofline that is lined with a series of skylights which allows for pleasant, filtered light to enter the space. The north-facing glass will promote comfortable diffuse light, making the space feel connected to the outdoors throughout the year. A grand stair is positioned within the atrium to provide vertical circulation and special moments of visual connection within the building.

Auditorium

A 224-seat auditorium has a main entry situated adjacent to the first-floor classrooms, creating a density of specific educational spaces within the center. Both the auditorium and classrooms are directly accessed from a secondary entry on the south face of the building with an associated drop-off for larger educational groups. In addition, the back of the auditorium opens directly to the atrium, provides a flexible and useful connection to restaurant and atrium functions. The auditorium will be designed to accommodate a wide range of events, including movies, performances, lectures, and informal screenings.

Outdoor Terrace

The second floor provides a west-facing exterior terrace, which will provide stunning panoramic views out over the Fox River. The terrace will have direct sightlines to St. Norbert College on the west side of the Fox River as well as views of downtown De Pere, Broadway Street, Main Avenue Bridge and even to parts of Green Bay further north along the river. The terrace will be accessed adjacent to the traveling exhibit hall, providing a moment of contemplation before or after visiting the traveling exhibit.

Traveling Exhibit Hall

A 10,000 square foot, column-free traveling exhibit hall is the major space of the second floor. The Exhibit hall will be the main attraction of the cultural center and is designed to accommodate a variety of exhibits, from art displays, sculpture, media, among many other types of events. The exhibit hall serves as the heart of the building, connected by the atrium to all the supporting functions of the cultural center.

Building Envelope

The building envelope is a combination of highly transparent curtain wall and stone rainscreens. The window to wall ratio is about 60% with solid portions of the façade are located on the south side, where the light could be too intense, and glass on the west side, where the views of the River are desirable. The building is topped with an inverted roof that cantilevers to provide further coverage to the façade.

The curtain wall system consists of custom painted steel vertical mullions. The glazing is structurally silicone connected, consists on triple insulated laminated low iron glass with low-E coatings. In addition, the glass will also contain a bird friendly UV coating, to be respectful of bird migration paths and nature conservation, considerably important here because of the adjacency to the river. Last, the areas that required daylight control will be equipped with a wood venetian blind system, that will allow to filter the light and accommodate different uses in the atrium.

The rain screen façade consists on limestone pieces with open joints covering a heavy insulated wall and water barrier. This will provide an opportunity to further decreasing the thermal transmittance of the building with heavy insulated areas.

Last, the roof consists on an inverted roof system, covered with aluminum metal panels to provide a homogeneous appearance. The perimeter of the roof will be heat traced, and will be draining to a heat traced perimeter gutter that will collect all water and redirect it to the columns. Below the roof, a system of wood fins soffit spans from the interior to the exterior, providing continuity from both spaces and warmth to the users. Last, the roof also contains a succession of insulated skylight, that redirect the light towards the interior of the atrium.

Friendly Towards Neighbors

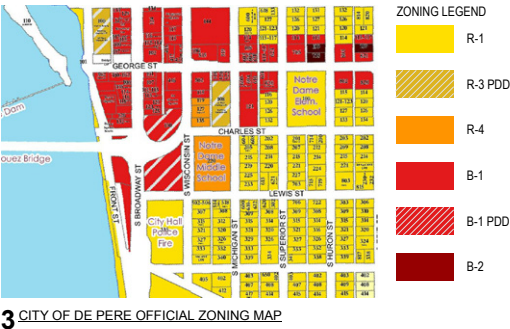
Mulva Cultural Center provides maximum energy conservation while maintaining visual transparency and daylighting, resulting in low levels of reflectivity. The visual transparency of its curtain wall system has very low reflectivity which will minimize any glare caused on the neighbors. The expected exterior reflectivity of the glass is 8% - 15%. Because the building has a generous overhang with its roof system, it allows a warm, protected space for the pedestrians while casting shadow against the glass façade, further reducing reflection.

Parking

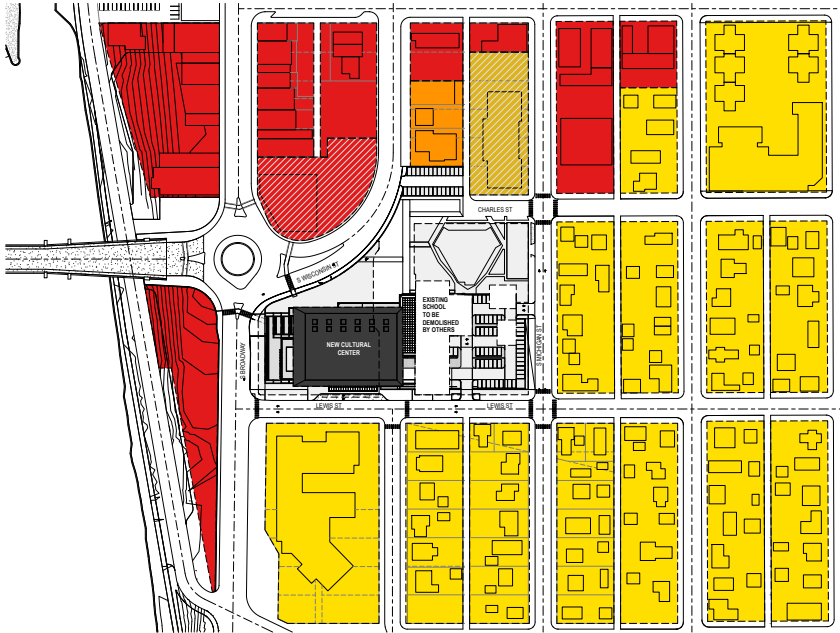
The center is equipped with an adjacent parking lot that has 89 parking spaces and total of seven ADA spaces, with a drop-off canopy that covers 10 cars. An additional parking lot that accommodates 27 parking spaces is located on the north side of the site. Total number of parking spaces is 123, four more spaces than the required number of 119 per zoning code.

