Plan Commission

335 South Broadway
De Pere, WI 54115
http://www.de-pere.org

Regular Meeting

Agenda

Monday, February 26, 2018 | **7:00 PM** | **De Pere City Hall Council Chambers**

Pursuant to Wisconsin Statutes 19.84, Notice is hereby given to the public that a meeting of the **Plan Commission** of the City of De Pere will be held on **February 26, 2018** at **7:00 PM** in the **De Pere City Hall Council Chambers, 335 S. Broadway Street, De Pere, WI 54115.**

This meeting can be viewed LIVE at www.depere.tv. This meeting is also rebroadcast on TW Cable Channel 4 and AT&T U-verse Channel 99 throughout the week and available on demand at www.depere.tv.

Call to Order

1. Roll Call

2. Approval of the minutes of the January 8, 2018 Plan Commission Meeting.

3. Recommendation regarding a Proposed Extraterritorial Two Lot Certified Survey Map at 1445 Viking Lane in the Town of Ledgeview (Parcel D-77). Submitted by Richard A. Huxford, PLS.*

4. Recommendation regarding the proposed 15 Lot Final Plat of "Southbridge Estates First Addition" at 1700 BLK Bridge Port Lane (Parcel WD-L183-5). Submitted by Jim Boyea, Best Built INC.*

5. Review and recommendation for a Proposed Discontinuance of a Walkway Easement between the 1500-1600 BLK Quinnette Lane and Merrill Street in De Pere (Parcels ED-1129-Q-32 & ED-1129-Q-31, Adjacent to Parcels ED-1129-Q-48 & ED-1129-Q-41). Submitted by City of De Pere.*

6. Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 Main Avenue (Parcel WD-708-X-1-2). Submitted by Landform Professional Services LLC.

Adjournment

Any person wishing to attend this meeting, who, because of disability, requires special accommodations should contact the City Planner's office at 339-4043 by noon on the day of the meeting so that arrangements can be made.

Agenda Sent To:
Alderpersons
City Administrator
Mayor
Department Heads
TV, Newspapers & Radio Stations
Kress Family Library
De Pere Chamber of Commerce
Lawrence & Edna Carter
Richard Huxford
Troy Hewitt
Jim Boyea, BEST Built
Matthew & Courtney Stoehr

Shari Linskens
Kevin Shay
Carter Mann
McDonald's Corporation

City of De Pere, Wisconsin

Request For Plan Commission Action

MEETING DATE:	**February 26, 2018**
DEPARTMENT:	**Planning**
FROM:	**Kelly Barker**
SUBJECT:	**Approval of the minutes of the January 8, 2018 Plan Commission Meeting.**

ATTACHMENTS:

- PC_Jan2018_Minutes_Draft (PDF)

Plan Commission

335 South Broadway
De Pere, WI 54115
http://www.de-pere.org

Special Untelevised

Draft Minutes

Monday, January 8, 2018 **5:30 PM** **De Pere City Hall Council Chambers**

Call to Order

The meeting was called to order at 5:30 PM by Alderperson James Boyd

Attendee Name	Title	Status	Arrived
Michael J. Walsh	Mayor	Excused	
James Boyd	Alderperson	Present	
Larry Lueck	Alderperson	Present	
Derek Beiderwieden	Commissioner	Present	
Amy Kundinger	Commissioner	Excused	
Steve Taylor	Commissioner	Present	

Also present: Economic Development & Planning Director Kim Flom, City Planner Peter Schleinz, Parks Director Marty Kosobucki, and members of the public.

2. Approval of the minutes of the November 27, 2017 Plan Commission meeting.

RESULT:	**ADOPTED [UNANIMOUS]**
MOVER:	Derek Beiderwieden, Commissioner
SECONDER:	Steve Taylor, Commissioner
AYES:	James Boyd, Larry Lueck, Derek Beiderwieden, Steve Taylor
EXCUSED:	Michael J. Walsh, Amy Kundinger

3. Review the annexation request for parcel R-27-1, Town of Rockland. *

Economic Development & Planning Director Kim Flom reviewed the annexation request for direct annexation by unanimous approval for 25 acres of land from the Town of Rockland. She noted that the City anticipates future development of this parcel and rezoning requests may occur in order to accommodate some multifamily development. The existing land uses for the parcel are single family home, agricultural, and undeveloped. Kim added that there is a 9.4 acre piece of land that is part of the Fox River Trail which extends from Rockland Road to approximately 920 feet south of the annexation parcel. If the annexation is approved, this parcel would be effectively surrounded by the City of De Pere. The DNR was contacted to inquire if they would consider annexing this portion of the trail into the City of De Pere, but they are not interested at this time. If approved, the annexation would be forwarded to the Common Council for final approval at their January 16, 2018 meeting. The Wisconsin Department of Administration reviews and issues a determination on whether the proposed annexation is in the public interest or against the public interest. Kim stated that the State has not yet issued their determination for this petition but are hoping to receive it before the Council meeting on January 16th. Larry Lueck moved, seconded by Derek Beiderwieden, to open the meeting for public comment. Upon vote, motion carried unanimously. Laura Mushinksi, the property owner of the proposed annexed property, addressed the board, stating that she did receive the letter from the Department of Administration, approving the request. James Boyd moved, seconded by Steve Taylor, to close the meeting. Upon vote, motion carried unanimously. Larry Lueck moved, seconded by Steve Taylor, to approve the annexation request with conditions outlined by Planning staff and to forward the request to the Common Council for the required final approval. Upon vote, motion carried unanimously.

Attachment: PC_Jan2018_Minutes_Draft (6708 : Approval of the minutes of the January 8, 2018 Plan Commission Meeting.)

RESULT:	**ADOPTED [UNANIMOUS]**
MOVER:	Larry Lueck, Alderperson
SECONDER:	Steve Taylor, Commissioner
AYES:	James Boyd, Larry Lueck, Derek Beiderwieden, Steve Taylor
EXCUSED:	Michael J. Walsh, Amy Kundinger

4. Recommendation regarding a rezoning request from B-3 (Motor Vehicle Dependent Business District) to B-2 (General Business District) and R-2 (Single and Two-Family Residence District) at 715 N. Eighth Street and 806-814 Ash Street (Parcels WD-609-1, WD-609, WD-604, WD-603, WD-602). Submitted by Andrew Otradovec, VP RODAC Development & Cons., etc.*

City Planner Peter Schleinz reviewed the rezoning request for 6 parcels of land located south of Ashland Avenue and northwest from the Ash Street and N Eighth Street intersection. The subject parcels, with the exception of the residential home at 814 Ash Street, were originally zoned to B-3 when the auto dealer was created in the 1970's. In November 2003, the adjacent residential properties at 816-844 Ash Street were rezoned from B-3 to R-2 to properly reflect the existing uses, but the residential property at 814 Ash Street was not rezoned because the petitioner at that time did not obtain a signature from the property owner. Peter noted that staff attempted to contact the property owner, but was unsuccessful. He added that he would keep trying to contact the property owner, who lives in Texas. Derek Beiderwieden asked if the parcel can still be rezoned without the consent of the property owner. Peter replied that if the property owner can not be reached before the February 6, 2018 Council meeting, the rezoning of the commercial properties can still proceed without the rezoning of the house on Ash Street. James Boyd moved, seconded by Larry Lueck, to approve the rezoning. Upon vote, motion carried unanimously.

RESULT:	**ADOPTED [UNANIMOUS]**
MOVER:	James Boyd, Alderperson
SECONDER:	Larry Lueck, Alderperson
AYES:	James Boyd, Larry Lueck, Derek Beiderwieden, Steve Taylor
EXCUSED:	Michael J. Walsh, Amy Kundinger

5. Recommendation regarding the proposed 15 Lot Preliminary Plat of "Southbridge Estates First Addition" at 1700 BLK Bridge Port Lane (Parcel WD-L183-5). Submitted by Jim Boyea, Best Built INC.*

City Planner Peter Schleniz reviewed the 15 lot preliminary plat for Southbridge Estates First Addition. The site is already zoned R-1, which aligns with the single family residential development that is being proposed by Best Built. There are no wetlands on this property and there is a delineation report on file that states that. Peter noted that the plat is technically insufficient on the two street curves where tangents should measure 100 feet long between reverse curves but only measure 65 feet on the plat. Peter added that the shorter curve does not impact the ability for the City to provide garbage, snow plowing, fire, or other services. Because this plat involves right-of-way being dedicated to the public, the Common Council will review this plat on January 16, 2018. Staff recommended approval of the preliminary plat and forwarding the plat to the Common Council for final approval, subject to conditions outlined by staff. James Boyd asked if the developer is ok with the conditions and Peter replied yes. Derek Beiderwieden

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moved, seconded by Steve Taylor, to approve the preliminary plat. Upon vote, motion carried unanimously.

RESULT:	**ADOPTED [UNANIMOUS]**
MOVER:	Derek Beiderwieden, Commissioner
SECONDER:	Steve Taylor, Commissioner
AYES:	James Boyd, Larry Lueck, Derek Beiderwieden, Steve Taylor
EXCUSED:	Michael J. Walsh, Amy Kundinger

6. Recommendation regarding two street name changes from Whistler Court and Bridge Port Court to Bridge Port Circle, located on the north side of Bridge Port Lane. Submitted by Best Built INC.*

City Planner Peter Schleinz reviewed the street name change request. This agenda item relates to two different streets which are located on the subdivision plat for Southbridge Estates, which was presented in the previous agenda item. Peter explained that because these two streets, Whistler Court and Bridge Port Court, connect in a loop, the use of the suffix "Court" is no longer appropriate because Court indicates a cul-de-sac. Therefore, the street names should both be changed to Bridge Port Circle. Staff recommended approval of the street name changes with the recommendation that it go to the Common Council for final review on January 16, 2018. James Boyd moved, seconded by Derek Beiderwieden, to approve the request. Upon vote, motion carried unanimously.

RESULT:	**ADOPTED [UNANIMOUS]**
MOVER:	James Boyd, Alderperson
SECONDER:	Derek Beiderwieden, Commissioner
AYES:	James Boyd, Larry Lueck, Derek Beiderwieden, Steve Taylor
EXCUSED:	Michael J. Walsh, Amy Kundinger

7. Recommendation regarding a Proposed Three Lot Certified Survey Map at 1030 Main Avenue (Parcels WD-VA450, WD-VA450-1, WD-454 and WD-455-1). Submitted by Garritt Bader, GB 1100 Main LLC.*

City Planner Peter Schleinz reviewed the CSM request for 1030 Main Avenue. The subject property was annexed into the City from Ashwaubenon in 2012. At that time, there was an existing residence and a former assisted living facility on the site. Peter reported that the buildings no longer exist on the site and the applicant plans to develop an Aldi grocery store on the vacant site. The proposed lots 1-3 are zoned B-2, which will be appropriate for a proposed development site that is both a US highway and a gateway street to the City. Peter noted that lot 1 would be the site for the Aldi store, lot 2 is reserved for future development, and lot 3 is dedicated to the public as a proposed storm water management area. Staff recommended approval of the CSM, subject to three conditions, with final review by the Common Council on January 16, 2018. Steve Taylor moved, seconded by James Boyd, to approve the CSM and forward it to Council. Upon vote, motion carried unanimously.

Attachment: PC_Jan2018_Minutes_Draft (6708 : Approval of the minutes of the January 8, 2018 Plan Commission Meeting.)

RESULT:	**ADOPTED [UNANIMOUS]**
MOVER:	Steve Taylor, Commissioner
SECONDER:	James Boyd, Alderperson
AYES:	James Boyd, Larry Lueck, Derek Beiderwieden, Steve Taylor
EXCUSED:	Michael J. Walsh, Amy Kundinger

8. Recommendation regarding a Site Plan for a new commercial building and parking area called ALDI at 1030 Main Avenue (All of Parcel WD-VA454 and part of Parcels WD-VA-450, WD-VA450-1, WD-VA455-1). Submitted by Garritt R. Bader, Principal, GB Real Estate Inv. LLC.

City Planner Peter Schleinz reviewed the site plan for a new commercial building and parking area for an Aldi grocery store at 1030 Main Avenue. This property is the subject of the CSM which was approved in the previous agenda item. The orientation of the building is based on the proposed redesign of the Main Avenue and Lawerence Drive roundabout. The front of the store and the side facing the highway will be heavily landscaped which will help highlight the area as a gateway to the City of De Pere. The site plan proposal includes a 23,621 square foot commercial structure of the Aldi grocery store and a 91 stall parking area with loading dock. Peter noted that a site plan of this nature requires 123 parking stalls. However, because the zoning code is in the process of being rewritten to address outdated calculations, and the parking lot design demonstrates an effective use that will not impact adjacent businesses, staff recommended that the Plan Commission consider allowing a reduced number of parking stalls for the site plan to allow for 91 stalls rather than 123 stalls. Peter noted that there are a number of conditions that must be corrected with the site plan and that staff will work with the developer to correct these items before issuing any building permits. James Boyd asked if there will be a sign and the location of the sign. Economic Development & Planning Director Kim Flom noted that code permits pylon signs as long as the base of the sign is appropriate and fits in with the area. Aldi is proposing to have a pylon sign similar to the sign that exists down the street at the Starbucks. There are also two facade signs on the building. James Boyd moved, seconded by Larry Lueck, to open the meeting for public comments. Upon vote, motion carried unanimously. Representatives from Aldi addressed the board and expressed their excitement of bringing their company to De Pere. They offered to answer any additional questions. There were no further questions. James Boyd welcomed Aldi to De Pere and moved, seconded by Derek Beiderweiden, to go back to regular session. Upon vote, motion carried unanimously. James Boyd moved, seconded by Larry Lueck, to approve the site plan. Upon vote, motion carried unanimously.

RESULT:	**ADOPTED [UNANIMOUS]**
MOVER:	James Boyd, Alderperson
SECONDER:	Larry Lueck, Alderperson
AYES:	James Boyd, Larry Lueck, Derek Beiderwieden, Steve Taylor
EXCUSED:	Michael J. Walsh, Amy Kundinger

9. Review the Draft Comprehensive Outdoor Recreation Plan 2018-2023. Submitted by City of De Pere.*

City Planner Peter Schleinz reviewed the Park Plan Report for 2018-2023, which was developed with recommendations, cost estimates, and prioritizations for each park in the city. He noted that the plan does not approve specific projects or direct specific funding. The Plan was approved by the Board of Park Commissioners on November 16, 2017.

Attachment: PC_Jan2018_Minutes_Draft (6708 : Approval of the minutes of the January 8, 2018 Plan Commission Meeting.)

Before the Plan proceeds to the Common Council for final approval, the Plan must be reviewed by the Plan Commission. Staff provided the Plan Commission members a copy of the Park Plan in November 2017 so they would have plenty of time to review it before the January 8th meeting. Staff recommended approval of the Park Plan and forwarding the Plan to the Common Council for review. James Boyd moved, seconded by Derek Beiderwieden, to approve the Park Plan. Upon vote, motion carried unanimously.

RESULT:	**ADOPTED [UNANIMOUS]**
MOVER:	James Boyd, Alderperson
SECONDER:	Derek Beiderwieden, Commissioner
AYES:	James Boyd, Larry Lueck, Derek Beiderwieden, Steve Taylor
EXCUSED:	Michael J. Walsh, Amy Kundinger

Adjournment

James Boyd moved, seconded by Steve Taylor, to adjourn the meeting at 6:00 pm. Upon vote, motion carried unanimously.

Respectfully submitted,
Kelly Barker

Attachment: PC_Jan2018_Minutes_Draft (6708 : Approval of the minutes of the January 8, 2018 Plan Commission Meeting.)

City of De Pere, Wisconsin

Request For Plan Commission Action

MEETING DATE:	**February 26, 2018**
DEPARTMENT:	**Planning**
FROM:	**Peter Schleinz**
SUBJECT:	**Recommendation regarding a Proposed Extraterritorial Two Lot Certified Survey Map at 1445 Viking Lane in the Town of Ledgeview (Parcel D-77). Submitted by Richard A. Huxford, PLS.***

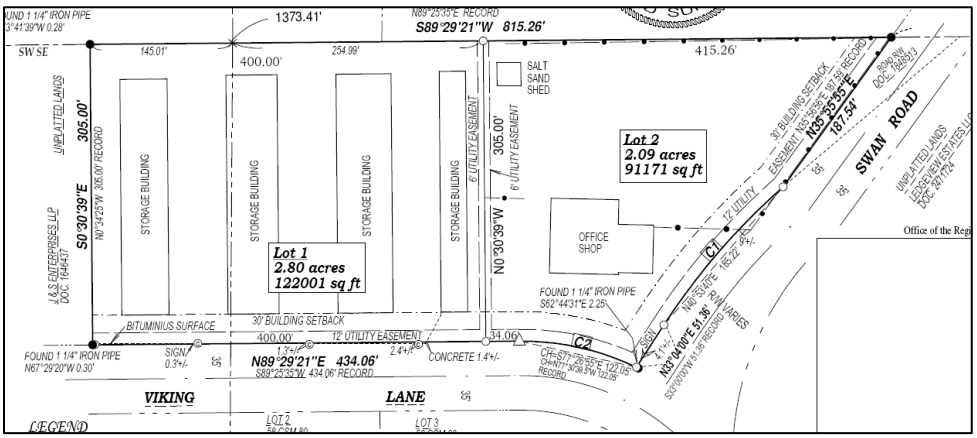
ATTACHMENTS:

- Extraterritorial CSM - 1445 Viking LN in Ledgeview Plan Commission Report (DOCX)
- Application Form (PDF)
- Preliminary CSM (PDF)

ITEM 3: **Recommendation regarding a Proposed Extraterritorial Two Lot Certified Survey Map at 1445 Viking Lane in the Town of Ledgeview (Parcel D-77). Submitted by Richard A. Huxford, PLS.***

SITE MAP

PROPOSED CERTIFIED SURVEY MAP AREA



REQUESTED ACTION: Extraterritorial Certified Survey Map Review.

COMMON DESCRIPTION: Town of Ledgeview, located at the Viking Lane and Swan Road intersection, east from S. Broadway Street (CTH PP).

Attachment: Extraterritorial CSM - 1445 Viking LN in Ledgeview Plan Commission Report (6715 : Recommendation regarding a Proposed

PARCEL NUMBER(S): GL-94
EXISTING ZONING: Town of Ledgeview identifies zoning as "Light Industrial."

PROPOSED ZONING: None proposed.

SURROUNDING LAND USES: Agricultural/vacant and Industrial to the north, south, and west. Multi-family residential to the east.

COMPREHENSIVE PLAN: Located in Town of Ledgeview.

APPLICANT/OWNER NAME:

Richard A. Huxford, PLS
Authorized Representative
5020 Leonard PT. RD
Oshkosh, WI 54904

Carter Joint Revocable Trust
Owner
(Lawrence & Edna Carter)
3401 Carter Lane
De Pere, WI 54115-8780

SITE HISTORY: After a review of air photographs, the property has been used for mini-warehouse storage and an excavation office business since 2000. The uses were expanded over time but did not exist prior to 1992.

The property is within the Sewer Service Area for the Town of Ledgeview. There are no known environmentally sensitive areas identified.

STAFF REVIEW: When reviewing an extraterritorial Certified Survey Map, staff considers State Statutes 236, Section 46-8 of the De Pere Platting and Division of Land Code for general requirements and design standards, required improvements, and public sites and open spaces. Staff also considers the future land use recommendation of the Comprehensive Plan, surrounding land uses, and desired development patterns.

- The proposed division will place an existing mini warehousing use and an existing excavation office use onto separate lots.

The original parcel is 4.9 acres in size. The proposed Lot 1 on the CSM is 2.8 acres in size with 400.0 feet of street frontage and proposed Lot 2 is 2.9 acres in size with 581.8 feet of street frontage.

The proposed lots each meet the city requirements of 75 feet of street frontage and 0.2 acres of lot area. The proposed lots also meet the Town of Ledgeview requirements of 150 feet frontage, 0.5 acres of lot area, 30-foot street setback, 10 foot side yard setback, and 20/25 foot rear yard setback.

In summary, the extraterritorial Certified Survey Map meets the criteria of State Statutes 236 and Section 46-8 of the De Pere Platting and Division of Land Code. The proposed land division does not impact the Comprehensive Plan negatively. The proposed lot size, street frontage, and setbacks meet acceptable City requirements.

REVIEW PROCESS For extraterritorial Certified Survey Map petitions the Plan Commission recommends either approval, rejection, or approval with conditions. The Common Council reviews the Plan Commission recommendation and makes the final decision on the Certified Survey Map. The anticipated Common Council review date is March 6, 2018.

STAFF RECOMMENDATION: Staff recommends APPROVAL of the extraterritorial Certified Survey Map and forwarding the map to the Common Council for final approval, subject to:

1. Meeting all other state and local regulations, including the Town of Ledgeview and Brown County Planning Commission.

Attachment: Extraterritorial CSM - 1445 Viking LN in Ledgeview Plan Commission Report (6715 : Recommendation regarding a Proposed

CITY OF DE PERE
RECEIVED
JAN 2 6 2018
PLANNING DEPT.

CITY OF DE PERE

APPLICATION FOR CSM REVIEW

Fee: $ 368.00

Receipt #: 129025

Date: 1-26-18

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity)	Authorized Representative	Title	
Lawrence & Edna Carter	Richard A. Huxford	Prof. Land Surveyor	
Mailing Address	**City**	**State**	**ZIP Code**
2589 Oak Ridge Circle	De Pere	Wi.	54115
Email Address	**Phone Number (incl. area code)**	**Fax Number (incl. area code)**	
wasesdas937@gmail.com	920-336-4011	None	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity)	Contact Person	Title	
Carter Joint Rev. Trust			
Mailing Address	**City**	**State**	**ZIP Code**
3401 Carter LN	De Pere	WI	54115-8780
Email Address	**Phone Number (incl. area code)**	**Fax Number (incl. area code)**	

SECTION 3: Project or Site Location

Project Address/Description	Parcel No.
1415 & 1445 Viking Lane (Town of Ledgeview)	ED- D-77

SECTION 4: CSM Information

Existing Zoning:	Light Industrial
Present Use of Parcel:	Storage Units and Excavation/Trucking Business
Proposed Use of Lots:	Use to remain the same: proposal to split business onto 2 Lots

Please submit 1 hard copy and 1 PDF copy of the CSM if the property is located within the City or if the property is located within the extraterritorial jurisdiction.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print)	Title	Phone Number
Auth. Rep. Richard A. Huxford	PLS	920-336-4011
Signature of Applicant		**Date Signed**
AUTH. REP. Richard A. Huxford		26 JAN. 2018

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.	

CERTIFIED SURVEY MAP

PART OF GOVERNMENT LOT 2 AND PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 ALL IN SECTION 34, TOWNSHIP 23 NORTH, RANGE 20 EAST, TOWN OF LEDGEVIEW, BROWN COUNTY, WISCONSIN

SCALE 1" = 100'

50 25 0 50 100 150

GRAPHIC SCALE

OWNER:
CARTER JOINT REVOCABLE TRUST
3401 CARTER LANE
DE PERE, WI 54115
DOC. # 2179409

WISCONSIN RICHARD A. HUXFORD S-937 De Pere, WI LAND SURVEYOR

N W E S

E 1/4 CORNER SECTION 34-23-20
MAG NAIL & B.C. WASHER FND

BEARINGS REFERENCED TO THE BROWN COUNTY COORDINATE SYSTEM NAD 83(91) THE EAST LINE OF THE SOUTHEAST 1/4, SECTION 34-23-20 BEARS N0°14'08"W.