Energy Efficiency

Multiple strategies are employed in the building to maximize energy efficiency. The large surfaces of stone rain screen provide an opportunity for high insulation areas. In addition, the use of triple insulated glass minimizes any thermal transfer between the interior and exterior. The temperature comfort indoors is provided by radiant floors that provide heating and cooling during winter and summer. Furthermore, geothermal wells will provide a reliable and efficient energy source.



3 CITY OF DE PERE OFFICIAL ZONING MAP

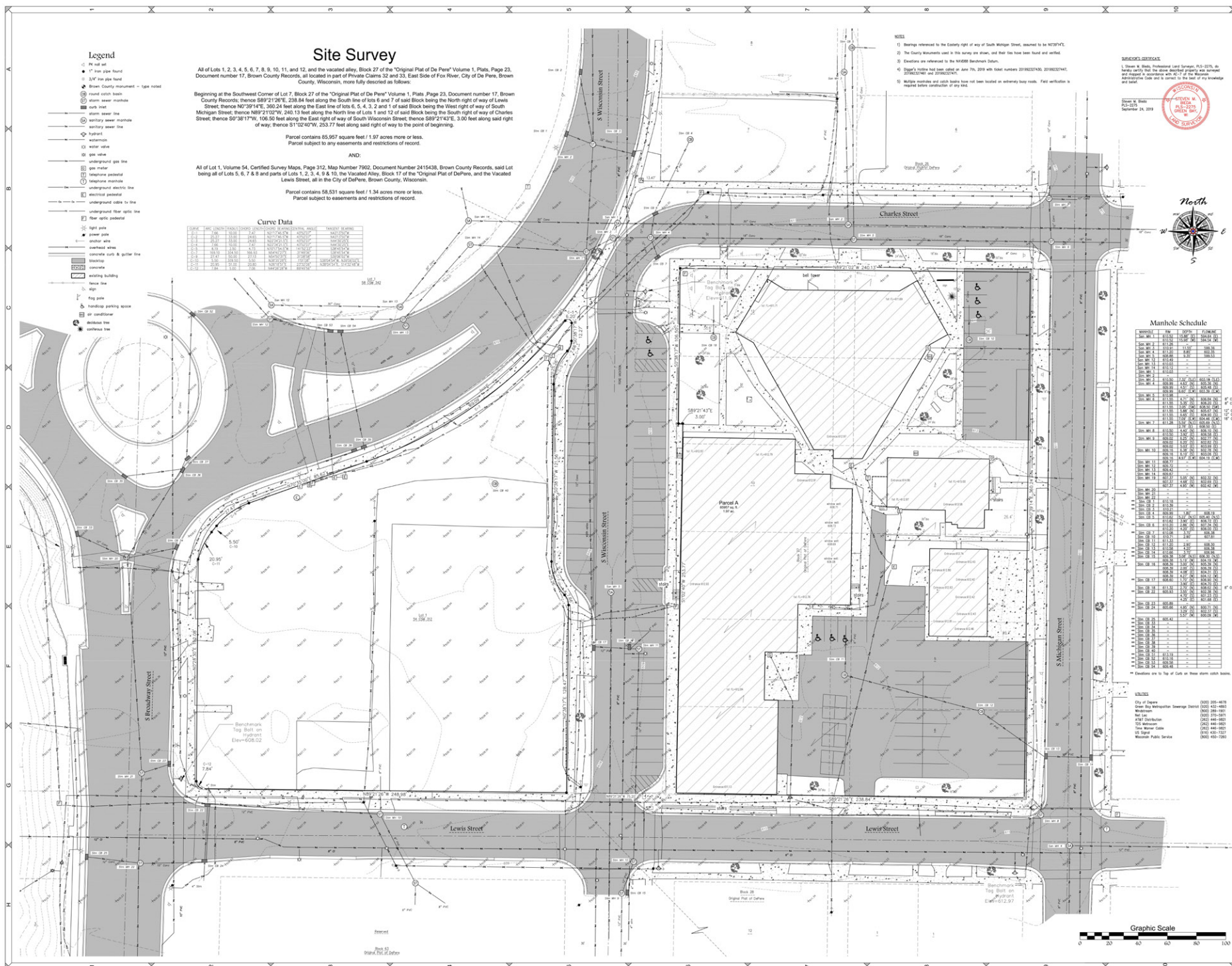


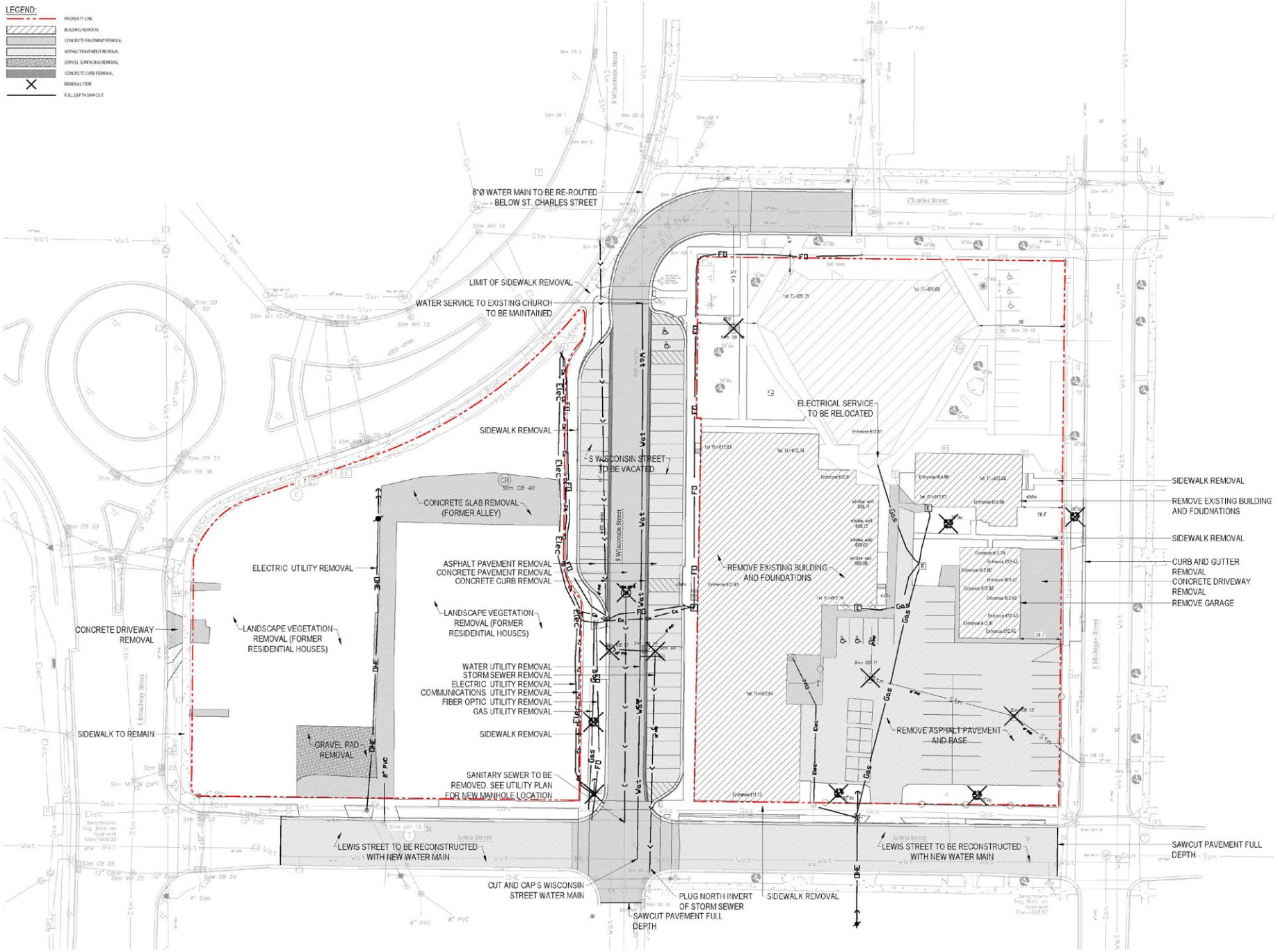
1 ZONING PLAN

2 GENERAL NOTES

1. PROJECT ELEVATIONS ARE RELATIVE TO THE **DE PERE/WISCONSIN** SURVEY CONTROL MARKERS (NAME) DATUM. PROJECT ELEVATION +0.00 = **621.50**
2. PROJECT NORTH IS **0.8 DEGREES WEST** FROM TRUE NORTH.
3. THE OWNER WILL MAKE AVAILABLE A SURVEY OF THE SITE, EXISTING UTILITIES AND EXISTING CONSTRUCTION. THE SURVEY REPRESENTS ALL CONDITIONS KNOWN TO THE OWNER. OTHER CONSTRUCTION, OF WHICH NO RECORDS ARE AVAILABLE, MAY BE ENCOUNTERED. THE CONTRACTOR SHALL FORMULATE HIS OWN CONCLUSIONS AS TO THE EXTENT OF SUCH CONSTRUCTION, AND SHALL NOTIFY THE OWNER AND THE ARCHITECT IMMEDIATELY IF THE SURVEY APPEARS TO BE AT VARIANCE WITH THE ACTUAL CONDITIONS ENCOUNTERED. THE SURVEY WAS PREPARED BY THE FOLLOWING SURVEYOR: TRONNES SURVEYS (1976) LTD.

SITE ZONING:	B-1 PDD
SITE AREA:	168,800 SF
BUILDING FOOTPRINT:	LEVEL 2: 20,070 SF LEVEL 1: 27,625 SF LEVEL B1: 26,110 SF
TOTAL BUILDING AREA (GFA):	73,805 SF
BUILDING HEIGHT:	60'