S0°14'08"E 1321.86'

2198.91'

S89°29'21"W 703.16'

CLOSING CORNER SEC. 34, GOV'T LOT 2/P.C.40 E.S.F.R T23N, R20E 1 1/4" IRON PIPE FND N0°14'08"W 877.05'

Office of the Register of Deeds

NW SE / NE SE

LOT 3 43 CSM 301

LOT 2 43 CSM 301

FOUND 1 1/4" IRON PIPE N73°41'39"W 0.28'

1373.41'

N89°25'35"E RECORD

S89°29'21"W 815.26'

SW SE

145.01'

400.00'

254.99'

415.26'

SALT SAND SHED

UNPLATTED LANDS

J & S ENTERPRISES LLP DOC. 1646437

S0°30'39"E 305.00'

N0°34'25"W 305.00' RECORD

STORAGE BUILDING

STORAGE BUILDING

STORAGE BUILDING

STORAGE BUILDING

6' UTILITY EASEMENT

305.00'

6' UTILITY EASEMENT

N0°30'39"W

Lot 1
2.80 acres
122001 sq ft

Lot 2
2.09 acres
91171 sq ft

OFFICE SHOP

30' BUILDING SETBACK

EASEMENT N33°56'56"E 187.59' RECORD

N35°55'55"E 187.54'

ROAD R/W DOC. 1848513

SWAN ROAD

UNPLATTED LANDS LEDGEVIEW ESTATES LLC DOC. 2411724

12' UTILITY

C1

185.22'

9'+/-

N40°53'40"E

R/W VARIES

N33°04'00"E 51.36'

S33°00'00"W 51.36' RECORD

FOUND 1 1/4" IRON PIPE S62°44'31"E 2.25'

SIGN

4.1'+/-

C2

CH=S77°26'55"E 122.05'

CH=N77°30'39.5"W 122.05' RECORD

34.06'

BITUMINIUS SURFACE

30' BUILDING SETBACK

400.00'

12' UTILITY EASEMENT

FOUND 1 1/4" IRON PIPE N67°29'20"W 0.30'

SIGN 0.3'+/-

1.3'+/-

N89°29'21"E 434.06'

S89°25'35"W 434.06' RECORD

2.4'+/-

CONCRETE 1.4'+/-

35'

VIKING LANE

35'

LOT 2 58 CSM 80

LOT 3 58 CSM 80

SW SE / GOV'T LOT 2

Huxford Surveyor's, Inc 920-336-4011
2589 OAK RIDGE CIRCLE, DE PERE WI
DATE: 11/15/2017
PCS FILE: CARTER

LEGEND

- COUNTY MONUMENT MATERIAL AS NOTED
- 1 1/4" O.D. x 18" IRON PIPE SET 1.42 LBS/FT & ID CAP
- 1 1/4" O.D. IRON PIPE FND
- MAG NAIL SET IN BITUMINOUS SURFACE
- CHAINLINK FENCE
- COMPUTED POINT NOTHING SET
- CAMERA

CURVE TABLES

Id	Delta	Radius	Arc Length	Tangent	Degree	Chord	Ch Bear	PC Tangent
C1	15°39'19"	680.00'	185.80'	93.48'	8°25'33"	185.22'	N40°53'40"E	N33°04'00"E
C2	26°07'29"	270.00'	123.11'	62.64'	21°13'14"	122.05'	S77°26'55"E	N89°29'21"E

SHEET 1 OF 4

Attachment: Preliminary CSM (6715 : Recommendation regarding a Proposed Extraterritorial Two Lot

SURVEYOR'S CERTIFICATE:

I, RICHARD A. HUXFORD, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY: THAT I HAVE SURVEYED, DIVIDED AND MAPPED PART OF GOVERNMENT LOT 2 AND PART OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 ALL IN SECTION 34, TOWNSHIP 23 NORTH, RANGE 20 EAST, TOWN OF LEDGEVIEW, BROWN COUNTY, WISCONSIN DESCRIBED AS FOLLOWS.

COMMENCING AT THE EAST 1/4 CORNER OF SAID SECTION 34; THENCE S0°14'08"E ALONG THE EAST LINE OF THE SOUTHEAST 1/4 OF SAID SECTION 34, 1321.86 FEET TO THE NORTH LINE OF SAID GOVERNMENT LOT 2; THENCE S89°29'21"W ALONG SAID NORTH LINE, 703.16 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING S89°29'21"W ALONG SAID NORTH LINE AND THE EXTENSION THEREOF, 815.26 FEET; THENCE S0°30'39"E, 305.00 FEET TO THE NORTH LINE OF VIKING LANE; THENCE THE FOLLOWING TWO (2) COURSES ALONG SAID NORTH LINE; N89°29'21"E, 434.06 FEET TO A 270.00 FOOT NON-TANGENT RADIUS CURVE TO THE RIGHT, THE CHORD OF WHICH BEAR S77°26'55"E, 122.05 FEET; THENCE ALONG SAID CURVE, 123.11 FEET TO THE END OF SAID COURSES AND TO THE WEST LINE OF SWAN ROAD; THENCE THE FOLLOWING THREE (3) COURSES ALONG SAID WEST LINE; N33°04'00"E 51.36 FEET TO A 680.00 FOOT NON-TANGENT RADIUS CURVE TO THE RIGHT, THE CHORD OF WHICH BEARS N40°53'40"E, 185.22 FEET; THENCE ALONG SAID CURVE 185.80 FEET; THENCE N35°55'55"E, 187.54 FEET TO THE END OF SAID COURSES AND TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 4.89 ACRES MORE OR LESS AND BEING PART OF LANDS DESCRIBED ON DOCUMENT NUMBER 2179409 OF BROWN COUNTY RECORDS.

SAID PROPERTY SUBECT TO ALL EXCEPTIONS, RESERVATIONS, RESTRICTIONS, CONDITIONS AND EASEMENTS CONTAINED IN PRIOR CONVEYANCES OF RECORD.

I, ALSO HEREBY CERTIFY THAT THE MAP SHOWN HEREON WAS SURVEYED UNDER MY DIRECT SUPERVISION AND THAT IT IS A TRUE REPRESENTATION THEREOF AND SHOWS THE SIZE AND LOCATION OF THE PROPERTY AND THE DIVISION OF THAT LAND, IT'S EXTERIOR BOUNDARIES, LOCATION OF ALL BOUNDARY FENCES, HIGHWAY CONVEYANCES, APPARENT EASEMENTS AND ENCROACHMENTS, IF ANY, TO THE BEST OF MY KNOWLEDGE AND BELIEF.

I FURTHER CERTIFY THAT I HAVE MADE SUCH SURVEY BY THE ORDER OF LAWRENCE J. CARTER AND EDNA R. CARTER, TRUSTEE'S FOR CARTER JOINT REVOCABLE TRUST, OWNERS, AND I HAVE FULLY COMPLIED WITH SECTION 236.34 REVISED STATUTES OF WISCONSIN AND THE SUBDIVISION REGULATIONS OF BROWN COUNTY AND THE TOWN OF LEDGEVIEW.

_____

RICHARD A. HUXFORD RLS 937 DATE

NOTES:

1) THE PROPERTY OWNERS, AT THE TIME OF CONSTRUCTION, SHALL IMPLEMENT THE APPROPRIATE SOIL EROSION CONTROL METHOD OUTLINED IN "WISCONSIN CONSTRUCTION SITE EROSION AND SEDIMENT CONTROL TECHNICAL STANDARDS " (AVAILABLE FROM THE WISCONSIN DEPARTMENT OF NATURAL RESOURCES) TO PREVENT SOIL EROSION. HOWEVER, IF AT THE TIME OF CONSTRUCTION THE TOWN HAS ADOPTED A SOIL EROSION CONTROL ORDINANCE IT SHALL GOVERN OVER THIS REQUIREMENT. THIS PROVISION APPLIES TO ANY GRADING, CONSTRUCTION OR INSTALLATION RELATED ACTIVITIES.

RESTRICTIVE COVENANTS:

THE LAND ON ALL SIDE AND REAR LOT LINES OF ALL LOTS SHALL BE GRADED BY THE LOT OWNER AND MAINTAINED BY THE ABUTTING PROPERTY OWNERS TO PROVIDE FOR ADEQUATE DRAINAGE OF SURFACE WATER.

Huxford Surveyor's, Inc 920-336-4011 2589 OAK RIDGE CIRCLE, DE PERE WI	
DATE:	*11/15/2017*
PCS FILE:	CARTER

Attachment: Preliminary CSM (6715 : Recommendation regarding a Proposed Extraterritorial Two Lot

OWNER'S CERTIFICATE:

AS OWNERS, WE CERTIFY THAT WE CAUSED THE LAND DESCRIBED ON THIS CERTIFIED SURVEY MAP TO BE SURVEYED, DIVIDED AND MAPPED AS REPRESENTED HEREON. WE ALSO CERTIFY THAT THIS CERTIFIED SURVEY MAP IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION: BROWN COUNTY PLANNING COMMISSION AND THE TOWN OF LEDGEVIEW.

_____ _____

LAWRENCE J. CARTER TRUSTEE
CARTER REVOCABLE TRUST

EDNA R. CARTER TRUSTEE
CARTER REVOCABLE TRUST

STATE OF WISCONSIN

_____COUNTY

PERSONALLY CAME BEFORE ME THIS _____DAY OF _____, 2017,
THE ABOVE NAMED, LAWRENCE J. CARTER AND EDNA R. CARTER, TO ME KNOWN TO BE THE SAME PERSONS WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

_____

NOTARY PUBLIC, _____, WISCONSIN

MY COMMISSION EXPIRES _____.

UTILITY EASEMENT PROVISIONS

An easement for electric, natural gas, and communications service is hereby granted by

Lawrence J.Carter and Edna R. Carter owner(s) of Property , Grantor, to

WISCONSIN PUBLIC SERVICE CORPORATION, a Wisconsin corporation, Grantee,

their respective successors and assigns, to construct, install, operate, repair, maintain and replace from time to time, facilities used in connection with overhead and underground transmission and distribution of electricity and electric energy, natural gas, telephone and cable TV facilities for such purposes as the same is now or may hereafter be used, all in, over, under, across, along and upon the property shown within those areas on the plat designated as "Utility Easement" and the property designated on the plat for streets and alleys, whether public or private, together with the right to install service connections upon, across, within and beneath the surface of each lot to serve improvements, thereon, or on adjacent lots; also the right to trim or cut down trees, brush and roots as may be reasonably required incidental to the rights herein given, and the right to enter upon the subdivided property for all such purposes. The Grantees agree to restore or cause to have restored, the property, as nearly as is reasonably possible, to the condition existing prior to such entry by the Grantees or their agents. This restoration, however, does not apply to the initial installation of said underground and/or above ground electric facilities, natural gas facilities, or telephone and cable TV facilities or to any trees, brush or roots which may be removed at any time pursuant to the rights herein granted. Structures shall not be placed over Grantees' facilities or in, upon or over the property within the lines marked "Utility Easement" without the prior written consent of Grantees. After installation of any such facilities, the grade of the subdivided property shall not be altered by more than six inches without written consent of grantees. This Utility Easement Provision does not prevent or prohibit others from utilizing or crossing the Utility Easement as the Utility easement(s) are non-exclusive.

The grant of easement shall be binding upon and inure to the benefit of the heirs, successors and assigns of all parties hereto.

Huxford Surveyor's, Inc 920-336-4011 2589 OAK RIDGE CIRCLE, DE PERE WI	
DATE:	*11/15/2017*
PCS FILE:	CARTER

Attachment: Preliminary CSM (6715 : Recommendation regarding a Proposed Extraterritorial Two Lot

CERTIFICATION OF THE TOWN OF LEDGEVIEW

APPROVED BY THE TOWN OF LEDGEVIEW BOARD

THIS _____ DAY OF _____ 2017.

_____
SARAH BURDETTE
LEDGEVIEW CLERK

BROWN COUNTY TREASURER'S CERTIFICATE:

AS DULY ELECTED BROWN COUNTY TREASURER, I HEREBY CERTIFY THAT THE RECORDS IN OUR OFFICE SHOW NO UNREDEEMED TAXES AND NO UNPAID OR SPECIAL ASSESSMENTS AFFECTING ANY OF THE LANDS INCLUDED IN THIS CERTIFIED SURVEY MAP AS OF THE DATE LISTED BELOW.

_____ _____
PAUL D. ZELLER, BROWN COUNTY TREASURER DATE

CERTIFICATION OF THE CITY OF DE PERE:

APPROVED BY THE CITY OF DE PERE THIS _____ DAY OF _____, 2017.

_____
SHANA D. LEDVINA
CITY CLERK/TREASURER

CERTIFICATE OF THE BROWN COUNTY PLANNING COMMISSION:

APPROVED BY THE BROWN COUNTY PLANNING COMMISSION THIS

_____ DAY OF_____, 2017.

_____

DAN TEATERS, SENIOR PLANNER

Huxford Surveyor's, Inc 920-336-4011 2589 OAK RIDGE CIRCLE, DE PERE WI	
DATE:	*11/15/2017*
PCS FILE:	CARTER

Attachment: Preliminary CSM (6715 : Recommendation regarding a Proposed Extraterritorial Two Lot

City of De Pere, Wisconsin

Request For Plan Commission Action

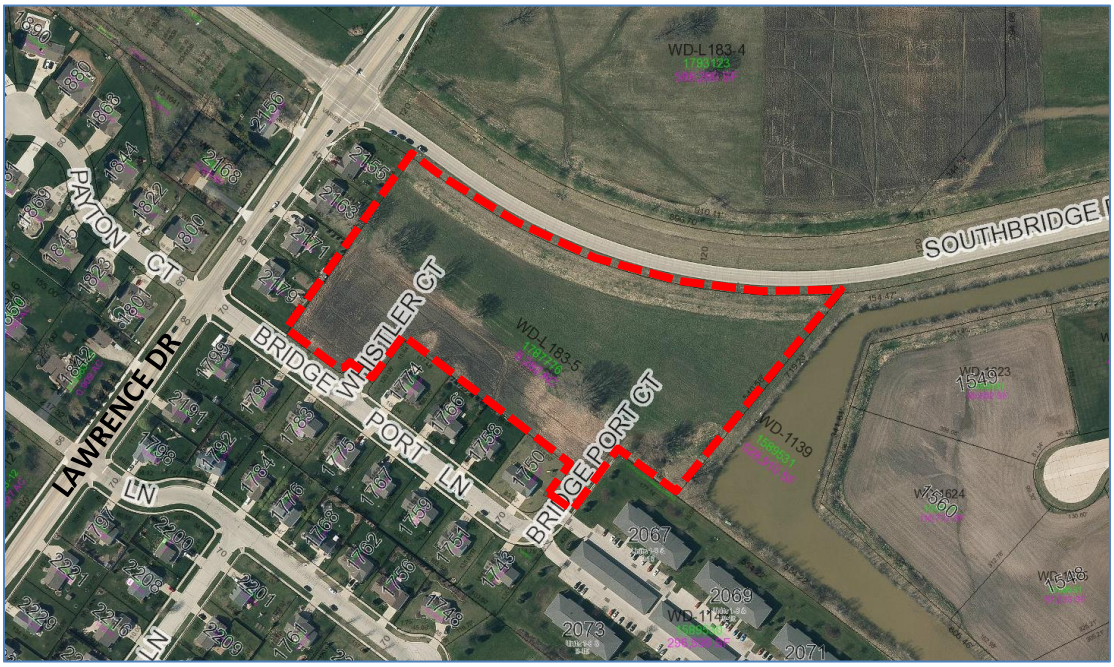
MEETING DATE:	**February 26, 2018**
DEPARTMENT:	**Planning**
FROM:	**Peter Schleinz**
SUBJECT:	**Recommendation regarding the proposed 15 Lot Final Plat of "Southbridge Estates First Addition" at 1700 BLK Bridge Port Lane (Parcel WD-L183-5). Submitted by Jim Boyea, Best Built INC.***

ATTACHMENTS:

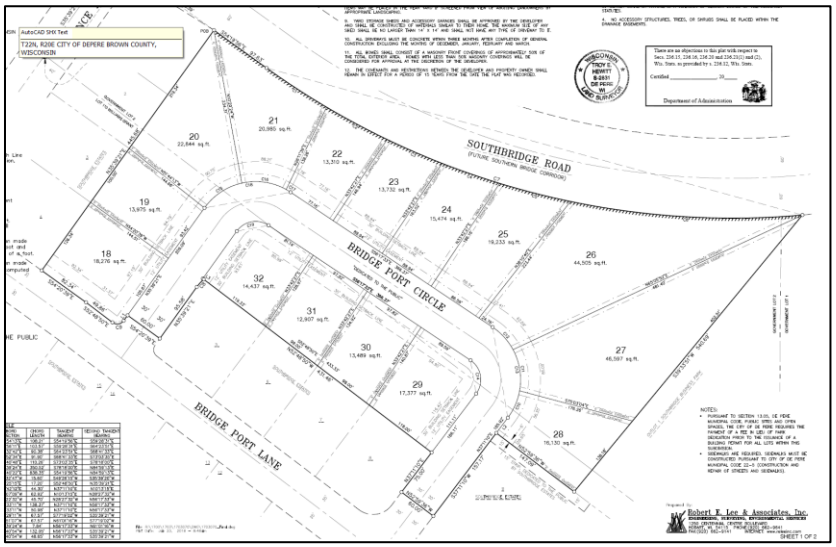
- Final Plat - Southbridge Estates First Addition - Plan Commission Report (DOCX)
- Application Form (PDF)
- Final Plat (PDF)

ITEM 4: **Recommendation regarding the proposed 15 Lot Final Plat of "Southbridge Estates First Addition" at 1700 BLK Bridge Port Lane (Parcel WD-L183-5). Submitted by Jim Boyea, Best Built INC.***

SITE MAP



PROPOSED FINAL PLAT AREA



REQUESTED ACTION: Final Plat Approval.

COMMON DESCRIPTION: 1700 BLK Bridge Port Lane, located northeast from the Bridge Port Lane and Lawrence Drive intersection.

Attachment: Final Plat - Southbridge Estates First Addition - Plan Commission Report (6720 : Recommendation regarding the proposed 15 Lot

PARCEL NUMBER(S): WD-L183-5

EXISTING ZONING: R-1 (Single Family Residence District)

PROPOSED ZONING: No Zoning Change Requested

SURROUNDING LAND USES: Vacant (future residential) to the north.
Residential and multi-family residential to the south and west.
Vacant (future industrial business) to the east.

COMPREHENSIVE PLAN: Multi-Family Residential

APPLICANT/OWNER NAME:

Jim Boyea, Representative	Owner of Parcel WD-L183-5
Best Built INC	Best Built INC
3100 Holmgren Way	3100 Holmgren Way
Green Bay, WI 54304	Green Bay, WI 54304

SITE HISTORY: After a review of air photographs, the property and nearby areas were used for agricultural purposes, but have been transitioning to residential uses with a business and industrial park to the east. The site is immediately south of Southbridge Road, which is the targeted future "southern bypass corridor."

In February 2012, a rezoning of the property was recommended by Plan Commission to become a denser multi-family residential development, but the rezoning was not approved by Common Council. Thus, the site is still zoned R-1 (Single Family Residence District).

The land division is within the sewer service area. A wetland delineation report from 2017 identified no environmentally sensitive areas on the property.

Best Built INC proposes a 15 lot single family residential development on a looped circle drive. The preliminary plat and related street name change was reviewed by Plan Commission on January 8, 2018. And approved by Common Council on January 16, 2018.

STAFF REVIEW: When reviewing a final plat, staff considers State Statutes 236, Section 46-8 of the De Pere Platting and Division of Land Code, the future land use recommendation of the Comprehensive Plan, surrounding land uses, and desired development patterns. Staff also verifies that the final plat substantially reflects the layout of the preliminary plat approval.

The final plat meets the criteria of State Statutes 236 and Section 46-8 of the De Pere Platting and Division of Land Code. Lot sizes and street frontages are sufficient for property zoned R-1. For lots on the curved portions of the streets, where lines appear narrow, the frontage was measured using a straight line at the setback, which is how the setback width is measured by City Building Inspection.

- The final plat is technically insufficient on the two street curves where tangents should measure 100-feet long between reverse curves. The plat measures 65-feet at the centerline of the street. However, when staff compared the two curves to the other, already built, curve in the subdivision the same 65-foot measurement was identified. Because Southbridge Road prevents the subdivision from being expanded further northward to resolve the shortfall, staff identified that it is an isolated case that the Plan Commission should consider allowing.
    - The shorter curve does not impact the ability for the City to provide garbage, snow plowing, fire, etc. services.
    - Plan commission already recommended approval of the street design during the preliminary plat review.

There is a 1.5 foot jog in the proposed right-of-way. Located southwest from Lot 32. The jog is a remnant from an unbuilt cul-de-sac that was proposed when the original "Southbridge Estates" plat was recorded in 2001. The petitioner is working with the adjacent property owner to deed the jog to the adjacent lot.

The city plat is reviewed by the City of De Pere. A courtesy review of technical measurements was also performed by Brown County to expedite the efficient process of recording plats.

REVIEW PROCESS

For final City plat petitions, the Plan Commission provides either an approval, rejection with reason, or approval with conditions decision. The Common Council does not review final City plats unless City lands or right-of-way dedications are involved. This project will be reviewed by both Plan Commission and Common Council due to right-of-way being dedicated to the public. The Common Council is expected to review the final City plat on March 6, 2018.

Note: The Plan Commission, on January 8, 2018, and Common Council, on January 16, 2018 reviewed and approved the preliminary plat with conditions.

STAFF RECOMMENDATION:

Staff recommends APPROVAL of the final plat and forwarding the plat to the Common Council for final approval, subject to:

1. Meeting all other state and local regulations.
2. Replace Restrictive Covenant 4 with the following from Code Section 46-4 (e)(2)a. thru h. as follows: "A drainage easement in favor of the city centered on rear and side lot lines for Lots 18, 19, 20, 29, 30, 31, and 32 shall be provided. Such easement shall contain the following restrictions: a. Any obstruction to the flow of water, by any means, shall be prohibited. b. No structure, earthen berm, dam, erection of other improvement, tree, or landscaping shall be permitted. c. The erection of a fence or annual plantings may be allowed provided that same do not

Attachment: Final Plat - Southbridge Estates First Addition - Plan Commission Report (6720 : Recommendation regarding the proposed 15 Lot

obstruct the flow of water. d. Grantor is prohibited from changing the grade elevation of the drainage easement from that established by grantee. e. Grantee shall have full rights of ingress and egress to carry on and all work in connection with the maintenance and operation in, over, under, and across lands of grantor. f. The property covered by said easement shall not be used in any way or manner that will impair the rights of grantee. g. The easement shall run with the land, and shall be binding upon the grantees, lessees, successors, heirs and assigns of grantor and grantee. h. The easement shall be assignable."

3. Add Restrictive Covenant 5. "Sidewalks are required on all streets."
4. Add Restrictive Covenant 6. "Private yard drains shall be constructed at the time of home construction for lots 21, 22, 23, 24, 25, and 26. The yard drain shall be connected to the storm lateral. Each of these lots shall grade for proper drainage to the street or the yard drain."
5. Add Restrictive Covenant 7. "Lots 27 and 28 shall be designed to drain to the street or pond."
6. Add a 6 foot drainage easement along the back lot line of Lots 18, 19, 20, 31, and 32.
7. Add a 15 foot drainage and storm sewer easement along the back lot line of Lots 29 and 30.
8. With the new drainage concept, side drainage easements are not required on lots 21 thru 28. Remove the side drainage easements.

Attachment: Final Plat - Southbridge Estates First Addition - Plan Commission Report (6720 : Recommendation regarding the proposed 15 Lot

CITY OF DE PERE RECEIVED FEB 1 2 2018 PLANNING DEPT.