1 SITE DEMOLITION PLAN
1" = 25'-0"

SOM
SKIDMORE, OWINGS & MERRILL LLP
204 SOUTH MICHIGAN AVENUE, SUITE 1800
CHICAGO, ILLINOIS 60604

MULVA CULTURAL CENTER
DE PERE CULTURAL FOUNDATION, INC.
201 S ADAMS ST
GREEN BAY, WI 54301-4513

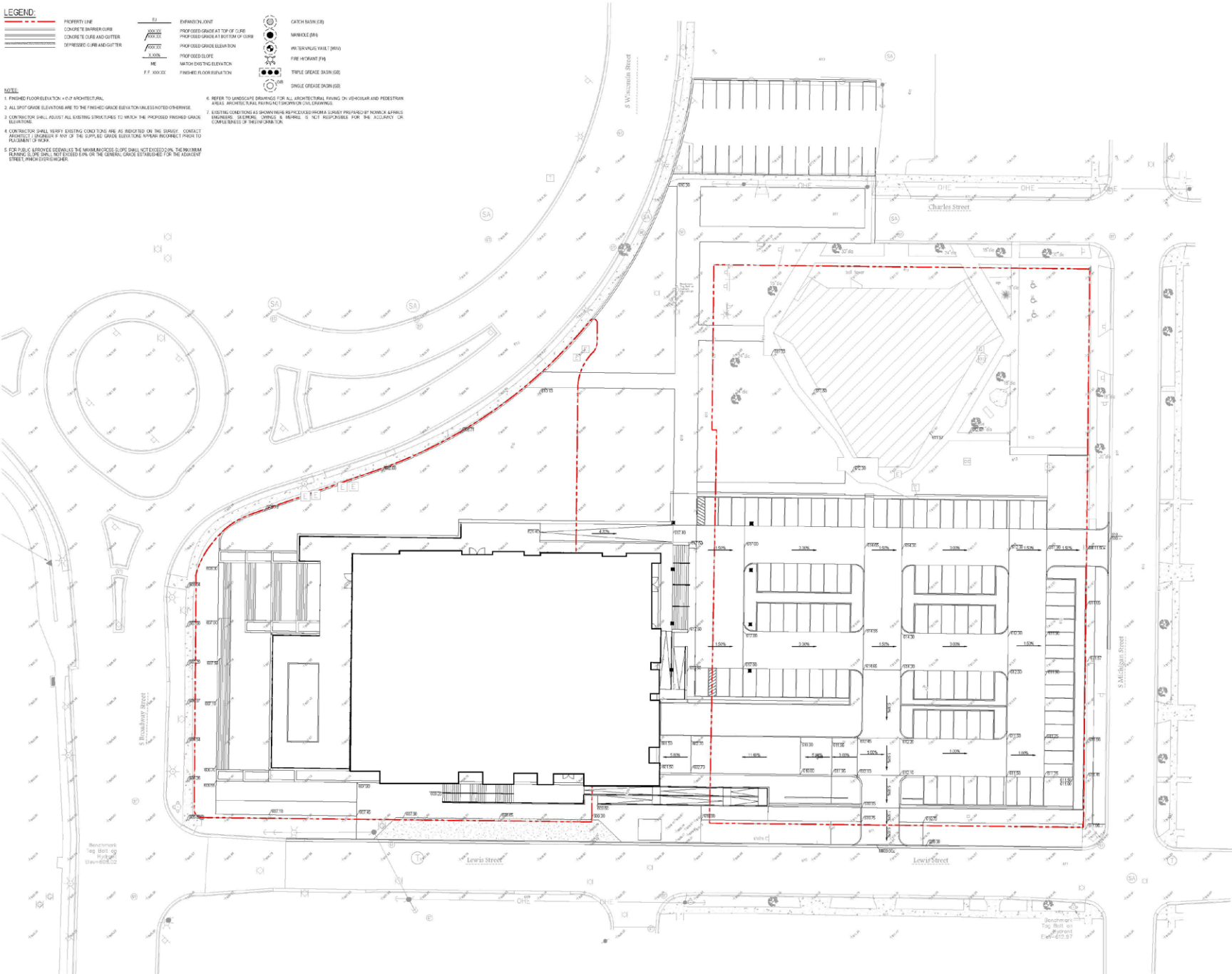
MULVA CULTURAL CENTER

201 S ADAMS ST
GREEN BAY, WI 54301-4513

SHEET TITLE
SITE DEMOLITION PLAN
PROJECT NO.
218560
DATE
01/13/20

SHEET NO.
1

- LEGEND:**
- | | | |
|-----------------------------|----------------------------------|-------------------------|
| PROPERTY LINE | EXISTING FLOOR | CATCH BASIN (CB) |
| CONCRETE DRIVEWAY | PROPOSED GRADE AT TOP OF CURB | MINOR (M) |
| CONCRETE TO CURB AND GUTTER | PROPOSED GRADE AT BOTTOM OF CURB | WATER VALVE (V) (WV) |
| EXPANDED CURB AND GUTTER | PROPOSED GRADE ELEVATION | FIRE HYDRANT (FH) |
| | PROPOSED DRAIN | TRIPLE GRADE BASIN (GB) |
| | EXISTING ELEVATION | SINGLE GRADE BASIN (GB) |
| | FINISHED FLOOR ELEVATION | |
- NOTE:**
1. FINISHED FLOOR ELEVATION = 0.0' ARCHITECTURAL
 2. ALL PROPOSED GRADE ELEVATIONS ARE BASED ON THE PROPOSED GRADE ELEVATION
 3. CONTRACTOR SHALL ADJUST ALL EXISTING STRUCTURES TO MATCH THE PROPOSED GRADE ELEVATION
 4. CONTRACTOR SHALL VERIFY EXISTING CONDITIONS AND REPORT ON THE SURVEY. CONDUCT SURVEY (SURVEYOR) IF ANY OF THE SUPPLIED GRADE ELEVATIONS APPEAR INCORRECT PRIOR TO PLACEMENT OF REBAR
 5. FOR PUBLIC & PRIVATE DEVELOPERS THE MINIMUM GRADE ELEVATION SHALL NOT EXCEED 0.0' ON THE MINIMUM GRADE ELEVATION. THE GRADE SHALL NOT EXCEED 0.0' ON THE MINIMUM GRADE ELEVATION FOR THE ADJACENT STREET (PARKING LOT AREA)
 6. REFER TO LANDSCAPE DRAWINGS FOR ALL ARCHITECTURAL FINISHES ON VEHICULAR AND PEDESTRIAN AREAS. ARCHITECTURAL FINISHES TO BE SHOWN ON ALL DRAWINGS
 7. EXISTING CONDITIONS AS SHOWN WERE REPRODUCED FROM A SURVEY PREPARED BY HORNBY & ASSOCIATES, INC. (H&A). H&A IS NOT RESPONSIBLE FOR THE ACCURACY OR COMPLETENESS OF THE INFORMATION



1 SITE GRADING PLAN
1" = 20'-0"

SOM
SKIDMORE OWINGS & MERRILL LLP
204 SOUTH MICHIGAN AVENUE, SUITE 1000
CHICAGO, ILLINOIS 60604

MULVA CULTURAL CENTER
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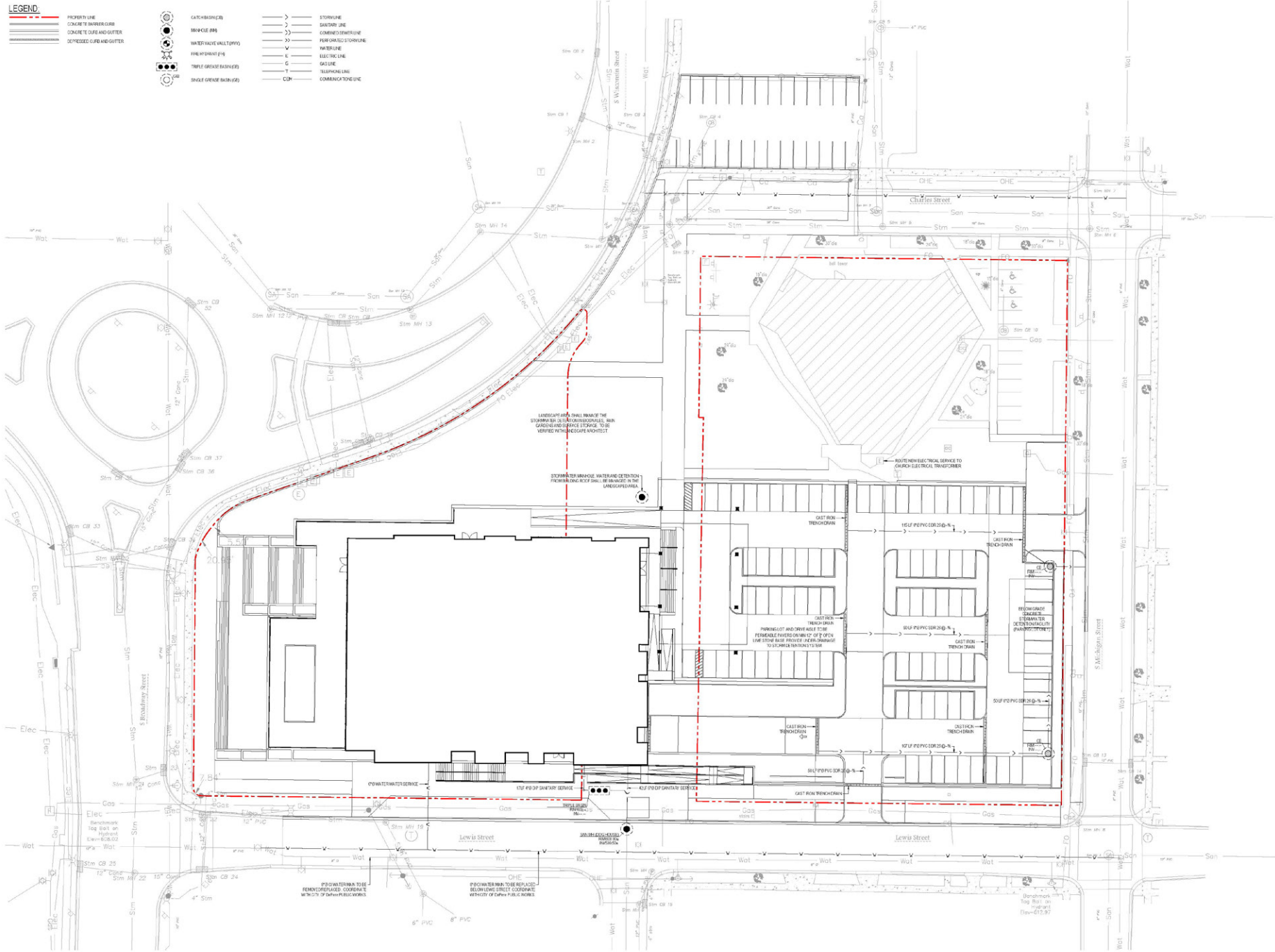
SHEET TITLE
SITE GRADING PLAN
PROJECT NO.
218560
DATE
01/13/20
SCALE

SCALE



- LEGEND**

 - PRIORITY LINE
 - CONCRETE WATER CURB
 - CONCRETE CURB AND GUTTER
 - EXPANDED CURB AND GUTTER
- CATCH BASIN (CB)
 - MANHOLE (MH)
 - WATER VAULT (V)
 - FIRE HYDRANT (FH)
 - TRIPLE GROUND BASIN (TGB)
 - SINGLE GROUND BASIN (SGB)
- STORMLINE
 - SEWAGE LINE
 - COMBINED SEWERLINE
 - PLUMBING SERVICE LINE
 - WATER LINE
 - ELECTRIC LINE
 - GAS LINE
 - TELEPHONE LINE
 - COMBINED UTILITY LINE