	CITY OF DE PERE **APPLICATION FOR PLAT REVIEW**	**Fee:** $ 195.00 **Receipt #:** 129429 **Date:** 2-12-18

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) REL & ASSOCIATES	Authorized Representative TROY HEWITT	Title PROFESSIONAL LAND SURVEYOR	
Mailing Address 1250 Centennial Centre Blvd	City HOBART	State WI	ZIP Code 54155
Email Address thew.tt@releeinc.com	Phone Number (incl. area code) 920-544-4436	Fax Number (incl. area code) 920-662-9141	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) BEST BUILT	Contact Person JIM BOYEA	Title PRESIDENT	
Mailing Address 3100 Hoffman Road	City DE PERE	State WI	ZIP Code 54304
Email Address Jim@BestBuiltInc.com	Phone Number (incl. area code) 920-337-6488	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description BRIDGE PORT LANE	Parcel No. WD-L183-5

SECTION 4: Plat Review

Review Type:	☐ Preliminary Plat ☑ Final Plat	
Fee:	Preliminary Plat Fee: $278 + (____# of lots x $68) Final Plat Fee: $195	$195.00
Present Use of Parcel:	AG	
Proposed Use of Lots:	RESIDENTIAL	

Please submit 1 hard copy and 1 PDF copy of the Plat if the property is located within the City or if the property is located within the extraterritorial jurisdiction.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

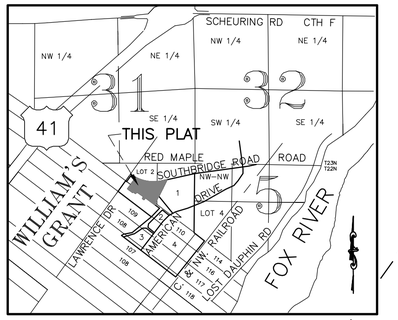
Name of Owner/Authorized Representative (please print) Jim Boyea	Title President	Phone Number 920-337-6488
Signature of Applicant Jim Boyea		Date Signed 1-31-18

TO BE COMPLETED BY CITY STAFF

Plat Review authorized by the De Pere Municipal Code, Chapter 46.	

SOUTHBRIDGE ESTATES FIRST ADDITION

Part of Government Lot 2, Section 6, Part of Lot 110, Williams Grant Subdivision, T22N, R20E, City of DePere, Brown County, Wisconsin



NOT TO SCALE

LOCATION SKETCH
T22N, R20E
CITY OF DEPERE
BROWN COUNTY, WISCONSIN

SCALE: 1"=50'
0' 25' 50' 100'

Bearings are referenced to the North Line of Lot 110, Williams Grant Subdivision, Recorded to bear S52°54'06"E.

LEGEND

- ○ Set 2" x 30" Iron Pipe weighing 3.65 lbs./lin. ft.
- Recorded County Monument
- POB Point Of Beginning
- Set 1" x 24" iron pipe wt. 1.13 lbs. per lin. ft. at all other lot corners

All linear measurements have been made to the nearest hundredth of a foot and computed to the nearest hundredth of a foot.

All angular measurements have been made to the nearest three seconds and computed to the nearest half second.

STREETS DEDICATED TO THE PUBLIC
57,445 SQ.FT.
1.32 ACRES

RESTRICTIVE COVENANTS BETWEEN DEVELOPER AND PROPERTY OWNER

1. ALL PLANS FOR NEW CONSTRUCTION MUST BE APPROVED BY THE DEVELOPER PRIOR TO START OF CONSTRUCTION.

2. A SITE PLAN SHOWING THE LOCATION OF THE HOME UPON LOT MUST BE APPROVED BY DEVELOPER PRIOR TO START OF CONSTRUCTION.

3. ALL HOME CONSTRUCTION MUST BE STARTED WITHIN TWO YEARS OF THE ACTUAL LOT CLOSING DATE.

4. THE EXTERIOR, ALONG WITH GENERAL CONSTRUCTION OF A BUILDING ERECTED ON THE PREMISES MUST BE COMPLETED WITHIN SIX MONTHS AFTER START OF BUILDING CONSTRUCTION.

5. NO CONSTRUCTION OF ANY DWELLING SHALL BE COMMENCED UNTIL PLANS FOR SUCH DWELLING MEET THE MINIMUM REQUIREMENT OF 1,300 SQUARE FEET OF LIVING SPACE FOR A RANCH STYLE HOME AND 1,600 SQUARE FEET OF LIVING SPACE FOR A TWO STORY HOME. SPLIT LEVEL AND STORY AND A HALF HOMES WILL BE APPROVED BY DEVELOPER AFTER VIEW OF PLANS.

6. EACH DWELLING SHALL HAVE AN ATTACHED GARAGE OF NOT LESS THAN 20 FEET IN WIDTH.

7. THE GRADING, SEEDING, OR SODDING OF LOTS SHALL BE COMPLETED WITHIN THREE MONTHS AFTER COMPLETION OF GENERAL CONSTRUCTION ON THE PROPERTY, EXCLUDING THE MONTHS OF DECEMBER, JANUARY, FEBRUARY AND MARCH.

8. NO BOAT, CAMPER, OR TRAILER MAY BE STORED OR PLACED IN THE FRONT OR SIDE YARD OF ANY LOT DURING THE MONTHS OF OCTOBER THROUGH APRIL. NO ANIMAL SHELTER, PEN OR SATELLITE DISH MAY BE STORED OR PLACED IN THE FRONT OR SIDE YARD OF ANY LOT. SUCH ITEMS MAY BE PLACED IN THE REAR YARD IF SCREENED FROM VIEW OF ABUTTING LANDOWNERS BY APPROPRIATE LANDSCAPING.

9. YARD STORAGE SHEDS AND ACCESSORY GARAGES SHALL BE APPROVED BY THE DEVELOPER AND SHALL BE CONSTRUCTED OF MATERIALS SIMILAR TO THEIR HOME. THE MAXIMUM SIZE OF ANY SHED SHALL BE NO LARGER THAN 14' X 14' AND SHALL NOT HAVE ANY TYPE OF DRIVEWAY TO IT.

10. ALL DRIVEWAYS MUST BE CONCRETE WITHIN THREE MONTHS AFTER COMPLETION OF GENERAL CONSTRUCTION EXCLUDING THE MONTHS OF DECEMBER, JANUARY, FEBRUARY AND MARCH.

11. ALL HOMES SHALL CONSIST OF A MASONRY FRONT COVERINGS OF APPROXIMATELY 50% OF THE TOTAL EXTERIOR AREA. HOMES WITH LESS THAN 50% MASONRY COVERINGS WILL BE CONSIDERED FOR APPROVAL AT THE DISCRETION OF THE DEVELOPER.

12. THE COVENANTS AND RESTRICTIONS BETWEEN THE DEVELOPER AND PROPERTY OWNER SHALL REMAIN IN EFFECT FOR A PERIOD OF 15 YEARS FROM THE DATE THE PLAT WAS RECORDED.

RESTRICTIVE COVENANTS BETWEEN CITY OF DE PERE AND PROPERTY OWNER

1. THE LAND ON ALL SIDE AND REAR LOT LINES OF ALL LOTS SHALL BE GRADED BY THE DEVELOPER AND MAINTAINED BY THE ABUTTING PROPERTY OWNERS TO PROVIDE FOR ADEQUATE DRAINAGE OF SURFACE WATER.

2. EACH LOT OWNER SHALL GRADE THE PROPERTY ABUTTING A STREET TO CONFORM TO THE ADOPTED SIDEWALK GRADE ELEVATION AND MAINTAIN SAID ELEVATION FOR FUTURE SIDEWALKS.

3. NO POLES, PEDESTALS OR BURIED CABLE ARE TO BE PLACED SO AS TO DISTURB ANY SURVEY STAKE OR OBSTRUCT VISION ALONG ANY LOT LINES OR STREET LINES, A DISTURBANCE OF SURVEY STAKE BY ANYONE IS A VIOLATION OF SECTION 236.32 OF THE WISCONSIN STATUTES.

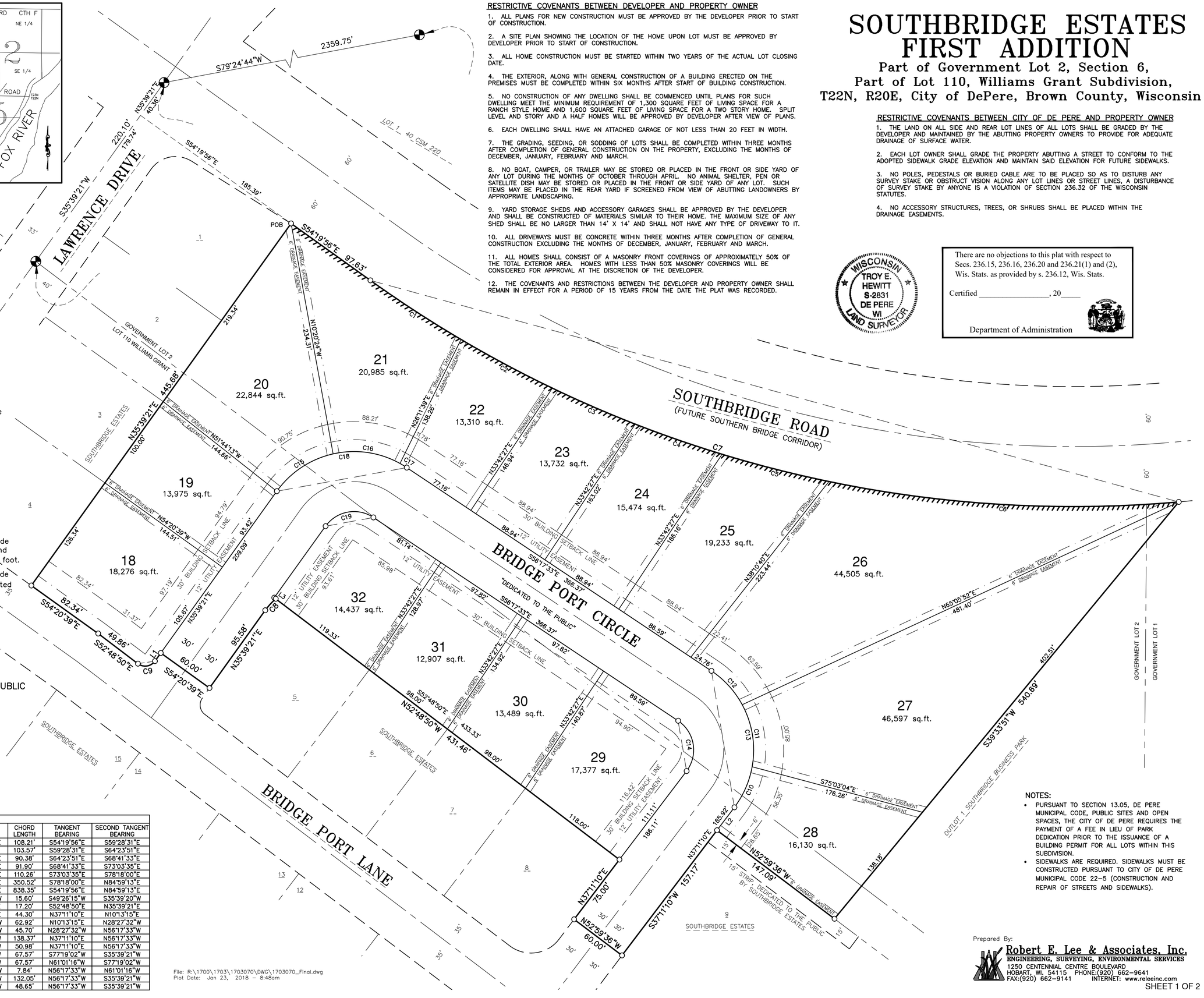
4. NO ACCESSORY STRUCTURES, TREES, OR SHRUBS SHALL BE PLACED WITHIN THE DRAINAGE EASEMENTS.

WISCONSIN
TROY E. HEWITT
S-2831
DE PERE
WI
LAND SURVEYOR

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20____

Department of Administration



LINE TABLE		
LINE	LENGTH	BEARING
L1	10.00'	S35°39'21"W
L2	28.74'	S37°11'10"W
L3	1.87'	S52°48'50"E

CURVE TABLE							
CURVE	DELTA	RADIUS	LENGTH	CHORD DIRECTION	CHORD LENGTH	TANGENT BEARING	SECOND TANGENT BEARING
C1	5°08'35"	1205.92'	108.24'	S56°54'13"E	108.21'	S54°19'56"E	S59°28'31"E
C2	4°55'20"	1205.92'	103.60'	S61°56'11"E	103.57'	S59°28'31"E	S64°23'51"E
C3	4°17'42"	1205.92'	90.40'	S66°32'42"E	90.38'	S64°23'51"E	S68°41'33"E
C4	4°22'02"	1205.92'	91.92'	S70°52'34"E	91.90'	S68°41'33"E	S73°03'35"E
C5	5°14'25"	1205.92'	110.30'	S75°40'48"E	110.26'	S73°03'35"E	S78°18'00"E
C6	16°42'47"	1205.92'	351.76'	S86°39'24"E	350.52'	S78°18'00"E	N84°59'13"E
C7	40°40'51"	1205.92'	856.22'	S74°40'22"E	838.35'	S54°19'56"E	N84°59'13"E
C8	13°46'54"	65.00'	15.63'	S42°32'47"W	15.60'	S49°26'15"W	S35°39'20"W
C9	91°31'49"	12.00'	19.17'	N81°25'15"E	17.20'	S52°48'50"E	N35°39'21"E
C10	26°57'55"	95.00'	44.71'	N23°42'12"E	44.30'	N37°11'10"E	N10°13'15"E
C11	38°40'46"	95.00'	64.13'	N09°07'09"W	62.92'	N10°13'15"E	N28°27'32"W
C12	27°50'01"	95.00'	46.15'	N42°22'32"W	45.70'	N28°27'32"W	N56°17'33"W
C13	93°28'43"	95.00'	154.99'	N09°33'11"W	138.37'	N37°11'10"E	N56°17'33"W
C14	93°28'43"	35.00'	57.10'	N09°33'11"W	50.98'	N37°11'10"E	N56°17'33"W
C15	41°39'42"	95.00'	69.08'	S56°29'11"W	67.57'	S77°19'02"W	S35°39'21"W
C16	41°39'42"	95.00'	69.08'	N81°51'07"W	67.57'	N61°01'16"W	S77°19'02"W
C17	4°43'44"	95.00'	7.84'	N58°39'24"W	7.84'	N56°17'33"W	N61°01'16"W
C18	88°03'07"	95.00'	146.00'	S79°40'54"W	132.05'	N56°17'33"W	S35°39'21"W
C19	88°03'07"	35.00'	53.79'	S79°40'54"W	48.65'	N56°17'33"W	S35°39'21"W

File: R:\1700\1703\1703070\DWG\1703070_Final.dwg
Plot Date: Jan 23, 2018 – 8:48am

NOTES:

- PURSUANT TO SECTION 13.05, DE PERE MUNICIPAL CODE, PUBLIC SITES AND OPEN SPACES, THE CITY OF DE PERE REQUIRES THE PAYMENT OF A FEE IN LIEU OF PARK DEDICATION PRIOR TO THE ISSUANCE OF A BUILDING PERMIT FOR ALL LOTS WITHIN THIS SUBDIVISION.
- SIDEWALKS ARE REQUIRED. SIDEWALKS MUST BE CONSTRUCTED PURSUANT TO CITY OF DE PERE MUNICIPAL CODE 22-5 (CONSTRUCTION AND REPAIR OF STREETS AND SIDEWALKS).

Prepared By:
Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD
HOBART, WI. 54115 PHONE:(920) 662-9641
FAX:(920) 662-9141 INTERNET: www.releeinc.com

Attachment: Final Plat (6720 : Recommendation regarding the proposed 15 Lot Final Plat of "Southbridge Estates First Addition" at 1)

SOUTHBRIDGE ESTATES FIRST ADDITION

Part of Government Lot 2, Section 6,
Part of Lot 110, Williams Grant Subdivision,
T22N, R20E, City of DePere, Brown County, Wisconsin

UTILITY EASEMENT PROVISIONS

AN EASEMENT FOR ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICE IS HEREBY GRANTED BY

BEST BUILT INC., TO

WISCONSIN PUBLIC SERVICE CORPORATION, A WISCONSIN CORPORATION, GRANTEE,

TIME WARNER CABLE, AT&T AND CITY OF DE PERE,

THEIR RESPECTIVE SUCCESSORS AND ASSIGNS, TO CONSTRUCT, INSTALL, OPERATE, REPAIR, MAINTAIN AND REPLACE FROM TIME TO TIME, FACILITIES USED IN CONNECTION WITH OVERHEAD AND UNDERGROUND TRANSMISSION AND DISTRIBUTION OF ELECTRICITY AND ELECTRIC ENERGY, NATURAL GAS, TELEPHONE AND CABLE TV FACILITIES FOR SUCH PURPOSES AS THE SAME IS NOW OR MAY HEREAFTER BE USED, ALL IN, OVER, UNDER, ACROSS, ALONG AND UPON THE PROPERTY SHOWN WITHIN THOSE AREAS ON THE PLAT DESIGNATED AS "UTILITY EASEMENT" AND THE PROPERTY DESIGNATED ON THE PLAT FOR STREETS AND ALLEYS, WHETHER PUBLIC OR PRIVATE, TOGETHER WITH THE RIGHT TO INSTALL SERVICE CONNECTIONS UPON, ACROSS, WITHIN AND BENEATH THE SURFACE OF EACH LOT TO SERVE IMPROVEMENTS, THEREON, OR ON ADJACENT LOTS; ALSO THE RIGHT TO TRIM OR CUT DOWN TREES, BRUSH AND ROOTS AS MAY BE REASONABLY REQUIRED INCIDENTAL TO THE RIGHTS HEREIN GIVEN, AND THE RIGHT TO ENTER UPON THE SUBDIVIDED PROPERTY FOR ALL SUCH PURPOSES. THE GRANTEES AGREE TO RESTORE OR CAUSE TO HAVE RESTORED, THE PROPERTY, AS NEARLY AS IS REASONABLY POSSIBLE, TO THE CONDITION EXISTING PRIOR TO SUCH ENTRY BY THE GRANTEES OR THEIR AGENTS. THIS RESTORATION, HOWEVER, DOES NOT APPLY TO THE INITIAL INSTALLATION OF SAID UNDERGROUND AND/OR ABOVE GROUND ELECTRIC FACILITIES, NATURAL GAS FACILITIES, OR TELEPHONE AND CABLE TV FACILITIES OR TO ANY TREES, BRUSH OR ROOTS WHICH MAY BE REMOVED AT ANY TIME PURSUANT TO THE RIGHTS HEREIN GRANTED. STRUCTURES SHALL NOT BE PLACED OVER GRANTEES' FACILITIES OR IN, UPON OR OVER THE PROPERTY WITHIN THE LINES MARKED "UTILITY EASEMENT" WITHOUT THE PRIOR WRITTEN CONSENT OF GRANTEES. AFTER INSTALLATION OF ANY SUCH FACILITIES, THE GRADE OF THE SUBDIVIDED PROPERTY SHALL NOT BE ALTERED BY MORE THAN SIX INCHES WITHOUT WRITTEN CONSENT OF GRANTEES. THIS UTILITY EASEMENT PROVISION DOES NOT PREVENT OR PROHIBIT OTHERS FROM UTILIZING OR CROSSING THE UTILITY EASEMENT AS THE UTILITY EASEMENT(S) ARE NON-EXCLUSIVE.

THE GRANT OF EASEMENT SHALL BE BINDING UPON AND INURE TO THE BENEFIT OF THE HEIRS, SUCCESSORS AND ASSIGNS OF ALL PARTIES HERETO.

CORPORATE OWNER'S CERTIFICATE

BEST BUILT, INC. HEREBY CERTIFIES THAT WE CAUSED THE LAND DESCRIBED ON THIS PLAT TO BE SURVEYED, DIVIDED, MAPPED AND DEDICATED AS REPRESENTED HEREON. I ALSO CERTIFY THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

CITY OF DE PERE
DEPARTMENT OF ADMINISTRATION
BROWN COUNTY PLANNING COMMISSION

_____
BEST BUILT, INC.
JIM BOYEA, PRESIDENT.

STATE OF WISCONSIN)
COUNTY OF BROWN) SS

PERSONALLY CAME BEFORE ME THIS _____ DAY OF _____, 2018, THE ABOVE NAMED OWNER, TO ME KNOWN TO BE THE PERSON WHO EXECUTED THE FOREGOING INSTRUMENT AND ACKNOWLEDGED THE SAME.

_____ _____
NOTARY PUBLIC
BROWN COUNTY, WISCONSIN

MY COMMISSION EXPIRES _____

COMMON COUNCIL RESOLUTION

RESOLVED THAT A PLAT KNOWN AS "SOUTHBRIDGE ESTATES FIRST ADDITION", WHICH HAS BEEN DULY FILED FOR APPROVAL OF THE COMMON COUNCIL OF THE CITY OF DE PERE, BE AND IS HEREBY APPROVED AS REQUIRED BY CHAPTER 236, OF THE WISCONSIN STATUTES.

I HEREBY CERTIFY THAT THE ABOVE IS A TRUE AND CORRECT COPY OF A RESOLUTION ADOPTED BY THE COMMON COUNCIL OF THE CITY OF DE PERE ON THIS _____ DAY OF _____, 2018.

_____
SHANA D. LEDVINA
DE PERE CITY CLERK

APPROVED FOR THE CITY OF DE PERE PLANNING COMMISSION THIS _____ DAY OF _____, 2018.

_____
PETER SCHLEINZ
CITY PLANNER

TREASURER'S CERTIFICATE

AS DULY APPOINTED/ELECTED DE PERE CITY TREASURER AND BROWN COUNTY TREASURER, WE HEREBY CERTIFY THAT THE RECORDS IN OUR OFFICES SHOW NO UNPAID TAXES, NO UNREDEEMED TAX SALES AND NO UNPAID SPECIAL ASSESSMENTS AFFECTING ANY OF THE LANDS IN THE PLAT KNOWN AS "SOUTHBRIDGE ESTATES FIRST ADDITION", AS OF THE DATES LISTED BELOW.

_____ _____
SHANA D. LEDVINA DATE PAUL D. ZELLER DATE
DE PERE CITY TREASURER BROWN COUNTY TREASURER

SURVEYOR'S CERTIFICATE

I, TROY E. HEWITT, PROFESSIONAL LAND SURVEYOR, HEREBY CERTIFY: THAT IN FULL COMPLIANCE WITH THE PROVISIONS OF CHAPTER 236, WISCONSIN STATUTES, AND THE SUBDIVISION REGULATIONS OF THE CITY OF DE PERE, AND UNDER THE DIRECTION OF THE OWNERS LISTED HEREON, I HAVE SURVEYED, DIVIDED, AND MAPPED "SOUTHBRIDGE ESTATES FIRST ADDITION", AND THAT SUCH PLAT CORRECTLY REPRESENTS ALL EXTERIOR BOUNDARIES OF THE LAND SURVEYED AND THE SUBDIVISION OF IT.