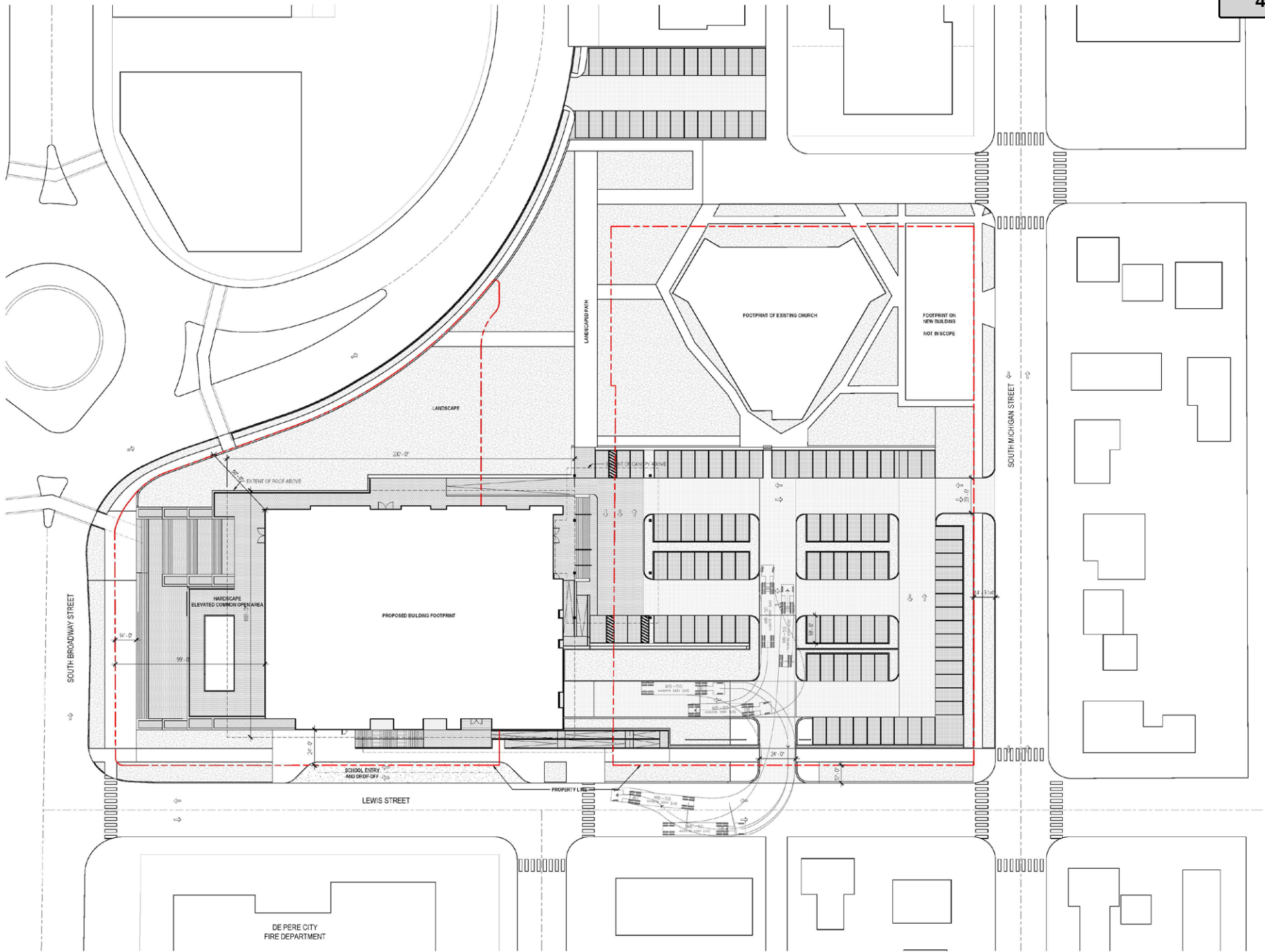
1 SITE UTILITY PLAN
1" = 25'-0"

SOM
SKIDMORE, OWINGS & MERRILL LLP
204 SOUTH MICHIGAN AVENUE, SUITE 1000
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MULVA CULTURAL CENTER
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SHEET TITLE
SITE UTILITY PLAN
PROJECT NO.
210560
DATE
01/13/20