SAID SUBDIVISION IS LOCATED IN PART OF GOVERNMENT LOT 2, SECTION 6 AND PART OF LOT 110, WILLIAMS GRANT SUBDIVISION, ALL BEING IN T22N, R20E, CITY OF DE PERE, BROWN COUNTY, WISCONSIN DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHWEST CORNER OF SAID LOT 110;
THENCE N35°39'21"E, 179.74 FEET ALONG THE CENTERLINE OF LAWRENCE DRIVE;
THENCE S54°19'56"E, 185.39 FEET ALONG THE NORTH LINE OF LOT 1 OF SOUTHBRIDGE SUBDIVISION TO THE POINT OF BEGINNING;
THENCE S35°39'21"W, 445.68 FEET TO THE NORTHERLY RIGHT OF WAY OF BRIDGE PORT LANE;
THENCE S54°20'39"E, 82.34 FEET ALONG SAID NORTHERLY RIGHT OF WAY;
THENCE S52°48'50"E, 49.86 FEET ALONG SAID NORTHERLY RIGHT OF WAY;
THENCE 19.17 FEET ALONG THE ARC OF A 12.00 FOOT RADIUS CURVE TO THE LEFT, HAVING A LONG CHORD WHICH BEARS N81°25'15.5"E, 17.20 FEET;
THENCE S54°20'39"E, 60.00 FEET TO THE WESTERLY LINE OF LOT 5 OF SAID SOUTHBRIDGE SUBDIVISION;
THENCE N35°39'21"E, 95.58 FEET ALONG SAID WESTERLY LINE;
THENCE CONTINUING ON SAID LINE 15.64 FEET ON THE ARC OF A 65.00 FOOT CURVE TO THE RIGHT, HAVING A LONG CHORD WHICH BEARS N42°32'53"E, 15.60 FEET TO THE NORTHWEST CORNER OF SAID LOT 5;
THENCE S52°48'50"E, 431.46 FEET TO THE NORTHEAST CORNER OF LOT 8 OF SAID SOUTHBRIDGE SUBDIVISION;
THENCE S37°11'10"W, 75.00 FEET ALONG THE EASTERLY LINE OF SAID LOT 8;
THENCE S52°59'36"E, 60.00 FEET TO THE WESTERLY LINE OF LOT 9 OF SAID SOUTHBRIDGE SUBDIVISION;
THENCE N37°11'10"E, 157.17 FEET TO THE NORTHWEST CORNER OF SAID LOT 9;
THENCE S52°59'36"E, 147.09 FEET ALONG THE NORTHERLY LINE OF SAID LOT 9 TO THE SOUTHWESTERLY CORNER OF OUTLOT 1 OF SOUTHBRIDGE BUSINESS PARK;
THENCE N39°33'51"E, 540.69 FEET ALONG THE WESTERLY LINE OF SAID OUTLOT 1 TO THE SOUTHERLY RIGHT OF WAY OF SOUTHBRIDGE ROAD;
THENCE 856.22 FEET ALONG SAID SOUTHERLY RIGHT OF WAY ON THE ARC OF A 1205.92 FOOT RADIUS CURVE TO THE RIGHT, HAVING A LONG CHORD WHICH BEARS N74°40'21.5"W, 838.35 FEET;
THENCE N54°19'56"W, 97.63 FEET TO THE POINT OF BEGINNING.

SAID PARCEL CONTAINS 360,728 SQUARE FEET OR 8.282 ACRES OF LAND MORE OR LESS.

DATED THIS _____ DAY OF _____, 2018.

_____
TROY E. HEWITT, PLS #2831
ROBERT E. LEE & ASSOCIATES, INC.

WISCONSIN TROY E. HEWITT S-2831 DE PERE WI LAND SURVEYOR

There are no objections to this plat with respect to Secs. 236.15, 236.16, 236.20 and 236.21(1) and (2), Wis. Stats. as provided by s. 236.12, Wis. Stats.

Certified _____, 20_____

Department of Administration

Prepared By:
Robert E. Lee & Associates, Inc.
ENGINEERING, SURVEYING, ENVIRONMENTAL SERVICES
1250 CENTENNIAL CENTRE BOULEVARD
HOBART, WI. 54115 PHONE:(920) 662-9641
FAX:(920) 662-9141 INTERNET: www.releeinc.com

Attachment: Final Plat (6720 : Recommendation regarding the proposed 15 Lot Final Plat of "Southbridge Estates First Addition" at 1)

City of De Pere, Wisconsin

Request For Plan Commission Action

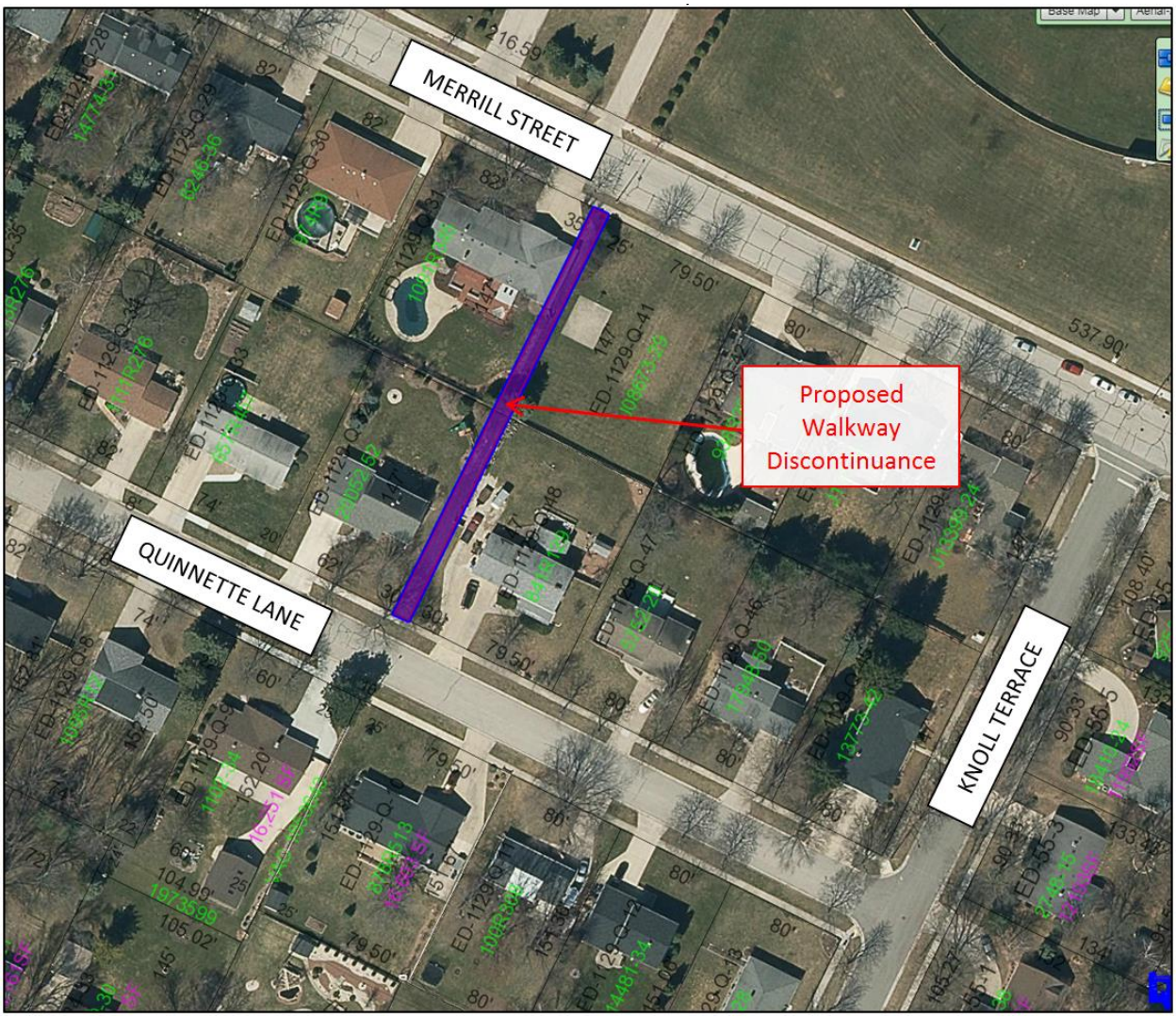
MEETING DATE:	**February 26, 2018**
DEPARTMENT:	**Planning**
FROM:	**Peter Schleinz**
SUBJECT:	**Review and recommendation for a Proposed Discontinuance of a Walkway Easement between the 1500-1600 BLK Quinnette Lane and Merrill Street in De Pere (Parcels ED-1129-Q-32 & ED-1129-Q-31, Adjacent to Parcels ED-1129-Q-48 & ED-1129-Q-41). Submitted by City of De Pere.***

ATTACHMENTS:

- Discontinuance - Quinnette & Merrill - Plan Commission Report (DOCX)
- Application Form (PDF)

ITEM 5: **Review and recommendation for a Proposed Discontinuance of a Walkway Easement between the 1500-1600 BLK Quinnette Lane and Merrill Street in De Pere (Parcels ED-1129-Q-32 & ED-1129-Q-31, Adjacent to Parcels ED-1129-Q-48 & ED-1129-Q-41). Submitted by City of De Pere.***

PROPOSED WALKWAY DISCONTINUANCE



REQUESTED ACTION: Discontinuance of a walkway easement approval.*

COMMON DESCRIPTION: Between 1500-1600 BLK Quinnette lane and Merrill Street, located east from Knoll Terrace.

PARCEL NUMBER(S): ED-1129-Q-32 & ED-1129-Q-31, Adjacent to Parcels ED-1129-Q-48 & ED-1129-Q-41

EXISTING ZONING: R-1 (Single family Residence District)

PROPOSED ZONING: None proposed.

SURROUNDING LAND USES: Public school to north.
Single family residential or vacant to south, east, and west.

COMPREHENSIVE PLAN: Neighborhood Residential (Including Multi-Family)

APPLICANT/OWNER NAME: City of De Pere is applicant and controls the walkway easement.

Walkway easement on the following properties:

Parcel ED-1129-Q-31
Matthew T & Courtney L. Stoehr, Land Owners
1526 Merrill Street
De Pere, WI 54115-3333

Parcel ED-1129-Q-32
Shari L. Linskens, Land Owner
1527 Quinnette Lane
De Pere, WI 54115-3338

SITE HISTORY: After a review of air photographs and historical documents, the subject area was originally proposed to be a street on a 1958 plat titled, "Quinnette Plat." In 1960 an unbuilt proposed street in the subject area, named "Voelker Street," was vacated and a 10 foot wide walkway easement and utility easement was retained.

The residential neighborhood, and school to the north, mostly developed in the late 1960's and 1970's. The area street system was developed with sidewalks that created a pedestrian access between Quinnette Lane and Merrill Street along Knoll Terrace, located 350 feet to the east of the subject walkway easement.

A walkway was never built along the walkway easement. However, utilities were located within a utility easement within the same 10 foot wide area.

If the walkway easement was discontinued, ownership of land would not change. Discontinuing the walkway easement would not cause any changes to the utility easement, which must be retained.

STAFF REVIEW: When reviewing a right-of-way vacation/discontinuance, staff utilizes the vacation process identified in Wisconsin State Statutes 66.103 and 66.105. The role of the Plan Commission in the process is determining if such a vacation/discontinuance is necessary, and if so, recommending to the Common Council that the right-of-way be vacated/discontinued. The following are factors for consideration:

- The walkway was never built since the easement was established in 1960.

Attachment: Discontinuance - Quinnette & Merrill - Plan Commission Report (6717 : Review and recommendation for a Proposed

- A property owner requested a discontinuance to the Mayor because the proposed walkway has never been built, does not seem necessary, and the property owner desires to build a fence in the area.

- The City took on the request as a City petition due to the City being the controller of the walkway easement.

- The function of the existing street and pedestrian system already allows for vehicle and pedestrian access between Quinnette Lane and the school property on Merrill Street via Knoll Terrace.

- If the walkway easement is discontinued, the utility easement must remain because there are existing underground storm water utilities within the easement.

- The act of discontinuing the walkway easement will not change the ownership of the privately owned lands upon which the easement lies.

- The existing private ownership of Parcels ED-1129-Q-31 and ED-1129-Q-32, where the easement lies, will not change as a result of the discontinuance.

All adjacent and underlying property owners have been notified of the discontinuance petition. City staff has also been informed that one of the property owners spoke verbally to each of the property owners about the petition. To date, no objecting comments have been received.

REVIEW PROCESS: The Common Council will review the Plan Commission recommendation twice, first as a resolution on March 6, 2018 and then with a public hearing and resolution on April 17, 2018 where adjacent property owners will again be notified.

STAFF RECOMMENDATION: Staff recommends APPROVAL and forwarding the walkway easement discontinuance to the Common Council for final approval with the following condition:

1. The existing 10 foot utility easement remains in place.

Attachment: Discontinuance - Quinnette & Merrill - Plan Commission Report (6717 : Review and recommendation for a Proposed

GENERAL LEGAL DESCRIPTION*

The eastern 10 feet of Quinnette Plat Lot 10 Ex 20 Ft & W 25 Ft VAC S Volker ST Lyg Adj to E/L SD Lot BLK 4, AND, the eastern 10 feet of Quinnette Plat Lot 9 & W 35 Ft of Vac S Volker ST Lyg Adj to E/L SD Lot 9 BLK 4, ESFR PC 35, City of De Pere, Brown County, Wisconsin.

**NOTE: An updated, more detailed legal description and exhibit map will be forwarded to the Common Council, should the Plan Commission recommend approval of this discontinuance.*

Attachment: Discontinuance - Quinnette & Merrill - Plan Commission Report (6717 : Review and recommendation for a Proposed

	CITY OF DE PERE **APPLICATION FOR ROW VACATION**	**Fee:** ~~$ 305.00~~ **Receipt #:** —— **Date:** 12 FEB 2018

CITY OF DE PERE RECEIVED FEB 1 2 2018 PLANNING DEPT.

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity)	Authorized Representative	Title	
City of De Pere	Peter Schleinz	Senior Planner / Zoning Administra	
Mailing Address	**City**	**State**	**ZIP Code**
335 S. Broadway Street	De Pere	WI	54115
Email Address	**Phone Number (incl. area code)**	**Fax Number (incl. area code)**	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity)	Contact Person	Title	
Mailing Address	**City**	**State**	**ZIP Code**
Email Address	**Phone Number (incl. area code)**	**Fax Number (incl. area code)**	

SECTION 3: Right of Way Requested to be Vacated

Name of ROW:	Sidewalk easement between 1500-1600 BLK Quinnette LN & Merrill ST
Legal Description to be Vacated: (Please attach map)	Map and general legal description included with staff report.

SECTION 4: Reason of Vacation

Reason for Requesting Vacation of ROW:	Unbuilt, not needed.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative for this Application. I certify that the information contained in this form and attachments is true and accurate.

Name of Owner/Authorized Representative (please print)	Title	Phone Number
Peter Schleinz, Authorized Agent	Senior Planner / Zoning Adm	920.339.4043
Signature of Applicant: Peter Schleinz		Date Signed 12 Feb 2018

City of De Pere, Wisconsin

Request For Plan Commission Action

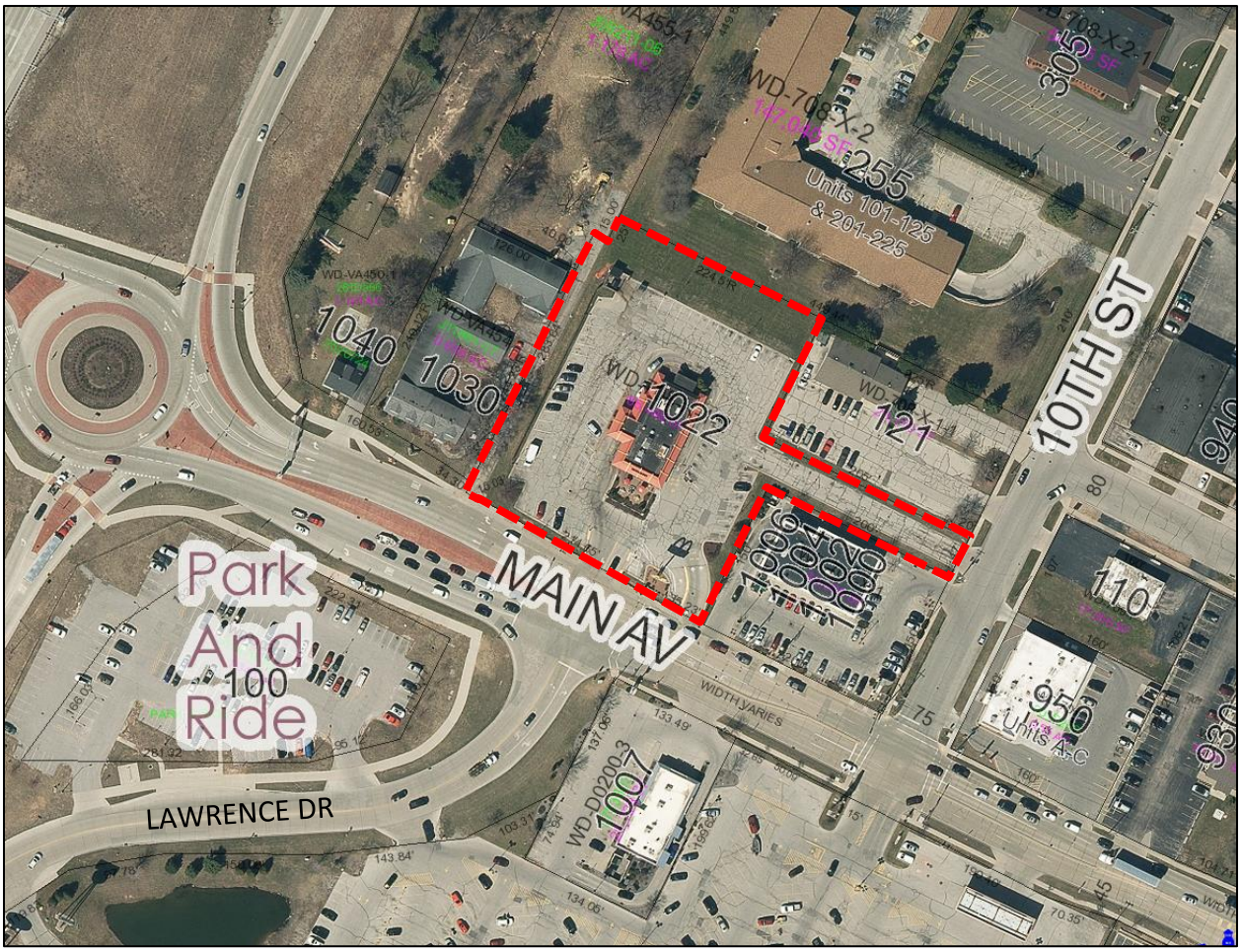
MEETING DATE:	**February 26, 2018**
DEPARTMENT:	**Planning**
FROM:	**Peter Schleinz**
SUBJECT:	**Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 Main Avenue (Parcel WD-708-X-1-2). Submitted by Landform Professional Services LLC.**

ATTACHMENTS:

- Report to Plan Commission - Site Plan at 1022 Main AV - McDonald's (DOCX)
- Application Form (PDF)
- Site Plan - Building Elevations - PRELIMINARY - 31 Jan 2018 (PDF)
- Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (PDF)

ITEM 6: **Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 Main Avenue (Parcel WD-708-X-1-2). Submitted by Landform Professional Services LLC.**

SITE MAP



REQUESTED ACTION: Site Plan approval

The existing McDonald's and parking area is proposed to be torn down and replaced with a new building and parking area.

COMMON DESCRIPTION: 1022 Main Avenue, located northward from the Main Avenue and Lawrence Drive intersection.

PARCEL NUMBERS: WD-708-X-1-2

EXISTING ZONING: B-3 (General Business District)

PROPOSED ZONING: No rezoning proposed

SURROUNDING LAND USES: Multi-Family Residential to the north.
Commercial, to the south and east.
Vacant (proposed commercial) to the west.

Attachment: Report to Plan Commission - Site Plan at 1022 Main AV - McDonald's (6722 : Recommendation regarding a Site Plan for a new

COMPREHENSIVE PLAN: Commercial

APPLICANT / OWNER:

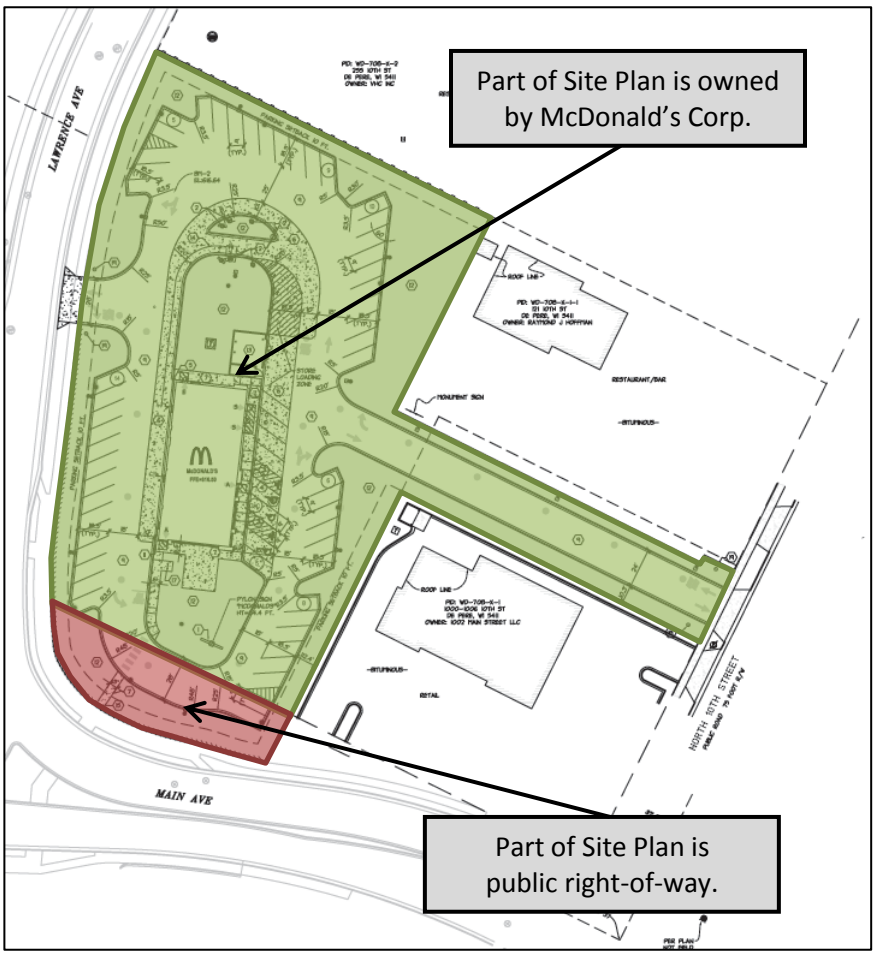
Kevin Shay, Representative
Landform Professional Services LLC
105 South Fifth AV
Minneapolis, MN 55401

Owner of Parcel WD-708-X-1-2
McDonald's Corporation
Kilian Management Services
1722 Clarence CT
West Bend, WI 53095

SITE HISTORY: After a review of air photographs, the site was used for agricultural purposes until the 1970s's when the McDonalds building and parking area was built. Some modifications were made to the building, parking area, drive thru, lighting and signage over the years but the general location of the building and parking lot remained the same.

In the past year, the City has been working to convert the Main and Lawrence intersection into a roundabout. The project includes the extension of Lawrence Drive to the north. This project shifts the access into the site from Main Avenue to newly extended Lawrence Drive.

STAFF REVIEW: The applicant proposes to develop the site as a McDonald's restaurant, which will include a 4,459 square foot building and accessory surface parking to replace the existing restaurant. The existing pylon sign, however, is proposed to remain.



Attachment: Report to Plan Commission - Site Plan at 1022 Main AV - McDonald's (6722 : Recommendation regarding a Site Plan for a new

NOTE

The proposed site plan is designed on property that currently is partially privately owned and partially right of way, as shown on the above diagram. The City and McDonald's Corp are working towards an agreement that would result in the entire site being owned by McDonald's Corp. However, in order to maintain desired construction schedules, a site plan review is being requested prior to that process being finalized. To that end, any approval for this site plan will include a conditional requirement that the property be assembled and consolidated prior to any building permit issuance.

When reviewing a Site Plan request, staff considers the zoning code, future land use recommendation of the Comprehensive Plan and the surrounding land uses and desired development patterns.

The site plan proposal includes a commercial structure (4,459 square foot McDonald's restaurant) and a 60 stall parking area with drive lanes (46,140 square feet) on a total 81,250 square foot site.

The orientation of the building is based on the proposed redesign of Main Avenue and Lawrence Drive as a roundabout intersection with Lawrence Drive extending northward. Vehicular access to the property will be via two driveways; one new driveway on a future Lawrence Drive and the other pre-existing driveway on 10th Street. The direct vehicular access to Main Avenue will be completely removed. Pedestrian access includes a sidewalk that runs along the future Lawrence Drive and Main Avenue. Pedestrian connection between the sidewalk and the building is along a walkway at the southern end of the property. The site plan includes bicycle parking near the southwest entry door.

Zoning Code (14-60) requires buildings in the B-3 zoning district to be made of brick, concrete masonry, poured concrete, natural stone, or other materials approved by Plan Commission. The material criteria is met as the building facades are made of the following in a manner that breaks up the massing of the walls:

- Belden Brick (Sienna blend)
- Porcelain Brushed Tile (oyster brushstroke)
- Glass
- Aluminum and metal panel – building accent

The site plan complies with the following massing and setback requirements set by the B-3 Zoning District (Section 14-45).

- Land Use: Drive-in or convenience food restaurant (permitted)
- Lot Size: 88,498 s.f. and proposed to become approximately 81,250 s.f. (no minimum requirement)
- Front Yard Setback: ~90-feet (no minimum requirement)
- Corner Side Yard Setback: ~75-feet (no minimum requirement)
- Rear/Interior Side Yard Setback: ~150-feet (no minimum requirement)

- Building Height: 1 story at 20-feet 3-inches (permitted due to having a 0.05 Floor Area Ratio -- less than the required 2.80)

Lighting and photometric plans were included with the site plan and were reviewed by the City Engineering staff. The screening of HVAC systems and the waste facility is via the parapet due to rooftop HVAC systems. Storm water management will be addressed off site. The dumpster enclosure is being relocated from the current location to a spot just north of the proposed building. Although not shown in the drawings, the enclosure must be constructed of materials similar to the building material.

Per current Zoning Code, parking lot requirements for fast-food/drive restaurants are 1 space for each employee on a maximum shift, one space for each 50 sq. ft. of customer dining area, and 8 stacking spaces in the drive-thru, plus 6 stacking spaces for the additional drive thru in excess of 10,000 s.f.:

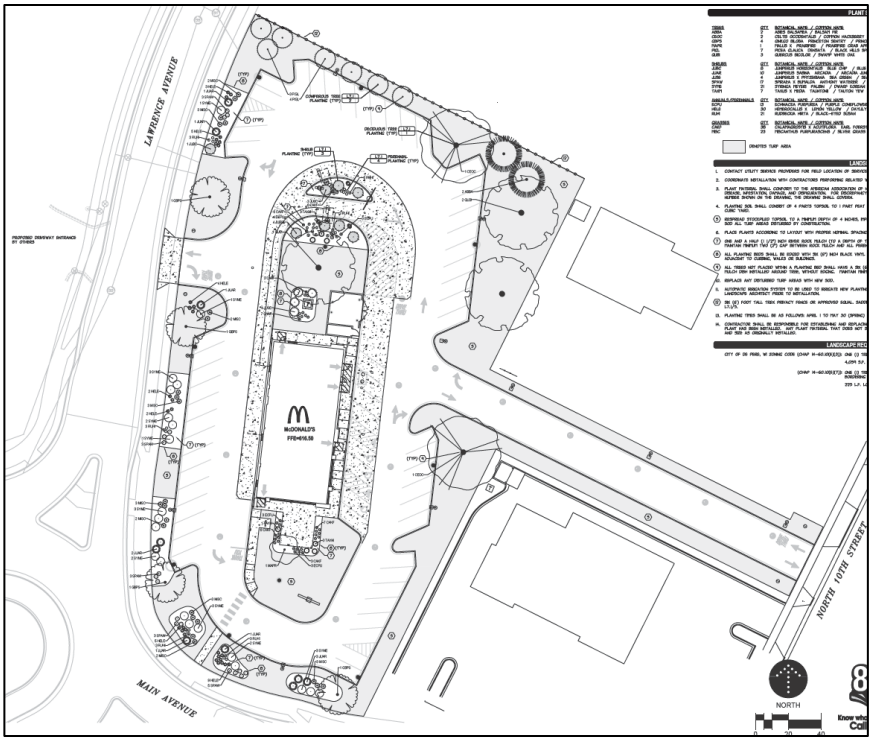
Area	Required Stalls	Provided Stalls
Employee Needs	15 per largest shift	--
Customer Needs	19 per 950 s.f.	--
Drive Thru	8 per window/lane 1 + 6 per window/lane 2	--
TOTAL	**34 Parking Stalls** **and** **14 Stacking Stalls**	**60 Parking Stalls** **and** **17 Stacking Stalls**

The parking lot and drive-thru stacking exceed requirements for this type of business. At the same time, the parking total is a 10 stall reduction from the 70 stalls they currently have on site.

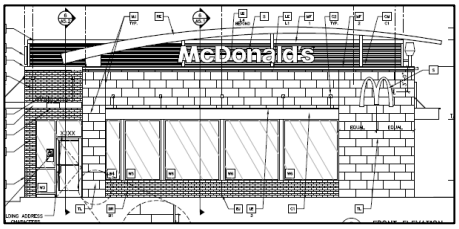
Please note that there are parts of the site plan that lie outside of the boundaries of the existing property lines. The site plan was drawn with the anticipation that a street vacation/discontinuance for Main Avenue will occur in relationship to the development of the proposed roundabout. The Plan Commission would not typically recommend approval for a site plan that lies within a right-of-way, however, in this case the Plan Commission can conditionally approve the plan and request that staff observe whether or not any final property boundary changes occur prior to allowing the site plan to exist on private property as the site plan finalizes.

Attachment: Report to Plan Commission - Site Plan at 1022 Main AV - McDonald's (6722 : Recommendation regarding a Site Plan for a new

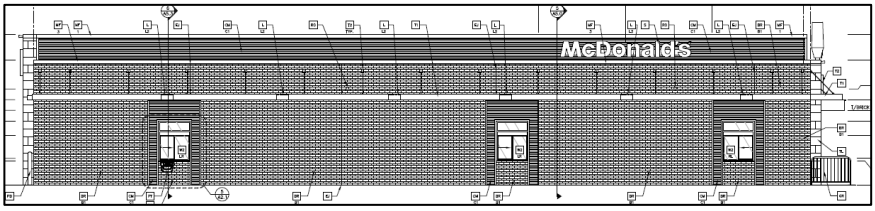
Site plan with proposed new building, parking and driveways.



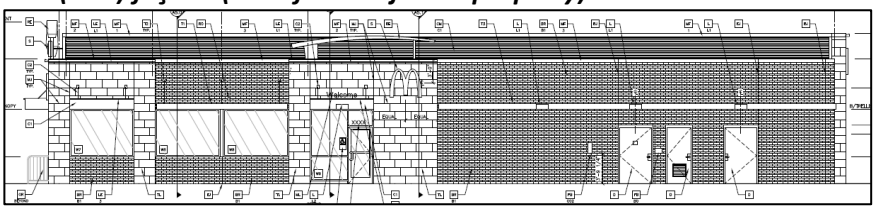
South (front) façade (view from Main Avenue).



West (side) façade (view from future Lawrence Drive).

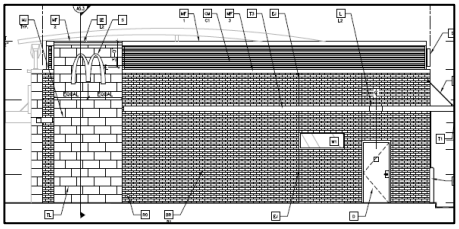


East (side) façade (view from adjacent property).



Attachment: Report to Plan Commission - Site Plan at 1022 Main AV - McDonald's (6722 : Recommendation regarding a Site Plan for a new

North (rear) façade (view from adjacent property).



STAFF COMMENTS: The following staff comments are conditions that need to be met, per City staff review.

Engineering:

1. There will be an easement in the (potential future) vacated right-of-way for existing utilities. Any relocation of utilities in the potentially vacated right-of-way will need to be coordinated by McDonald's.

Fire:

1. The applicant should contact the Fire Department prior to submitting building permit plans in order to review fire code requirements.

Forestry:

1. None.

Health:

1. McDonalds shall submit plan which includes all items in new establishment's guidelines information packet at least 3 to 6 months prior to target date of opening. Target date of opening is September 1, 2018. New establishment guidelines packet and license application emailed to Kevin Shay, Planner, Landform Professional Associates and Carter Mann, Area Construction Manager, McDonalds USA.

Planning:

1. Staff will observe whether or not any property boundary changes (i.e. – right-of-way along Main Avenue and Lawrence Drive) will allow the final site plan approvals to proceed without returning to Plan Commission for further review.
2. Some signage drawings are included with the Plan Commission submittal but signage is not approved as part of this review. Signage will be reviewed and approved separately per the sign permit review process.
3. The applicant must submit drawings showing the materials and design proposed for the dumpster enclosure in order to ensure that the enclosure meets code.

Inspection:

1. If the area of disturbance exceeds one (1)1 acre a NOI/WPDES permit is required.
2. A demolition permit/sanitary sewer cap permit shall be obtained (a 10-day hold is required for all building demo permits).
3. Provide water pressure at the main for water service and water distribution sizing.

Attachment: Report to Plan Commission - Site Plan at 1022 Main AV - McDonald's (6722 : Recommendation regarding a Site Plan for a new

The above conditions must be addressed via revised submittals and staff review and approval prior to issuance of a site plan approval memo.

REVIEW PROCESS: For Site Plan Requests, the Plan Commission either approves or denies the project. Conditions of approval must be resolved between the petitioner and staff before a final approval memo is issued and building permits are released. This site plan is not reviewed by Common Council.

STAFF RECOMMENDATION: Staff recommends APPROVAL of the Site Plan request for a new commercial building and 60 stall parking area called McDonald's subject to compliance with the staff comments noted in this report and the following condition.

1. Subject to a successful street vacation/discontinuance of right-of-way and title transfer for that portion of the site plan that is currently Main Avenue right-of-way and not owned by McDonald's Corp. Staff to verify that the final site plan boundary appropriately matches any revised property boundaries should a vacation/discontinuance be approved.

CITY OF DE PERE RECEIVED NOV 29 2017 PLANNING DEPT.

	CITY OF DE PERE **APPLICATION FOR SITE PLAN REVIEW**	**Fee:** $ 305.00 **Receipt #:** 85079 **Date:** 29 Nov 2017

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity)	Authorized Representative	Title	
Landform Professional Services, LLC	Kevin Shay	Planner	
Mailing Address	**City**	**State**	**ZIP Code**
105 South Fifth Avenue	Minneapolis	MN	55401
Email Address	**Phone Number (incl. area code)**	**Fax Number (incl. area code)**	
kshay@landform.net	612-638-0228	612-252-9077	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity)	Contact Person	Title	
McDonald's USA, LLC	Carter Mann	Area Construction Manager	
Mailing Address	**City**	**State**	**ZIP Code**
1650 West 82nd Street, Suite 900	Bloomington	MN	55431
Email Address	**Phone Number (incl. area code)**	**Fax Number (incl. area code)**	
carter.mann@us.mcd.com	952-300-5504		

SECTION 3: Project or Site Location

Project Address/Description	Parcel No.
1022 Main Avenue	WD-708-X-1-2

SECTION 4: Project Information

Existing Zoning:	B-3		
Present Use of Parcel:	McDonald's restaurant with a single lane drive-through		
Proposed Use of Parcel:	McDonald's restaurant with side-by-side drive-thru		
Estimated Start Date:	May 1, 2018	Estimated Completion Date:	September 1, 2018

Please submit 1 hard copy 24x36, 1 hard copy 11x17 and 1 PDF copy of the submittal.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

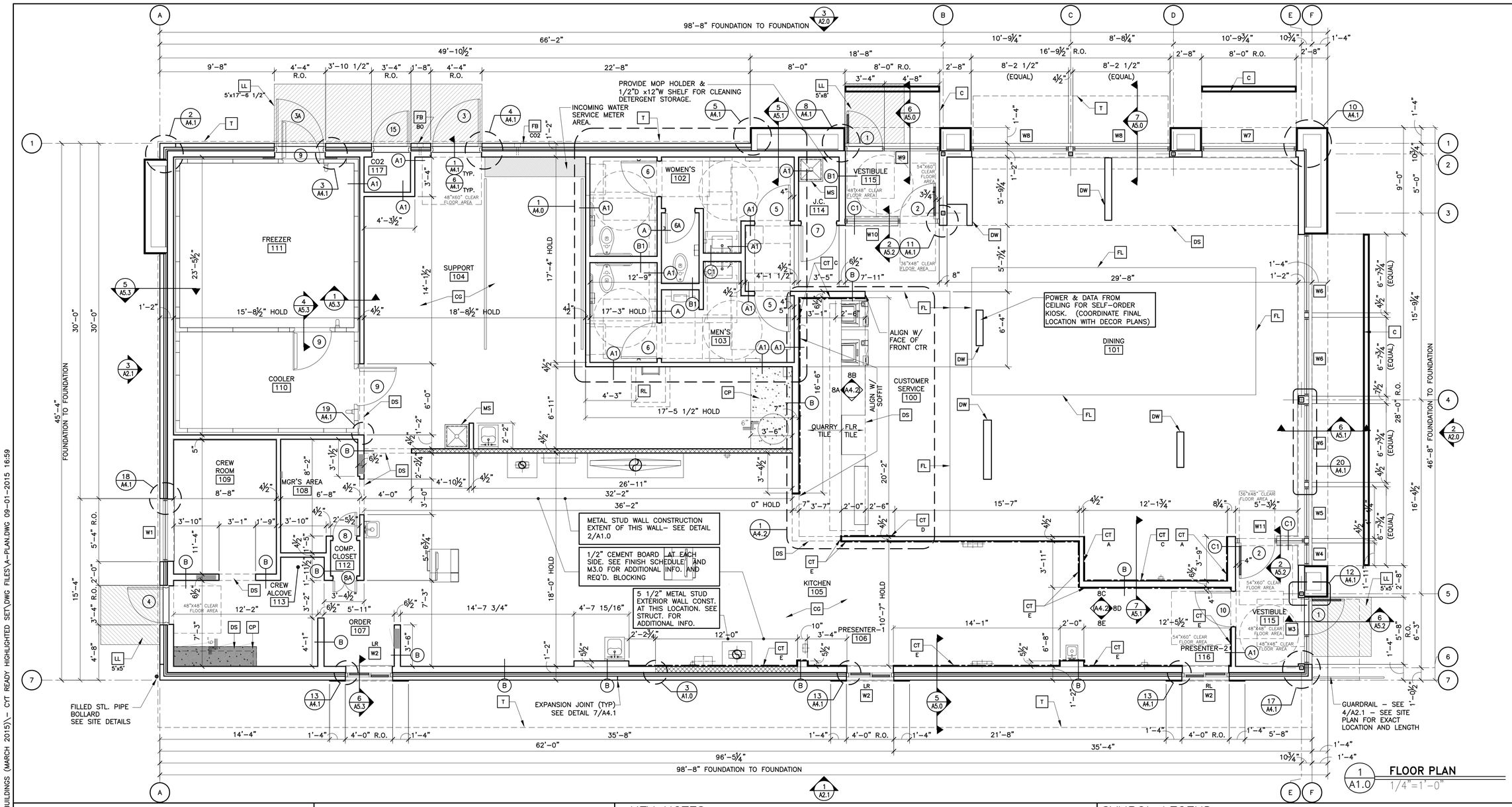
Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print)	Title	Phone Number
Carter Mann	Area Construction Manager	952-300-5504
Signature of Applicant Carter Mann		**Date Signed** 11-27-2017

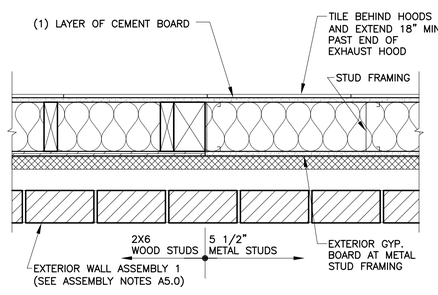
TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.	✓ 29 Nov 2017

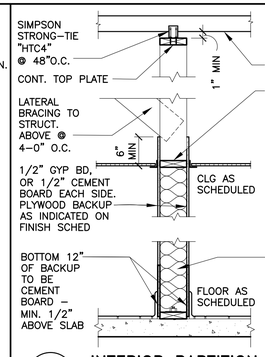
Attachment: Application Form (6722 : Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 M)



1 A1.0 FLOOR PLAN
1/4"=1'-0"



3 A1.0 TRANSITON DETAIL
1 1/2"=1'-0"



METAL STUD PARTITION TYPE:
"MA" = 3 5/8"
SPACING: 16" O.C.
STUD GUAGE:
LOAD BEARING: 18
NON-LOAD BEARING: 20

WOOD STUD PARTITION TYPE:
ALL PARTITIONS TYPE 'A' UNLESS NOTED OTHERWISE
"AA1"= 2x2 W/RIGID INS.
"A" = 2x4
"A1"= 2x4 W/BATT INS.
"A2"= 2x4 (ROTATED) W/BATT INS.
"B" = 2x6
"B1"= 2x6 W/BATT INS.
"C" = 2x8
"C1"= 2x8 W/BATT INS.
STUD SPACING: 16" O.C.

2 A1.0 INTERIOR PARTITION
3/4"=1'-0"

KEY NOTES

- C — ALUMINUM CANOPY SYSTEM ABOVE – SEE 4/A5.0 FOR NOTES – SEE ROOF PLAN FOR DIMENSIONS
- CG — G.C. TO PROVIDE 4"x4"x5'-0" HIGH STAINLESS STEEL CORNER GUARDS AT ALL EXPOSED LOCATIONS IN KITCHEN/SUPPORT AREA. CORNER GUARDS TO START AT FINISH FLOOR. ATTACH WITH WOOD SCREWS INTO WOOD BLOCKING BULLNOSE COVE BASE WHERE TILE MEETS STAINLESS STEEL CORNER – SEE DETAIL 16/A4.1
- CP — CONCRETE EQMT PAD – SEE STRUCTURAL & 15/A4.1
- CT A — PORCELAIN WALL TILE: EUROWEST – ARCHITECT COLLECTION COLOR: FACTORY SIZE 12"x24" PATTERN: STACK BOND GROUT: MAPEI 47 CHARCOAL –JOINT TO BE 1/8" MAX. COORDINATE WITH THE McDONALD'S AREA CONSTRUCTION MANAGER
- CT B — NOT USED
- CT C — CERAMIC WALL TILE: EUROWEST COLOR: TASTE SIZE: 10"x30" GROUT: MAPEI 27 SILVER –JOINT TO BE 1/16" MAX. COORDINATE WITH THE McDONALD'S AREA CONSTRUCTION MANAGER
- CT D — PORCELAIN WALL TILE: CROSSVILLE, WOOD MOOD COLOR: COFFEE BROWN SIZE: 6"x36" PATTERN: STACK BOND GROUT: MAPEI 79 COCOA –JOINT TO BE 1/16" MAX. COORDINATE WITH THE McDONALD'S AREA CONSTRUCTION MANAGER
- CT E — CERAMIC WALL TILE: EUROWEST – FRENCH CLAY COLOR: GLACE SIZE: 4"x12" PATTERN: 1/3 MAX. OFFSET RUNNING BOND GROUT: MAPEI 47 CHARCOAL – JOINT TO BE 1/16" MAX. COORDINATE WITH THE McDONALD'S AREA CONSTRUCTION MANAGER
- DS — DROPPED SOFFIT ABOVE – SEE REFLECTED CEILING PLAN
- DW — DECOR WALL – VERIFY SIZE AND PLACEMENT WITH DECOR PLANS –SEE 2/A1.0
- FB CO2 — CO2 FILL BOX (EQUIPMENT SCHEDULE ITEM 49.00)
- FB BO — OPTIONAL BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) CONFIRM USE WITH MCDONALD'S AREA CONSTRUCTION MANAGER
- FL — FLOOR LINE – CHANGE IN MATERIAL – SEE DECOR DRAWINGS
- LL 5'x5' — LEVEL LANDING @ EXT. DOOR W/ MAX. 2% RUNNING/CROSS SLOPE AWAY FROM BUILDING SIZE OF LANDING
- MS — MOP SINK – SEE DETAIL 8/A6.1 AND PLUMBING DRAWINGS.
- RL — ROOF ACCESS LADDER W/HATCH ABOVE SEE STRUCTURAL FRAMING PLAN FOR LOCATING DIMENSIONS – SEE 1/A6.0
- T — TRELLIS SYSTEM ABOVE SEE 4/A5.0 FOR NOTES SEE ROOF PLAN FOR DIMENSIONS
- Wx — EXTERIOR WINDOW ASSEMBLY – SEE A2.0 & A2.1 FOR ADDITIONAL NOTES

SYMBOL LEGEND

- (A) — PARTITION TYPE TAG SEE 2/A1.0
- EXTENT OF WALL TILE – SEE A6.1
- (7) — DOOR TAG – SEE DOOR SCHEDULE ON A6.0
- (X) — KEY NOTE

GENERAL NOTES

1. EXTERIOR DIMENSIONS ARE TO COLUMN REFERENCE LINES AND EXTERIOR FACE OF FINISH UNLESS OTHERWISE NOTED. INTERIOR DIMENSIONS ARE TO FACE OF INTERIOR WALL BOARD
2. SEE 4/A5.0 FOR EXTERIOR WALL ASSEMBLY TYPES. SEE 2/A1.0 FOR INTERIOR PARTITION TYPES. INTERIOR PARTITIONS ARE TYPE 'A' UNLESS NOTED OTHERWISE.
3. SEE EXTERIOR ELEVATIONS FOR WINDOW TYPES
4. SEE SHEET A6.0 FOR DOOR SCHEDULE AND SHEET A6.1 FOR ROOM FINISH SCHEDULE
5. SEE SITE PLAN FOR SIDEWALKS, RAMPS, ETC.
6. GC TO PROVIDE ADA SIGNAGE PACKAGE AND INSTALL SIGNS AT LOCATIONS AND POSITIONS INDICATED IN PACKAGE OR AS REQUIRED BY LOCAL CODES. SIGNAGE PACKAGE SUPPLIED BY: FORREST PERMA-SIGN 1-800-214-8765 9292 1ST ST., BOX 588 www.forrestpermasigns.com NEW ROCHELLE, NY 10802
7. MAXIMUM OCCUPANCY SIGN TO BE POSTED PER LOCAL CODE. SIGN FURNISHED AND INSTALLED BY GENERAL CONTRACTOR.
8. ALL HANDSINK LOCATIONS SHALL HAVE CEMENT BOARD BACKING 48" IN HEIGHT A.F.F.
9. GC TO COORDINATE ALL REQUIRED BLOCKING FOR WALL HUNG EQUIPMENT, SHELVES, ETC. FOR PROPER INSTALLATION HEIGHTS.
10. KNOX BOX TO BE INSTALLED PER LOCAL CODE AS REQUIRED. MODEL AND LOCATION TO BE COORDINATED WITH FIRE MARSHALL.
11. DASHED LINES @ DOORS, RESTROOMS, & FIXTURES REPRESENT CLEAR FLOOR MANEUVERING CLEARANCES AS REQUIRED BY THE ACCESSIBILITY CODE. CLEARANCES MUST BE MAINTAINED WITHOUT EXCEPTION. IF CONDITIONS PREVENT ANY CLEAR FLOOR SPACE FROM BEING MAINTAINED, CONTACT THE ARCHITECT FOR RESOLUTION.