1 SITE PLAN
1" = 20'-0"

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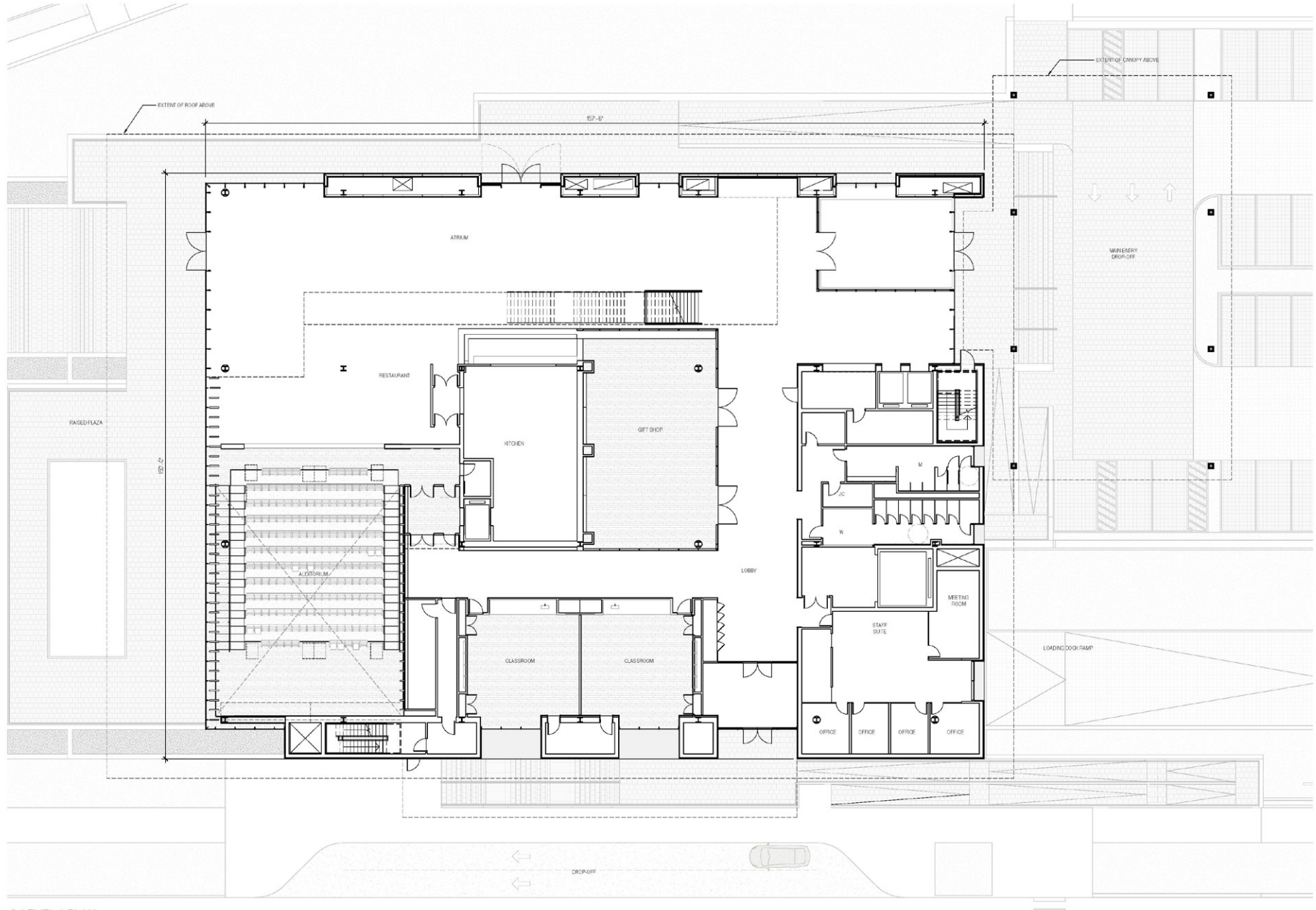
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MULVA CULTURAL CENTER