REV	DATE	DESCRIPTION	DIA	BY
	11/2/17			

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered ARCHITECT under the laws of the State of WISCONSIN

Signature BRIAN R. JOHNSON
Date XX/XX/2017
Registration Number 9143-005

PREPARED BY:
reprise DESIGN
Architecture, Inc.
ARCHITECTURE & PLANNING
12400 PORTLAND AVENUE SOUTH, SUITE 100
BURNSVILLE, MN. 55337
EMAIL: DATA@REPRISEDESIGN.COM
PHONE: (952) 252-4042
FAX: (952) 252-4043

PREPARED FOR:
McDonald's USA, LLC

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These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for use on this specific site in reference to a particular design program. Reuse on a different site or at a later time. Use of these drawings for reference, or example, on another project requires the services of a licensed design professional to review the suitability of the contract documents for reuse on another project is not authorized.

DRAWN BY	REVIEWED BY
DIA	KD
STD ISSUE DATE 2017_10	DATE ISSUED XX/XX/17

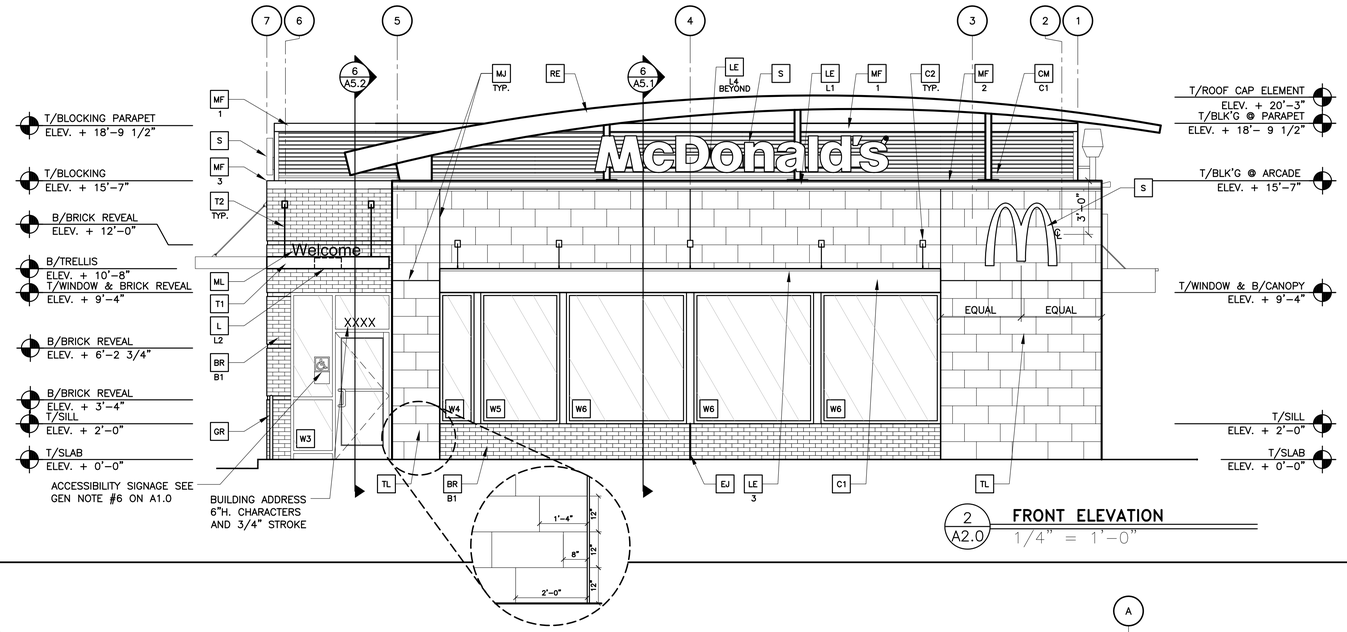
TITLE: 2017 STANDARD BUILDING 4597-WOOD/WOOD
DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CI WOOD ROOF TRUSS FRAMING
TILE EXTERIOR FINISH ARCADE/ENTRY
SITE ID 048-0118
SITE ADDRESS 1022 MAIN AVENUE, DePERE, WI
RD@17400

SHEET NO. 048-0118.00.0
A1.0
FLOOR PLAN

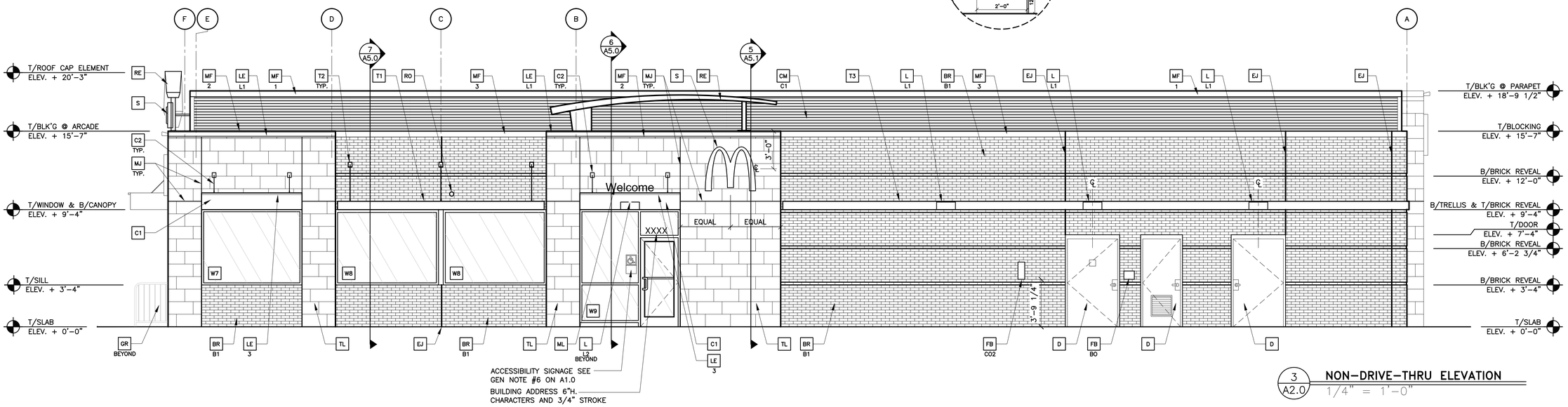
\\MCDOAKPNAS31A01\CAD01\STD\STANDARD\PRELIM\– 2014 STANDARD BUILDINGS (MARCH 2015)\– CYT READY HIGHLIGHTED SET\DWG FILES\A-PLAN.DWG 09-01-2015 16:59

Attachment: Site Plan - Building Elevations - PRELIMINARY - 31 Jan 2018 (6:72 : Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 M)

1 A2.0 **ELEVATION NOT USED**



2 A2.0 **FRONT ELEVATION**
1/4" = 1'-0"



3 A2.0 **NON-DRIVE-THRU ELEVATION**
1/4" = 1'-0"

EUROWEST TILE PACKAGE:

INCLUDES: TILE, WATERPROOFING, SETTING MATERIAL, GROUT, INTIAL CLEANING

EUROWEST TILE: OYSTER BRUSHSTROKE 12"X24"X3/8" PORCELAIN BRUSHED HONED FINISH
LAYOUT PATTERN: 33% MAX.

WATERPROOFING, SETTING MATERIAL AND GROUT: BY MAPEI
GROUT COLOR: 38 AVALANCHE, GROUT WIDTH: 1/8" TO 3/16"

INTIAL CLEANING: DETERDEK
*** POST INSTALLATION CLEANER IS REQUIRED ON ALL TILE APPLICATIONS. VERIFY CLEANING SOLUTION PRODUCT AND INSTRUCTIONS WITH MANUFACTURER.***

EUROWEST CONTACT: JAN DETER, (714) 937-7500

ADDITIONAL MATERIALS
BY SCHLUTER SCHLUTER SYSTEMS L.P.

OUTSIDE CORNERS
COLOR: FOR OYSTER TILE – SAND PEBBLE RONDEC RO100SP (COLOR COATED ALUMINUM)

MOVEMENT JOINTS:
COLOR: FOR OYSTER TILE – SAND PEBBLE DILEX BWB100SP

END OF TILE FIELD ABOVE ROOF AT HEARTH:
COLOR: FOR OYSTER TILE – SAND PEBBLE RONDEC RO100SP (COLOR COATED ALUMINUM)

SCHLUTER SYSTEMS L.P. CONTACT: EARL MAICUS, (518) 324-3410

TILE GENERAL NOTES:
REFERENCE 2011 TCNA HANDBOOK –EJ171 MOVEMENT JOINT GUIDELINES

1. LOCATION AND FREQUENCY OF JOINTS
EXTERIOR: 8' TO 12' FEET IN EACH DIRECTION, OR AS INDICATED ON ELEVATIONS.

2. JOINT WIDTH
EXTERIOR: MINIMUM 3/8" FOR JOINTS 8' ON CENTER, MINIMUM 1/2" FOR JOINTS 12' ON CENTER.

3. PERIMETER JOINTS – MOVEMENT JOINTS ARE REQUIRED WHERE TILE WORK ABUTS RESTRAINING SURFACES SUCH AS PERIMETER WALLS, AND GRADE. FLEXIBLE SEALANT AND COMPRESSIBLE BACK-UP WHEN REQUIRED OR BOND BREAKER TAPE.
JOINT MATERIAL: URETHANE
COLOR: TO MATCH TILE AND GROUT COLOR

4. TIE-BACK AND SIGNAGE ATTACHEMENT – PRE-DRILL TILE AND SLEEVE AND SEAL ALL ATTACHEMENT POINTS.

4 A2.0 **TILE DETAIL INFORMATION**

KEY NOTES:

- BR — FACEBRICK: BELDEN OR EQUAL; SIZE: MODULAR; B1 — COLOR: B1 = "SIENNA BLEND VELOUR A"
- C1 — ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 — ALUMINUM CANOPY TIE-BACK SYSTEM
- CM — CORRUGATED METAL PANEL – SEE 3/A5.2; C1 — COLOR: C1 = "CITYSCAPE" BY METAL-ERA
- D — HOLLOW METAL DOOR – PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- EJ — EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB — CO2 — CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00); BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) – CONFIRM USE WITH MCD PROJECT MANAGER
- GR — GUARD RAIL –SEE SITE PLAN FOR EXACT LOCATION AND LENGTH, SEE 4/A2.1 FOR DETAILS
- L — LIGHT FIXTURE (WALL SCONCE) – SEE ELECTRICAL; L1 — L1 = UP AND DOWN FIXTURE; L2 = DOWN ONLY FIXTURE
- LE — ACCENT LIGHTING – SEE ELECTRICAL; L1 — LED LIGHT: L1 = UP AND DOWN FIXTURE, L2 = DOWN ONLY FIXTURE, L3 = INTEGRAL CANOPY FIXTURE, L4 = UP ONLY FIXTURE
- MJ — TILE MOVEMENT JOINT – 4/A5.1 FOR ADDITIONAL INFORMATION, AND 4/A2.0 FOR SPECIFICATIONS (MOVEMENT JOINTS MUST BE MAINTAINED OVER TIME w/ NEW SEALANT)
- ML — METAL LETTERING – BY OTHERS
- MF — METAL FASCIA – COLOR TO MATCH CORRUGATED METAL PANEL – SEE 1/A5.0; 1 — TYPE: 1 = PRE-FAB ANCHOR-TITE FASCIA, 2 = PRE-FAB CUSTOM ARCADE FASCIA, 3 = PRE-FAB MASONRY CAP FASCIA
- PB — PIPE BOLLARD – PAINTED YELLOW
- PT — (RMHC) COIN COLLECTOR; UNIT #WPT DT2000 STD; CALL 1-888-743-7435 TO ORDER
- RE — ROOF CAP ELEMENT BY OTHERS
- RO — ROOF DRAIN OVERFLOW PIPE PAINT TO MATCH SURROUNDING MATERIAL
- S — McDONALD'S SIGNAGE BY OTHERS – UNDER SEPARATE PERMIT.
- T1 — ALUMINUM TRELLIS SYSTEM
- T2 — TRELLIS TIE-BACK SYSTEM
- T3 — ALUMINUM TRELLIS 2" x 8" WALL FASCIA SYSTEM – REFER TO SIM. DETAIL 2 ON SHEET A5.0
- TL — TILE SYSTEM – SEE WALL ASSEMBLY 2, DETAIL 4/A2.0, 3/A5.1, AND 4/A5.1 FOR ADDITIONAL INFORMATION
- Wx — EXTERIOR WINDOW ASSEMBLY – TEMPERED GLASS – SEE ASSEMBLY NOTES & FRAME TYPES ON SHEET A6.0
- W2 XX — DRIVE-THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM – MANUAL OPEN; ELECTRONIC RELEASE; SLIDE DIRECTION: RL = RIGHT TO LEFT, LR = LEFT TO RIGHT

REV	DATE	DESCRIPTION	DIA	BY
	11/2/17			

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered ARCHITECT in the State of WISCONSIN

Signature BRIAN R. JOHNSON
XX/XX/2017 9143-005
Date Registration Number

PREPARED BY:
reprise DESIGN Architecture, Inc.
ARCHITECTURE & PLANNING
12400 PORTLAND AVENUE SOUTH, SUITE 100
BURNSVILLE, MN. 55337
EMAIL: DATA@REPRISEDESIGN.COM
PHONE: (952) 252-4042
FAX: (952) 252-4043

PREPARED FOR:
McDonald's USA, LLC

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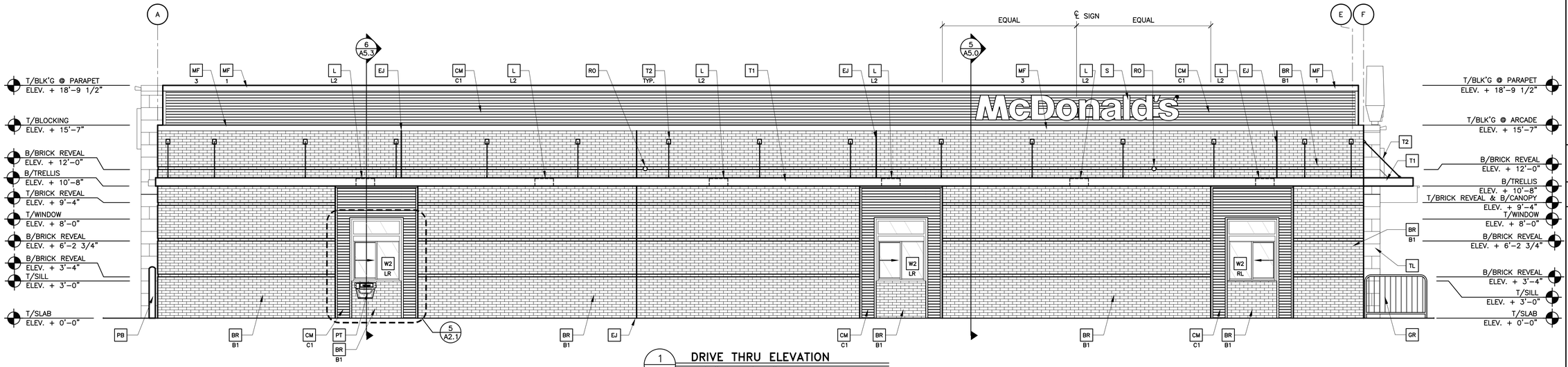
DRAWN BY	REVIEWED BY	DATE ISSUED	
DIA	KD	XX/XX/17	
STD ISSUE DATE 2017_10			RD#17400

TITLE: 2017 STANDARD BUILDING 4597-WOOD/WOOD
DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CI WOOD ROOF TRUSS FRAMING TILE EXTERIOR FINISH ARCADE/ENTRY
SITE ID: 048-0118
SITE ADDRESS: 1022 MAIN AVENUE, DePERE, WI

SHEET NO. 048-0118.00.0
A2.0
ELEVATIONS

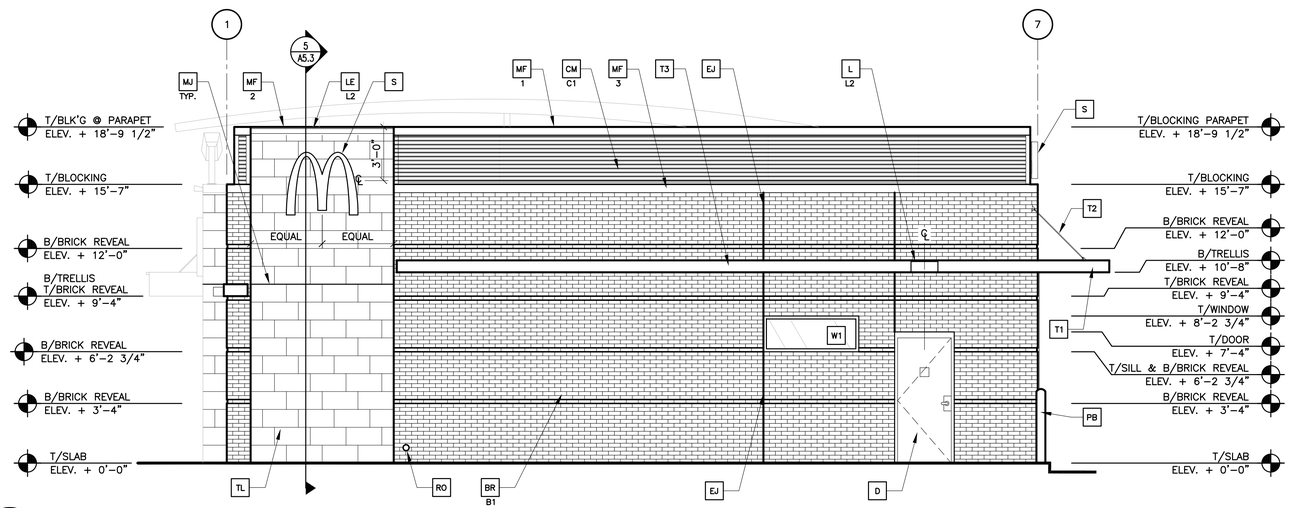
K:\STD\STANDARD\PRELIM\- 2014 STANDARD BUILDINGS (MARCH 2015)\- CYT READY HIGHLIGHTED SET\DWG FILES\A-ELEV.DWG 08-17-2015 16:06

Attachment: Site Plan - Building Elevations - PRELIMINARY - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 M)

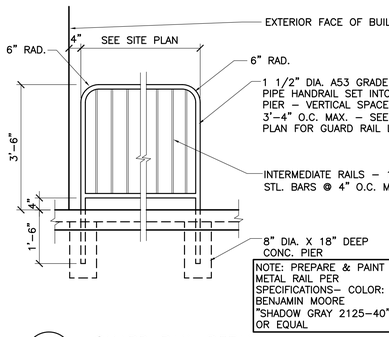


1 A2.1 **DRIVE THRU ELEVATION**
1/4" = 1'-0"

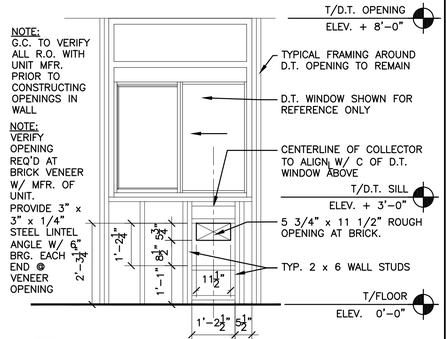
2 A2.1 **ELEVATION NOT USED**
–



3 A2.1 **REAR ELEVATION**
1/4" = 1'-0"



4 A2.1 **GUARD RAIL DETAIL**
1/2"=1'-0"



5 A2.1 **(RMHC) COIN COLLECTOR @ FRAMED WALL**
1/2" = 1'-0" INTERIOR ELEVATON

6 A2.1 **DETAIL NOT USED**
–

KEY NOTES:

- BR — FACEBRICK: BELDEN OR EQUAL
  B1 — COLOR: B1 = "SIENNA BLEND VELOUR A"
- C1 — ALUMINUM CANOPY SYSTEM (COLOR: GOLD)
- C2 — ALUMINUM CANOPY TIE–BACK SYSTEM
- CM — CORRUGATED METAL PANEL – SEE 3/A5.2
  C1 — COLOR: C1 = "CITYSCAPE" BY METAL–ERA
- D — HOLLOW METAL DOOR – PAINT TO MATCH COLOR OF SURROUNDING MATERIAL
- EJ — EXPANSION JOINT, SEE DETAIL 7/A4.1
- FB
  CO2 — CO2 = BULK CO2 FILL BOX (EQPM SCHEDULE ITEM 49.00)
  BO = BULK OIL FILL BOX (EQPM SCHEDULE ITEM 700.18) – CONFIRM USE WITH MCD PROJECT MANAGER
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- L — LIGHT FIXTURE (WALL SCONCE) – SEE ELECTRICAL
  L1 — L1 = UP AND DOWN FIXTURE; L2 = DOWN ONLY FIXTURE
- LE — ACCENT LIGHTING – SEE ELECTRICAL
  L1 — LED LIGHT: L1 = UP AND DOWN FIXTURE; L2 = DOWN ONLY FIXTURE; L3 = INTEGRAL CANOPY FIXTURE; L4 = UP ONLY FIXTURE
- MJ — TILE MOVEMENT JOINT – 4/A5.1 FOR ADDITIONAL INFORMATION, AND 4/A2.0 FOR SPECIFICATIONS (MOVEMENT JOINTS MUST BE MAINTAINED OVER TIME w/ NEW SEALANT)
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  1 — TYPE: 1 = PRE–FAB ANCHOR–TITE FASCIA; 2 = PRE–FAB CUSTOM ARCADE FASCIA; 3 = PRE–FAB MASONRY CAP FASCIA
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- TL — TILE SYSTEM – SEE WALL ASSEMBLY 2, DETAIL 4/A2.0, 3/A5.1, AND 4/A5.1 FOR ADDITIONAL INFORMATION
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- W2 XX — DRIVE–THRU WINDOW BY READY ACCESS 600 SERIES, 36" SERVICE HEIGHT WITH TRANSOM – MANUAL OPEN; ELECTRONIC RELEASE
  SLIDE DIRECTION: RL = RIGHT TO LEFT; LR = LEFT TO RIGHT

REV	DATE	DESCRIPTION	BY
.	.	.	DIA
.	.	.	
.	.	.	
.	.	.	
.	.	.	
.	.	.	

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly registered ARCHITECT under the laws of the State of WISCONSIN

Signature BRIAN R. JOHNSON
Date XX/XX/2017 Registration Number 9143–005

PREPARED BY:
reprise DESIGN
Architecture, Inc.
ARCHITECTURE & PLANNING
12400 PORTLAND AVENUE SOUTH, SUITE 100
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PREPARED FOR:
McDonald's USA, LLC

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DRAWN BY DIA | STD ISSUE DATE 2017_10 | REVIEWED BY KD | DATE ISSUED XX/XX/17 | RQ#17400

TITLE: 2017 STANDARD BUILDING 4597–WOOD/WOOD
DESCRIPTION: WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH & CI WOOD ROOF TRUSS FRAMING TILE EXTERIOR FINISH ARCADE/ENTRY
SITE ID: 048–0118 | SITE ADDRESS: 1022 MAIN AVENUE, DePERE, WI

SHEET NO. 048–0118.00.0
A2.1
ELEVATIONS

K:\STD\STANDARD\PRELIM\– 2014 STANDARD BUILDINGS (MARCH 2015)\– CYT READY HIGHLIGHTED SET\DWG FILES\A–ELEV.DWG 08–17–2015 16:06

Attachment: Site Plan - Building Elevations - PRELIMINARY - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 M)

LANDFORM
From Site to Finish

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January 30, 2018

Mr. Peter Schleinz
City of De Pere – City Planner
335 S. Broadway St.
De Pere, WI 54115

RE: Preliminary Staff Comments
McDonalds Re-build at 1022 Main Ave.

Mr. Schleinz,

Landform Professional Services (Landform) is in receipt of the preliminary staff comments for the McDonalds re-build project located at 1022 Main Avenue. dated August 9, 2017. We are responding to comments derived from your review of the project. Our responses follow your comments, which are in italics.

Engineering:

1. *Need DNR Soil Loss Calculations for this site.*

   A DNR Soil Loss Calculation has been completed and is enclosed.

2. *If the water meter is greater than a 1-inch, please give the City's Water Department one month advance notice so the meter can be ordered.*

   Acknowledged

3. *On sheet C1.2: Need to show the existing water service on the plan.*

   Added to sheet C1.2

4. *On sheet C1.2: Demolition and clearing note #2 should state that an excavation permit is needed for work in City of De Pere right-of-way. Contractors should call City of De Pere Public Works at 920-339-4061 for permitting needs.*

   Revised note on sheet C1.2

5. *On sheet C1.2: Demolition and clearing note #8 should state that for any street closures a street closure permit needs to be applied for with the City of De Pere Public Works at 920-339-4061.*

   Revised note on sheet C1.2

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6. *On sheet C1.2: The old water service will need to be disconnected at the main and the corp will need to be closed. If main is PVC remove the saddle and replace with a solid sleeve coupling.*

   Note added to sheet C1.2 (Note 18)

7. *On sheet C1.2: Sanitary sewer service lateral will need to be capped at the main.*

   Note added to sheet C1.2 (Note 19)

8. *On sheet C2.1: Site Plan Notes #1 should state that the contractor needs to call the City of De Pere Public Works for excavation permits at 920-339-4061.*

   Revised note on sheet C2.1

9. *On sheet C2.3: The titles for the Drive-Thru Details should end with "RATING" to be consistent with sheet C2.4.*

   Revised on sheet C2.3

10. *On sheet C3.1: Under paving notes item #21c it is recommended that all concrete surfaces for drives, aprons and exterior slabs be 8-inch concrete. The concrete apron and adjacent concrete sidewalk will be 8-inch concrete.*

    Revised on sheet C3.1

11. *On sheet C4.1: Show new lateral locations in the City right-of-way.*

    Revised on sheet C4.1

12. *On sheet C4.1: CBMH #201 - should the INL(S) be 607.93 not 607.29.*

    Storm sewer has been revised on sheet C4.1

13. *On sheet C4.1: The pipe between CBMH #210 and CBMH #201 has a slope of 0.30% not 0.25%.*

    Storm sewer has been revised on sheet C4.1

14. *On sheet C4.1: The storm sewer lateral will be connected at the right-of-way line. The lateral will be provided to the right-of-way line as part of the roundabout/Lawrence Ave construction.*

    Storm sewer has been revised on sheet C4.1

15. *On sheet C4.1: Utility Notes comment #9 should include that for work in the right-of-way call the City of De Pere Public Works at 920-339-4061 for an excavation permit.*

    Revised on sheet C4.1

Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a

16. *On sheet C4.1: Since the proposed water service is larger than a 4-inch line it will need additional testing (i.e. pressure test, safe sample test).*

    Acknowledged

Fire:

1. *From a fire standpoint, no concern with driveways, but there are no fire hydrants shown on the plan. Hydrants need to be shown.*

   Plans have been revised to include approximate locations of existing hydrants.

2. *The applicant should contact the Fire Department prior to submitting building permit plans in order to review fire code requirements.*

   Acknowledged

Forestry:

1. *The planting details were well done except they do not completely follow the WDNR Proper Planting detail, which need to be referenced when new details are submitted.*

   Reference has been added to sheet L7.1 for tree plantings.

2. *Additional beds and trees should be considered along the parking lots on the south and west sides of the building. This will add to the overall look of the lot and building.*

   Sheet L2.1 has been revised to include additional plantings along the south and west sides of the property.

Health:

1. *McDonalds shall submit plan which includes all items in new establishment's guidelines information packet at least 3 to 6 months prior to target date of opening. Target date of opening is September 1, 2018. New establishment guidelines packet and license application emailed to Kevin Shay, Planner, Landform Professional Associates and Carter Mann, Area Construction Manager, McDonalds USA.*

   Acknowledged

Planning:

1. *For convenience of review, in the "Area Summary" add the building size, greenspace, and FAR.*

   The Area Summary on sheet C2.1 has been updated.

Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a

2. *Provide elevations, materials, and colors for HVAC screening and waste/recycle facilities.*

   HVAC equipment will be rooftop units, screened by the building parapet. Sheet L2.1 has been revised to include additional shrubs/plantings to screen the proposed electrical transformer. The trash enclosure is to be of concrete block construction with the color matching the proposed building. Elevations will be provided with the building permit submittal.

3. *Provide elevation, materials, and color for fence at north property line.*

   Sheets L2.1 and L7.1 have been revised to include additional notes and detail for the proposed fence at the north property line.

4. *Add landscaping to front of property to beautify the new intersection and building additions. Most of the landscaping appears to be at the rear of the site, but there should be landscaping between the drivelane and the reconstructed Main Avenue. This property is considered a gateway area to the City and this aesthetic is very important, thus landscaping should far exceed section 14-60(10) if approval is to be obtained without a PDD.*

   Sheet L2.1 has been revised to include additional plantings along the south and west sides of the property.

5. *In the Landscaping Plan provide a count for the required number of trees and the proposed number of trees shown. Provide a time schedule for planting, maintenance, and replacement of vegetation that does not survive.*

   Added to sheet L2.1

6. *The site plan requires elevations for the signage in front of the building. New pylon signs are not allowed in De Pere. Submit drawings showing a sign that meets Municipal Code Chapter 98 for staff review and approval. Pole signs, per Code, must have structures and architectural features that emulate the primary structure. Strongly consider changing the existing nonconforming pylon sign to a ground mounted sign or pole sign that emulates the design of the primary building. Please note that pylon signs are not desired if approval is to be obtained without a PDD for the site.*

   Acknowledged – The owner wishes keep the existing sign to maintain visibility

7. *Parking is excessive. Justify the need for 62 parking stalls when only 34 are required and consider eliminating stalls. Provide count for stacking area in drive lane(s).*

   The existing restaurant provides 70 parking stalls. The owner indicates that the parking lot is near capacity at peak times, especially during events at Lambeau Field. The proposed site plan reduces the parking to 60 stalls. The owner feels this is the minimum number of stalls to satisfy customer demands.

8. *Identify loading zone in parking lot for store loading.*

Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a

Added to sheet C2.1

9. *Push the "Lawrence Drive" driveway southward to align with the proposed ALDI drive across the street. This change appears possible without affecting traffic flow in parking area or losing parking stalls.*

   The site plan has been revised to align the Lawrence Drive access with the proposed ALDI drive across the street.

10. *Provide a "No vehicular access" symbol (defined in the Legend) along the full length of Main Avenue and the first 150-feet of Lawrence Drive on the site plan. If needed, the City Planning and Engineering staff can provide more information regarding where the 150-foot measurement begins.*

    Added to sheet C2.1

11. *Clearly identify the bicycle parking area on the site plan.*

    Bicycle parking has been added to the site plan.

12. *Line the walkway at the south end of the property up with the crosswalk at the proposed roundabout. Consider adding another walkway to connect to the crosswalk at the roundabout that connects westward. An internal pedestrian crossing to the building at 1000-1006 10th Street appears to be beneficial for customer access to McDonald's, but is also missing on the plan.*

    The site plan has been revised to align the sidewalk at the south end of the property with the proposed crosswalk at the roundabout. We feel additional sidewalk connections will create additional pedestrian conflict points within the parking lot.

Inspection:

1. *If the area of disturbance exceeds one (1)1 acre a NOI/WPDES permit is required.*

   Acknowledged

2. *A demolition permit/sanitary sewer cap permit shall be obtained (a 10-day hold is required for all building demo permits).*

   Acknowledged

3. *Provide water pressure at the main for water service and water distribution sizing.*

   Plumbing calculations will be provided with the building permit submittal.

Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a

We appreciate the opportunity to respond to the areas of concern detailed in your review comments. We feel the enclosed revised plans address these areas of concern.

Please let me know if you have any other questions. You can reach me at tmeyer@landform.net or 612.638.0241.

Sincerely,
Landform

Tom Meyer, PE

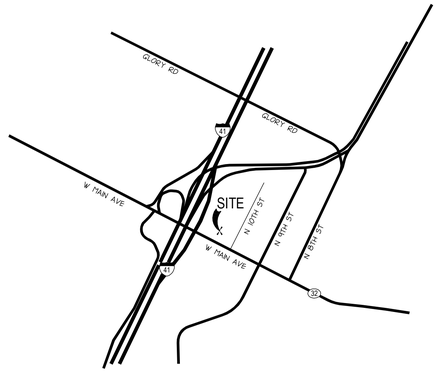
Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a

McDONALD'S USA, LLC.

DE PERE, WISCONSIN

AREA LOCATION MAP

DE PERE, WI



NORTH
NO SCALE

ABBREVIATIONS

D	Angle	L.F.	Lineal Feet
&	And	L.P.	Low Point / Liquid Petroleum
@	At	LB.	Pound
100 YR.	100 Year Flood Elevation	LGU	Local Government Unit
A.B.	Anchor Bolt	LONG.	Longitudinal
A.D.	Area Drain	LT.	Light / Lighting
A/C	Air Conditioning Unit	MAINT.	Maintenance
ADD.	Addendum	MAS.	Masonry
ADDL.	Additional	MATL.	Material
ADJ.	Adjacent / Adjust	MAX.	Maximum
AHU	Air Handling Unit	MECH	Mechanical
ALT.	Alternate	MED.	Medium
ALUM.	Aluminum	MFR.	Manufacturer
ANOD.	Anodized	MH	Manhole
APPROX.	Approximate	MIN.	Minimum / Minute
ARCH	Architect / Architectural	MISC.	Miscellaneous
AUTO.	Automatic	MNDOT	Minnesota Department Of Transportation
AVG.	Average	MOD.	Module / Modular
B.C.	Back of Curb	MUL.	Mullion
B/W	Bottom of Wall	N.	North
BFE	Basement Floor Elevation	N.I.C.	Not In Contract
BIT	Bituminous (Asphaltic)	NO. OR #	Number
BLDG	Building	NOM	Nominal
BSMT.	Basement	NTS	Not to Scale
C.F.	Cubic Feet	NWE	Normal Water Elevation
C.F.S.	Cubic Feet Per Second	NWL	Normal Water Level
C.G.	Corner Guard	O.C.	On Center
C.J.	Control Joint	O.D.	Outside Diameter
C.L.	Centerline	O.E.	Overhead Electric
C.M.U.	Concrete Masonry Unit	OH.	Overhead
C.O.	Cleanout	OHWL	Ordinary High Water Level
C.O.E.	U.S. Army Corps Of Engineers	OPNG.	Opening
C.Y.	Cubic Yards	ORIG.	Original
CB	Catch Basin	P.C.	Point of Curvature
CBMH	Catch Basin Manhole	P.I.	Point of Intersection
CEM.	Cement	PIV	Post Indicator Valve
CIP	Cast Iron Pipe	P.L. OR P/L	Property Line
CMP	Corrugated Metal Pipe	P.O.B.	Point of Beginning
CONC.	Concrete (Portland)	P.S.F.	Pounds Per Square Foot
CONN.	Connection	P.S.I.	Pounds Per Square Inch
CONST.	Construction	P.T.	Point of Tangency
CONT.	Continuous	P.V.C.	Point of Vertical Curvature
CONTR.	Contractor	P.V.I.	Point of Vertical Intersection
COP.	Copper	P.V.T.	Point of Vertical Tangency
CU.	Cubic	PE	Polyethylene
D.S.	Down Spout	PED.	Pedestal / Pedestrian
DEG.	Degree	PERF.	Perforated
DEMO.	Demolition / Demolish	PREP.	Preparation
DEPT.	Department	PROJ.	Project
DET.	Detail	PROP.	Proposed
DIA.	Diameter	PVC	Poly-Vinyl-Chloride (Piping)
DIAG.	Diagonal	PVMT.	Pavement
DIM.	Dimension	QTR.	Quarter
DIP	Ductile Iron Pipe	QTY.	Quantity
DN	Down	R	Radius
DWG.	Drawing	RAD.	Radius
E.	East	R.D.	Roof Drain
E.J.	Expansion Joint	R.E.	Remove Existing
E.O.	Emergency Overflow	R.O.	Rough Opening
E.O.S.	Emergency Overflow Swale	R.P.	Radius Point
E.W.	Each Way	RCP	Reinforced Concrete Pipe
EA.	Each	R.S.	Rough Slab
EL.	Elevation	RSD	Roof Storm Drain
ELEC.	Electrical	RE	Rim Elevation (Casting)
ELEV.	Elevation	RE.	Regarding
EMER.	Emergency	REINF.	Reinforced
ENGR.	Engineer	REQ'D	Required
ENTR.	Entrance	REV.	Revision / Revised
EQ.	Equal	RGU	Regulatory Government Unit
EQUIP.	Equipment	ROW OR R/W	Right of Way
EQUIV.	Equivalent	S.	South
EXIST.	Existing	S.F.	Square Feet
EXP.	Expansion	SAN.	Sanitary Sewer
F & I	Furnish and Install	SECT.	Section
F.B.O.	Furnished by Others	SE	Side Exit
F.C.	Face of Curb	SEWO	Side Exit Walk Out
F.D.	Floor Drain	SHT.	Sheet
F.D.C.	Fire Department Connection	SIM.	Similar
F.V.	Field Verify	SLNT.	Sealant
FB	Full Basement	SPEC.	Specification
FBWO	Full Basement Walk Out	SQ.	Square
FBLO	Full Basement Look Out	SSD	Subsurface drain
FDN.	Foundation	STMH	Storm Sewer Manhole
FES	Flared End Section	STD.	Standard
FFE	Finished Floor Elevation	STRUCT.	Structural
FLR.	Floor	SYM.	Symmetrical
FT. OR (')	Foot	T	Thickness
FUT.	Future	T/R	Top of Rim
G.B.	Grade Break	T/W	Top of Wall
G.C.	General Contractor	TEMP.	Temporary
GAL.	Gallon	THK.	Thick / Thickness
GALV.	Galvanized	T.J.	Tooled Joint
GFE	Garage Floor Elevation	THN	Top Nut Hydrant
GL.	Glass	TYP.	Typical
GR.	Grade	U.N.O.	Unless Noted Otherwise
H.	Height	V.B.	Vapor Barrier
H.P.	High Point	V.C.	Vertical Curve
HDPEP	High Density Polyethylene Pipe	V.I.F.	Verify In Field
HGT.	Height	VER.	Verify
HORIZ.	Horizontal	VERT.	Vertical
HVAC	Heating, Ventilation, Air Conditioning	VEST.	Vestibule
HYD	Hydrant	W	Width
I.D.	Inside Dimension	W.P.T.	Working Point
IE or I.E.	Invert Elevation	W.W.F.	Welded Wire Fabric
IN. OR (")	Inches	W/	With
INFO.	Information	W/O	Without
INL.	Inlet Elevation	WO	Walk Out
INSUL.	Insulation	WETL.	Wetland
INV.	Invert Elevation	WP	Waterproof
JT.	Joint	WT.	Weight
		YD.	Yard
		YR.	Year

SYMBOLS

EXISTING	DESCRIPTION	NEW	DESCRIPTION
120	MAJOR CONTOUR	120	MAJOR CONTOUR
123	MINOR CONTOUR	123	MINOR CONTOUR
x 23.45	SPOT ELEVATION	× 123.45	SPOT ELEVATION
	BUILDING		BUILDING
	CANOPY / OVERHANG		CANOPY/OVERHANG
	CONCRETE		UNDERGROUND STRUCTURE
	BITUMINOUS		CONCRETE
	LANDSCAPING		CONCRETE CURB
	GRAVEL	BIT. EDGE HEIGHT, TYPE	EDGE OF PAVEMENT
	PAVING BLOCK		FENCING
	PAVING BLOCK		GUARD RAIL
12"STS	STORM SEWER LINE		CONCRETE RETAINING WALL
8"SAN	SANITARY SEWER LINE		MODULAR RETAINING WALL
6"WTR	WATER MAIN		FIELDSTONE RETAINING WALL
OE	OVERHEAD ELECTRIC		EXIT LOCATION
UT	UNDERGROUND TELEPHONE		LIGHT STANDARD
UE	UNDERGROUND ELECTRIC	Ø	POWER POLE
G	GAS LINE	1.00%	SLOPE DIRECTION
	CONCRETE CURB		CATCH BASIN
HEIGHT, TYPE	FENCING		MANHOLE
	RETAINING WALL		BOLLARD
	SET 1/2" X 14" IRON PIPE	STS FES RIPRAP	STORM SEWER
	IRON MONUMENT FOUND	SAN	SANITARY SEWER-WASTE
	SURVEY DISK (BENCHMARK)	FM	FORCE MAIN
	POWERPOLE	RD	ROOF DRAIN SYSTEM
	GUY WIRE	GATE VALVE WTR HYD	WATERMAIN
	GUARD POST	FIRE	FIRE LINE (IF SEPARATE)
GM	GAS METER	BLDG.	FIRE DEPT. CONNECTION
T	TRANSFORMER	C.O. X"SSD	SOIL SUBDRAIN
	WATER SHUT-OFF VALVE	GAS	GAS LINE-UNDERGROUND
	TRAFFIC SIGN	ELEC	ELECTRIC-UNDERGROUND
	FLAG POLE	TELE	TELEPHONE-UNDERGROUND
LT	LIGHT POLE	CATV	UNDERGROUND CABLE/TV
	TREES	LSS	LAWN SPRINKLER SLEEVE
	TREE LINE		DIRECTIONAL SIGNAGE
	MANHOLE		
	CATCH BASIN		
	FIRE HYDRANT		
	WATER VALVE		
	FLARED END SECTION		
TBD	MAILBOX		
1	NOTE NUMBER		
(M)	MEASURED DISTANCE		
(P)	DISTANCE PER RECORDED PLAT		
B-X	SOIL BORING		

EROSION CONTROL SYMBOLS

SYMBOL	DESCRIPTION
	SEDIMENT CONTROL FENCE
	COMPOST/BIO LOG
	INLET PROTECTION

DRAWING SYMBOLS

SYMBOL	DESCRIPTION
3	NOTE REFERENCE
12	PARKING STALL COUNT
C7.3	LARGE SHEET DETAIL
C21	COORDINATE POINT
4	REVISION – ADDENDUM, BULLETIN, ETC.
	REVISED AREA (THIS ISSUE)
X	EXIT LOCATION: A = ACCESSIBLE E = EGRESS S = SERVICE

BENCHMARKS

PROJECT BENCHMARK:

NGS STATION #X 5
STATION NAME: PN0159
IN DEPERE, ON THE WEST SIDE OF THE FOX RIVER, IN THE PARKING LOT AREA WHERE THE CHICAGO AND NORTHWESTERN RAILWAY STATION WAS FORMERLY LOCATED. 97 FT. EAST OF THE EAST RAIL OF THE TRACKS, 87 FT. SOUTH OF THE CENTERLINE OF GRANT ST., 67.7 FT. SOUTHEAST OF U.P. NO. 175, 27.2 FT. SOUTHWEST OF THE SOUTHWEST CORNER OF GREY SHINGLED HOUSE AT NO. 457 GRANT, FLUSH WITH THE GROUND SURFACE, AND SET IN TOP OF A 1 FT. SQUARE CONCRETE MONUMENT.

ELEVATION = 606.52 FEET (NAVD 88)

SITE BENCHMARK:

BM-1 1/2 INCH IRON PIPE
LOCATION: 12.7 FEET WESTERLY OF THE SOUTHWESTERLY PARKING LOT CORNER, SEE EXISTING CONDITIONS SURVEY
ELEVATION = 614.00 FEET (NAVD 88)

BM-2 MAG NAIL
LOCATION: 16.8 FEET EASTERLY OF THE SOUTHEASTELY CORNER OF THE TRASH ENCLOSURE , SEE EXISTING CONDITIONS SURVEY
ELEVATION = 616.64 FEET (NAVD 88)

LEGAL DESCRIPTION

CERTIFIED SURVEY MAP NUMBER 2809, VOLUMME 14, PAGER 61, LOACATGED IN PRIVATE CLAIM 28, WEST SIDE OF FOX RIVER, CITY OF DE PERE, & VILLAGE OF ASHWAUBENON, BROWN COUNTY, WISCONSIN

CIVIL & LANDSCAPE SHEET INDEX & REVISION MATRIX

SHEETS ISSUED BY ISSUE / REVISION DATE		11.27.17	01.30.18									
SHEET NO.	DESCRIPTION											
C0.1	CIVIL & LANDSCAPE TITLE SHEET	X	X									
C1.1	EXISTING CONDITIONS	X	X									
C1.2	DEMOLITION	X	X									
C2.1	SITE PLAN	X	X									
C2.2	DRIVE-THRU LAYOUT	X	X									
C2.3	DRIVE-THRU DETAILS	X	X									
C2.4	DRIVE-THRU DETAILS	X	X									
C2.5	DRIVE-THRU DETAILS	X	X									
C2.6	STRIPING	X	X									
C3.1	GRADING, DRAINAGE, PAVING & EROSION CONTROL	X	X									
C3.2	SWPPP NOTES	X	X									
C4.1	UTILITIES	X	X									
C7.1	CIVIL CONSTRUCTION DETAILS	X	X									
C7.2	CIVIL CONSTRUCTION DETAILS	X	X									
L2.1	LANDSCAPE	X	X									
L7.1	LANDSCAPE CONSTRUCTION DETAILS	X	X									

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TEL 952-252-4042
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CONTACT: KRISTI DONAHUE

SITE/UTILITY CONTACTS

CITY PLANNER CITY OF DE PERE 335 S BROADWAY ST DE PERE, WI 54115 KIMBERLY FLOM kflom@ci.de-pere.org TEL: (920) 339-4043 FAX:	CITY ENGINEER CITY OF DE PERE 925 S SIXTH ST DE PERE, WI 54115 ERIC RAKERS erakers@ci.de-pere.org TEL: (920)339-8304 FAX:
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Know what's **Below.**
Call before you dig.