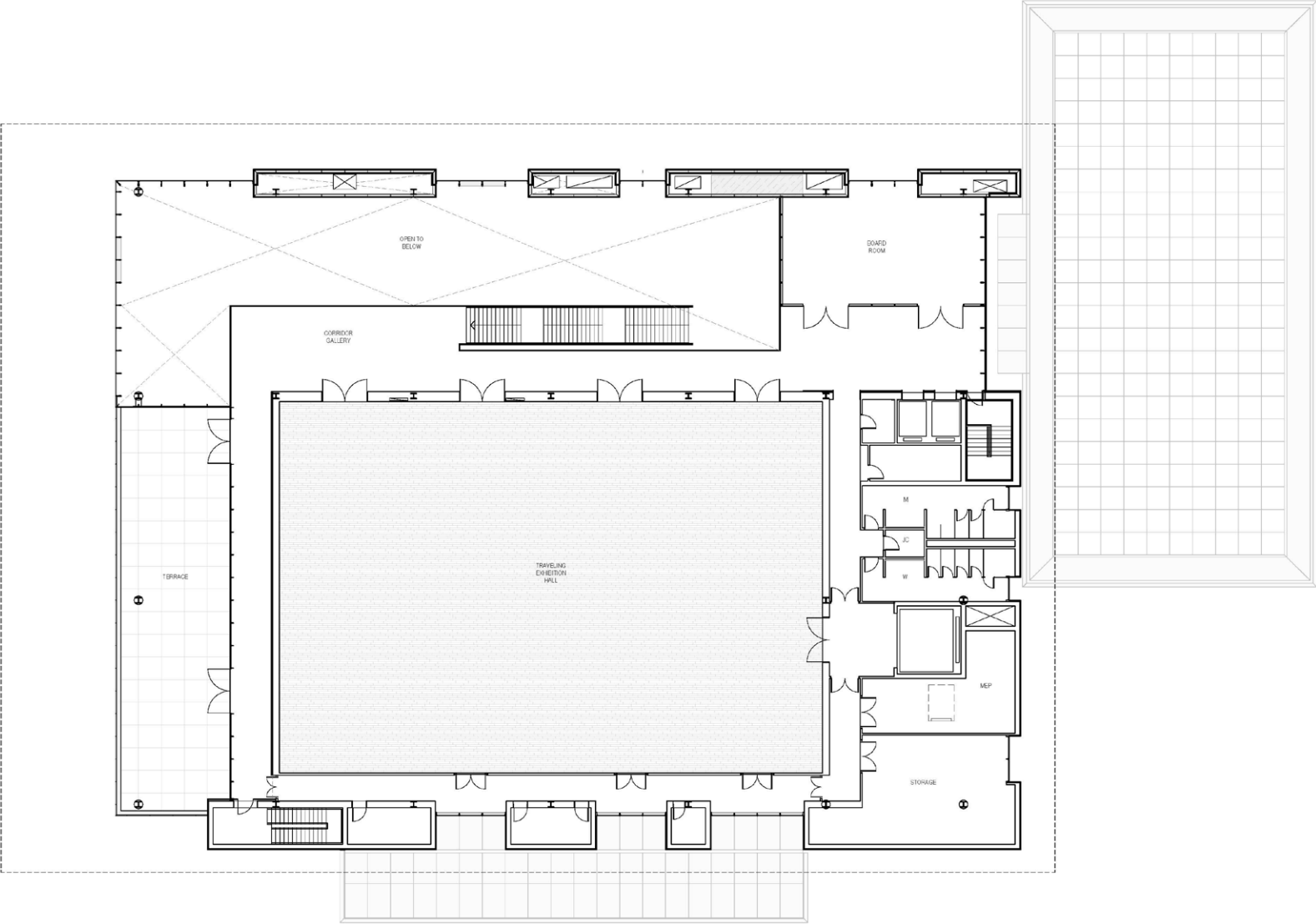
201 S ADAMS ST
GREEN BAY, WI 54301-4513

SHEET TITLE
SITE PLAN
PROJECT NO.
218560
DATE
01/14/20
SCALE
1" = 20'





1 LEVEL 1 PLAN
1/8" = 1'-0"



Attachment: Mulva Cultural Center Request to RDA 20200117 (9140 : Review and Possible Action on



4 WEST EXTERIOR RENDERING



5 NORTH EXTERIOR RENDERING



1 NORTH WEST EXTERIOR RENDERING

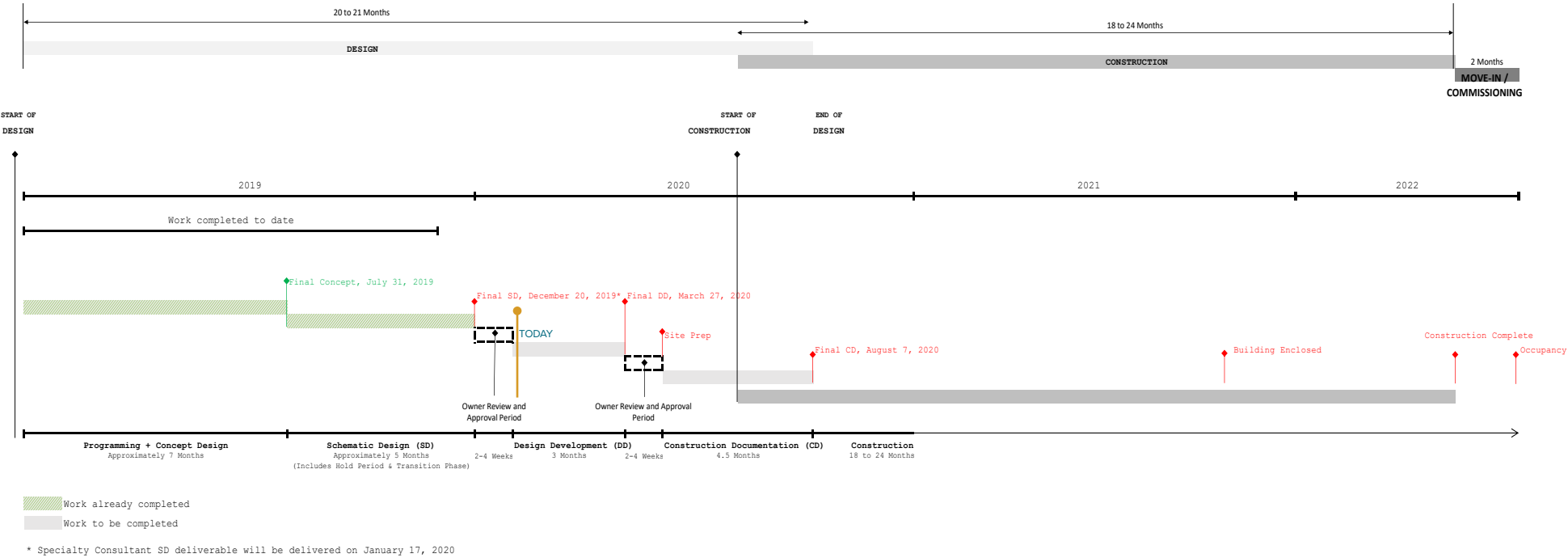


2 SOUTH EXTERIOR RENDERING



3 EAST EXTERIOR RENDERING

DESIGN AND
CONSTRUCTION TIMELINE



CONSTRUCTION VALUE

\$58M
Construction Value

ASSESSED VALUE

\$0.00
Assessed Value

The Mulva Cultural Center will be owned and operated by the De Pere Cultural Foundation, Inc. (DPCF), a non-stock, non-profit corporation under Wisconsin law to construct and operate the center.

ESTIMATED ECONOMIC IMPACT THROUGHOUT DOWNTOWN

COMMUNITY SPENDING

could exceed
\$3.1 MILLION annually

If annual visitors are expected to significantly exceed 100,000 on an annual basis and each person is expected to spend \$31, a conservative estimate of community spending could exceed \$3.1 million annually.