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REV	DATE	REVISION HISTORY
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

CERTIFICATION

NOT FOR CONSTRUCTION

McDONALD'S USA, LLC.
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CITY DE PERE	STATE WI	DRAWN BY JDB	
STREET ADDRESS 1022 MAIN AVE.	COUNTY BROWN	PHOTO. ISSUED	REVIEWED BY CNC
SHEET NAME CIVIL & LANDSCAPE TITLE SHEET		DATE REVIEWED 01-29-18	DATE ISSUED 01-30-18
NATIONAL NUMBER 04691	STATE NUMBER 048-0118	OFFICE ADDRESS 1650 W. 82ND STREET #900 BLOOMINGTON, MINNESOTA 5543I-9888 (952)-884-4355	

SHEET NO. C0.1

FILE NAME: C001MCD361.DWG
PROJECT NO. MCD17361

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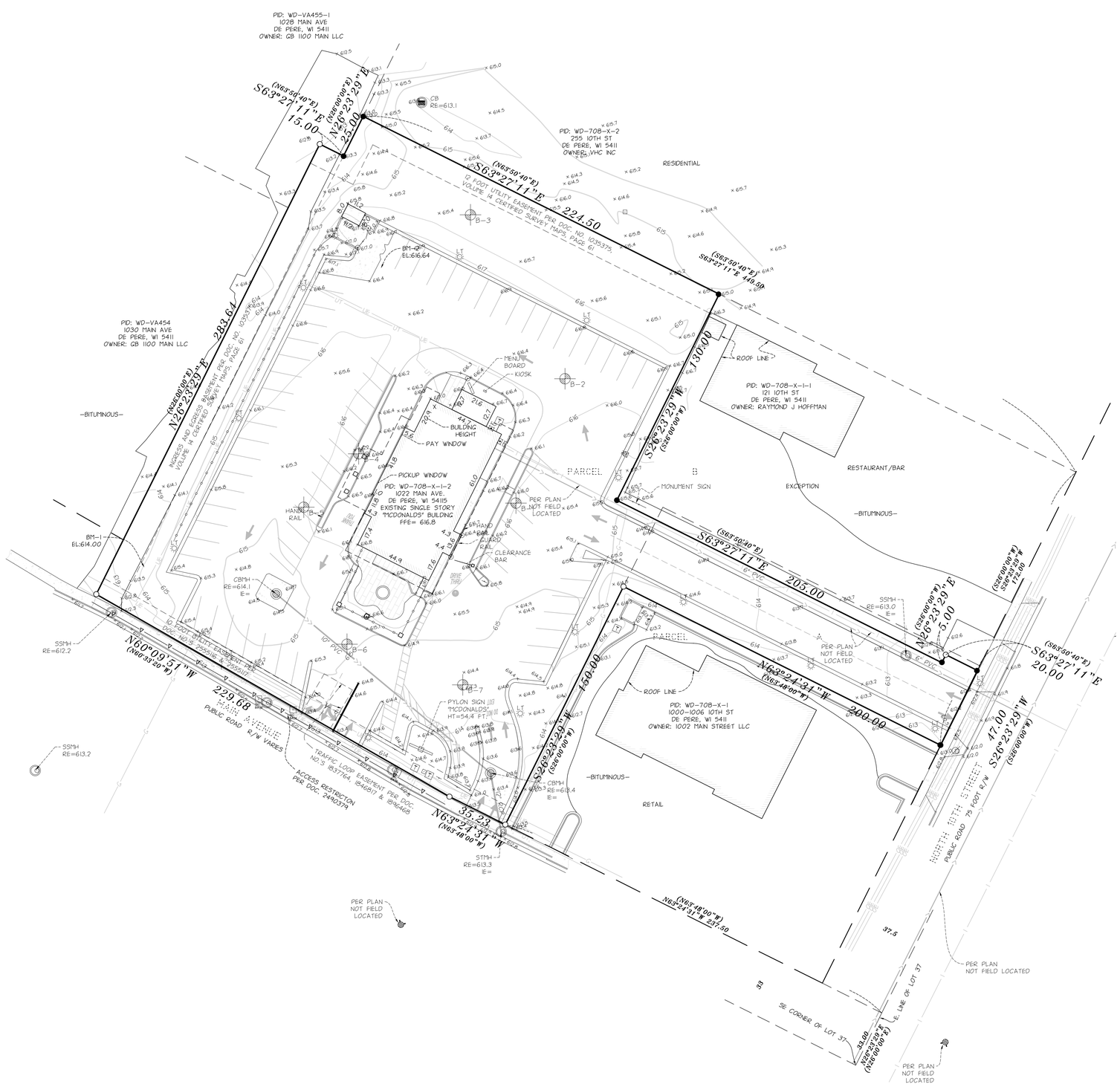
Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 M)

EXISTING CONDITIONS

1. BACKGROUND INFORMATION SHOWN IS FROM SURVEY BY LANDFORM PROFESSIONAL SERVICES, LLC, MINNEAPOLIS, MN, ON SEPTEMBER 8, 2017 EXPRESSLY FOR THIS PROJECT; DE PERE, WI RECORD DRAWINGS; AND UTILITY SERVICE PROVIDERS. LANDFORM OFFERS NO WARRANTY, EXPRESSED OR WRITTEN, FOR INFORMATION PROVIDED BY OTHERS. EXISTING PROJECT CONDITIONS SHALL BE VERIFIED PRIOR TO BEGINNING CONSTRUCTION. ERRORS, INCONSISTENCIES, OR OMISSIONS DISCOVERED SHALL BE REPORTED TO THE ENGINEER IMMEDIATELY.



REV	DATE	REVISION HISTORY
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

CERTIFICATION

NOT FOR CONSTRUCTION

McDONALD'S USA, LLC.

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OFFICE ADDRESS
1650 W. 82ND STREET #400 BLOOMINGTON, MINNESOTA 55431-1888 (952)-884-4355

CITY	DE PERE
STREET ADDRESS	1022 MAIN AVE.
SHEET NAME	EXISTING CONDITIONS
NATIONAL NUMBER	04691
STATE	WI
COUNTY	BROWN
STATE NUMBER	048-0119
DRAWN BY	JDB
PROTO ISSUED	
REVIEWED BY	CNC
DATE REVIEWED	01-29-18
DATE ISSUED	01-30-18

SHEET NO. C1.1

FILE NAME: C101MCD361DWG
PROJECT NO. MCD17361

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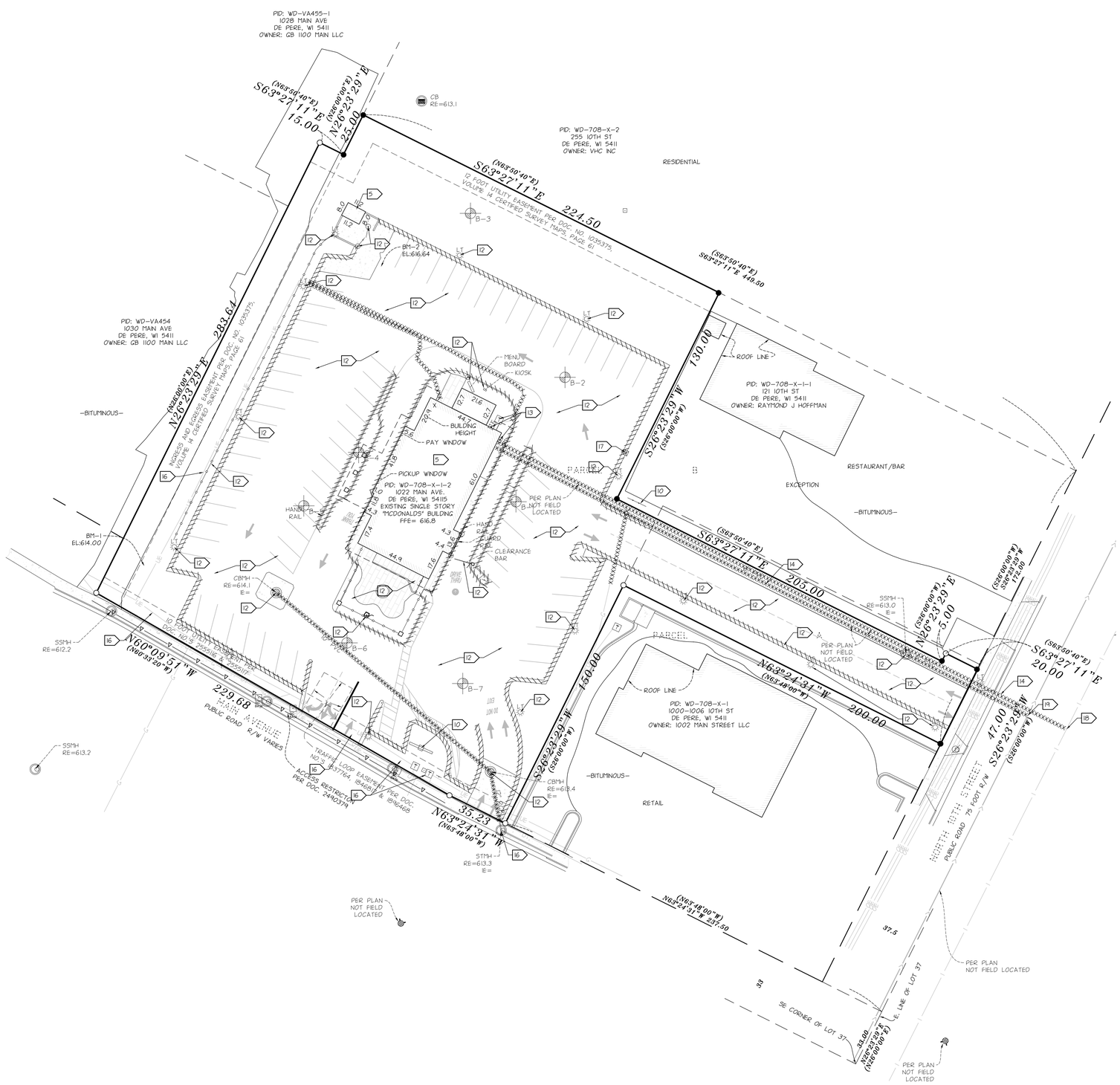

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DEMOLITION AND CLEARING NOTES

2. OBTAIN PERMITS FOR DEMOLITION, CLEARING, AND DISPOSAL PRIOR TO BEGINNING. EXCAVATION PERMIT IS NEEDED FOR WORK IN CITY OF DE PERE RIGHT-OF-WAY. CONTRACTORS SHOULD CALL CITY OF DE PERE PUBLIC WORKS AT 920-339-4061.
3. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING DEMOLITION AND CLEARING.
4. SEE SHEET C3.1 FOR EROSION PREVENTION AND SEDIMENT CONTROL MEASURES THAT MUST BE IN PLACE PRIOR TO DISTURBANCES TO SITE.
5. BUILDING DEMOLITION: VERIFY WITH OWNER THAT BUILDING HAS BEEN CLEARED OF REGULATED MATERIALS REQUIRING SPECIAL HANDLING OR DISPOSAL AND EXAMINED BY COMPETENT PERSON. REMOVE STRUCTURE, COLUMNS, CANOPIES, AND ANY ASSOCIATED CONSTRUCTION IN ITS ENTIRETY.
6. DIMENSIONS SHOWN FOR REMOVAL ARE APPROXIMATE. COORDINATE WITH NEW CONSTRUCTION TO ENSURE APPROPRIATE REMOVAL OF EXISTING FACILITIES.
7. SAWCUT EXISTING PAVEMENT. REMOVE CONCRETE WALKS AND CURBING TO THE NEAREST EXISTING JOINT BEYOND CONSTRUCTION LIMITS.
8. COMPLETE DEMOLITION WITH MINIMAL DISRUPTION OF TRAFFIC. COORDINATE LANE CLOSURES WITH THE REGULATORY AUTHORITY AND PROVIDE ADVANCE NOTIFICATION TO AFFECTED EMERGENCY RESPONSE PROVIDERS. FOR ANY STREET CLOSURES, A STREET CLOSURE PERMIT NEEDS TO BE APPLIED FOR WITH THE CITY OF DE PERE PUBLIC WORKS AT 920-339-4061.
9. PROVIDE BARRICADES, LIGHTS, SIGNS, TRAFFIC CONTROL, AND OTHER MEASURES NECESSARY FOR PROTECTION AND SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION. THE CITY REQUIRES TRAFFIC CONTROL MEASURES TO BE IN PLACE DURING UTILITY INSTALLATION, EXISTING BUILDING DEMOLITION, DRIVEWAY INSTALLATION, SIDEWALK INSTALLATION AND FINAL RESTORATION WITHIN THE RIGHT-OF-WAY.
10. PROTECT STRUCTURES, UTILITIES, TREES, PLANT MATERIAL, SOD, AND ADJACENT PROPERTY FROM DAMAGE DURING CONSTRUCTION UNLESS NOTED FOR REMOVAL. DAMAGE SHALL BE REPAIRED TO EQUAL OR BETTER CONDITION AT NO ADDITIONAL COST.
11. REMOVE TREES NOTED, INCLUDING ROOT STRUCTURES, FROM THE SITE. COORDINATE WITH OWNER TO MARK TREES TO BE SAVED OR TRANSPLANTED PRIOR TO CLEARING.
12. REMOVE EXISTING SITE FEATURES INCLUDING, BUT NOT LIMITED TO, UNDERGROUND UTILITIES, PAVING, CURBING, WALKWAYS, FENCING, RETAINING WALLS, SCREEN WALLS, APRONS, LIGHTING, RELATED FOUNDATIONS, SIGNAGE, BOLLARDS, LANDSCAPING, AND STAIRWAYS WITHIN THE CONSTRUCTION LIMITS UNLESS NOTED OTHERWISE.
13. COORDINATE REMOVAL, RELOCATION, TERMINATION, AND RE-USE OF EXISTING PRIVATE UTILITY SERVICES AND APPURTENANCES WITH THE UTILITY COMPANIES. RESTORE ELECTRIC HANDHOLES, PULLBOXES, POWERPOLES, GUYLINES, AND STRUCTURES DISTURBED BY CONSTRUCTION IN ACCORDANCE WITH UTILITY OWNER REQUIREMENTS.
14. EXISTING PIPING AND CONDUITS MAY BE ABANDONED IN-PLACE IF FILLED WITH SAND AND IF NOT IN LOCATION OF PROPOSED BUILDING OR IN CONFLICT WITH PROPOSED UTILITIES OR STRUCTURES. TERMINATE EXISTING SERVICES AT THE SUPPLY SIDE IN CONFORMANCE WITH PROVIDER'S STANDARDS.
15. HAUL DEMOLITION DEBRIS OFF-SITE TO A FACILITY APPROVED BY REGULATORY AUTHORITIES FOR THE HANDLING OF DEMOLITION DEBRIS.
16. REFER TO CITY OF DE PERE'S ROUNDABOUT PLANS FOR DEMOLITION OUTSIDE OF PROPERTY LINE AND IN UTILITY EASMENTS.
17. SALVAGE MAILBOX FOR REUSE. COORDINATE WITH MCDONALD'S OWNER/OPERATOR FOR LOCATION.
18. DISCONNECT EXISTING WATER SERVICE AT WATER MAIN AND CLOSE CORP. IF MAIN IS PVC, REMOVE THE SADDLE AND REPLACE WITH A SOLID SLEEVE COUPLING.
19. CAP SANITARY SERVICE SERVICE AT THE MAIN.

DEMOLITION LEGEND

//////////////	CURB REMOVAL
- - - - - - - -	PAVEMENT SAWCUT
— — — —	CONSTRUCTION LIMITS
XXXXXXXXXXXXXXXXXXXX	UTILITY LINE REMOVAL

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REV	DATE	REVISION HISTORY
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

CERTIFICATION

NOT FOR CONSTRUCTION

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OFFICE ADDRESS
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DRAWN BY	JDB
PROJ ISSUED	
REVIEWED BY	CNC
DATE REVIEWED	01-29-18
DATE ISSUED	01-30-18
STATE NUMBER	046-0119
CITY	DE PERE
COUNTY	BROWN
STATE	WI
STREET ADDRESS	1022 MAIN AVE.
SHEET NAME	DEMOLITION
NATIONAL NUMBER	04691

SHEET NO. C1.2

FILE NAME: C102MCD361.DWG
PROJECT NO. MCD17361

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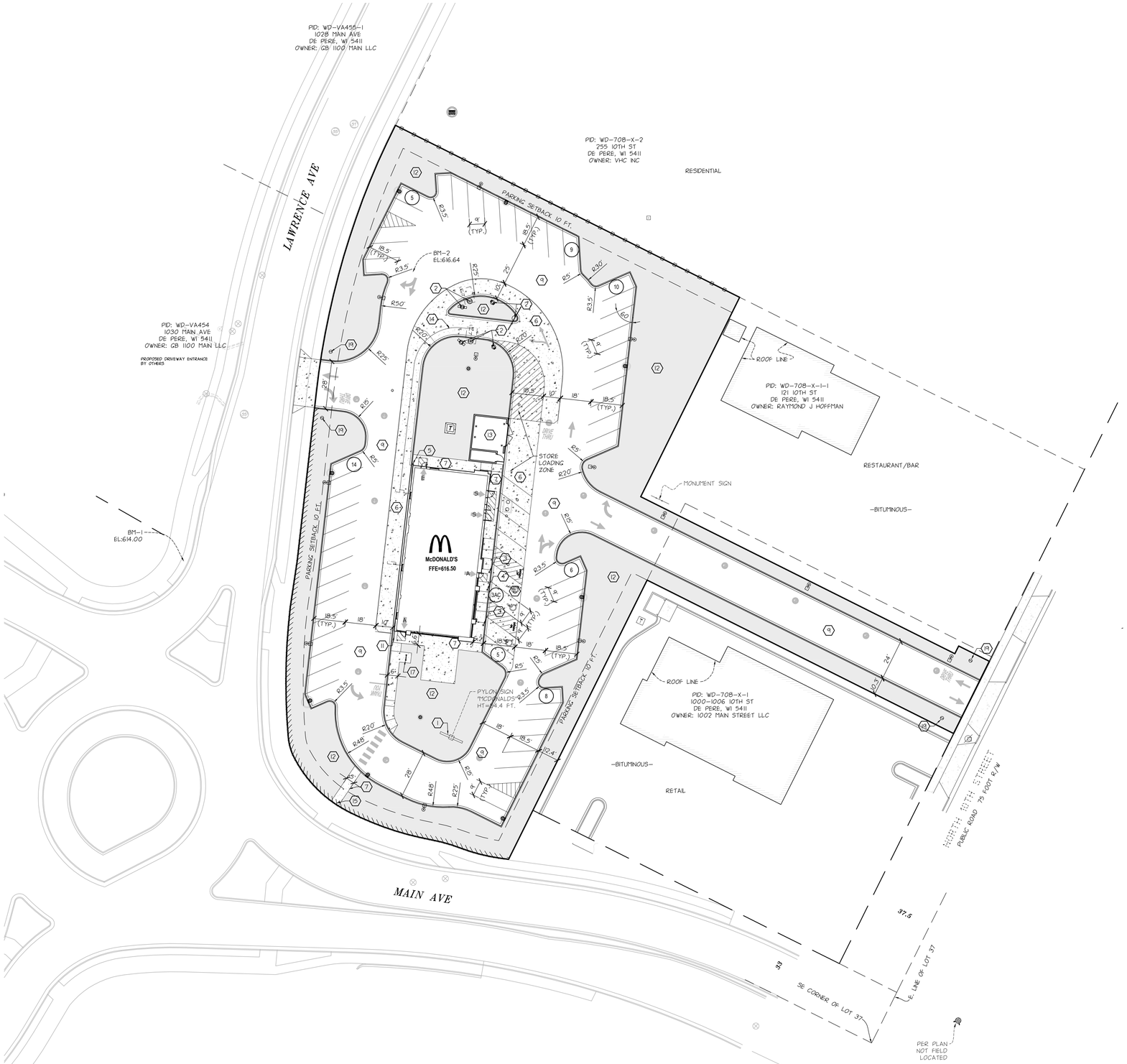

SITE CONSTRUCTION NOTES

1. McDONALD'S PYLON SIGN. – EXISTING.
2. DRIVE-THRU SIGNAGE. SEE SHEET C2.2.
3. STATE AND ADA APPROVED ACCESSIBLE SIGN AND BOLLARD PER DETAIL C7.1/10.
4. STATE AND ADA APPROVED ACCESSIBLE SIGN AND BOLLARD WITH "VAN ACCESSIBLE" SIGN PER DETAIL C7.1/10.
5. 6" x 36" BOLLARD. REFER TO DETAIL C7.1/11.
6. CONCRETE DRIVE APRONS AND SLABS. REFER TO SHEET C3.1 FOR SPECIFICATIONS.
7. CONCRETE SIDEWALK. MEET AND MATCH EXISTING SIDEWALK. REFER TO SHEET C3.1.
8. CONCRETE PATIO. MEET AND MATCH SIDEWALK. – NOT USED
9. BITUMINOUS PAVEMENT. REFER TO SHEET C3.1 FOR SPECIFICATIONS.
10. PARKING LOT LIGHT. LIGHTING CONSULTANT WILL ENSURE MAX INTENSITY DOES NOT EXCEED 27.00 LUMEN.
11. 6' X 42" RAILING. REFER TO ARCHITECTURAL. ENSURE THAT RAILING HAS 18 INCHES CLEAR FROM DOOR FRAME.
12. PLANTING AREA. REFER TO SHEET L2.1 FOR DETAILS.
13. TRASH ENCLOSURE. REFER TO ARCHITECTURAL.
14. STACKING DISTANCE IS 120'
15. CONNECTION TO PUBLIC SIDEWALK.
16. STATE AND ADA APPROVED ACCESSIBLE SIGN AND BOLLARD WITH "ACCESS AISLE / NO PARKING" SIGN. – NOT USED.
17. STANDARD BIKE RACK PER DETAIL C7.1/14.

DIRECTIONAL SIGNAGE NOTES

18. NEW OR REPLACED DIRECTIONAL SIGNAGE IS NOT BEING APPROVED AS PART OF THIS PLAN SET WITH THE JURISDICTION.
19. DIRECTIONAL SIGNAGE. INSTALL NEW BASE FOR DIRECTIONAL SIGNAGE AS NECESSARY. REFER TO DETAIL C2.4/1 AND SEPARATE SIGN PACKAGE.

SITE PLAN NOTES

1. OBTAIN ALL NECESSARY PERMITS FOR CONSTRUCTION WITHIN, OR USE OF, PUBLIC RIGHT-OF-WAY. CONTRACTOR TO CALL CITY OF DE PERE PUBLIC WORKS FOR EXCAVATION PERMIT AT 920-339-4061.
2. THE DIGITAL FILE, WHICH CAN BE OBTAINED FROM THE ENGINEER, SHALL BE USED FOR STAKING. DISCREPANCIES BETWEEN THE DRAWINGS AND THE DIGITAL FILE SHALL BE REPORTED TO THE ENGINEER. THE BUILDING FOOTPRINT, AS SHOWN ON THESE DRAWINGS, AND THE DIGITAL FILE, SHALL BE COMPARED TO THE STRUCTURAL DRAWINGS PRIOR TO STAKING.
3. DIMENSIONS SHOWN ARE TO FACE OF CURB AND EXTERIOR FACE OF BUILDING UNLESS NOTED OTHERWISE.

GREEN SPACE

ZONING AND SETBACK SUMMARY

THE PROPERTY IS ZONED MOTOR VEHICLE DEPENDENT BUSINESS DISTRICT (B3)

PARKING SUMMARY

EXISTING PARKING:

TOTAL EXISTING PARKING STALLS	70 EA.

REQUIRED PARKING:

ONE STALL PER EMPLOYEE ON LARGEST SHIFT AND
1 STALL PER 50 SF OF EATING AREA
996 SF TOTAL
996 SF/50 = 20 STALLS
15 EMPLOYEES ON LARGEST SHIFT

TOTAL PARKING STALLS REQURED	35 EA.

PROVIDED PARKING:

STANDARD STALLS	57 EA.
ACCESSIBLE STALLS	2 EA.
ACCESSIBLE VAN STALLS	1 EA.
TOTAL PARKING STALLS PROVIDED	60 EA.

DRIVE-THRU STACKING:

STANDARD STALLS	17 EA.

AREA SUMMARY

EXISTING:

PERVIOUS	25,640 S.F.	28.9%
IMPERVIOUS	62,829 S.F.	
TOTAL (2.03 Ac)	88,469 S.F.	100.0%

PROPOSED:

PERVIOUS	30,651 S.F.	37.7%
IMPERVIOUS	50,599 S.F.	62.3%
TOTAL (1.86 Ac)	81,250 S.F.	100.0%

BUILDING AREA:
4,459 SF

FLOOR AREA RATIO:
4,459/81,250 = 0.55 FAR

LEGEND

////////// NO VEHICULAR ACCESS

NORTH

0 30 60

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DRAWN BY	JDB
PROTO. ISSUED	
REVIEWED BY	CNC
DATE REVIEWED	01-29-18
DATE ISSUED	01-30-18

CITY	DE PERE
STATE	WI
STREET ADDRESS	1022 MAIN AVE.
COUNTY	BROWN
SHEET NAME	SITE PLAN
STATE NUMBER	048-0116
NATIONAL NUMBER	04691

SHEET NO. C2.1

FILE NAME: C201MCD361.DWG
PROJECT NO. MCD17361

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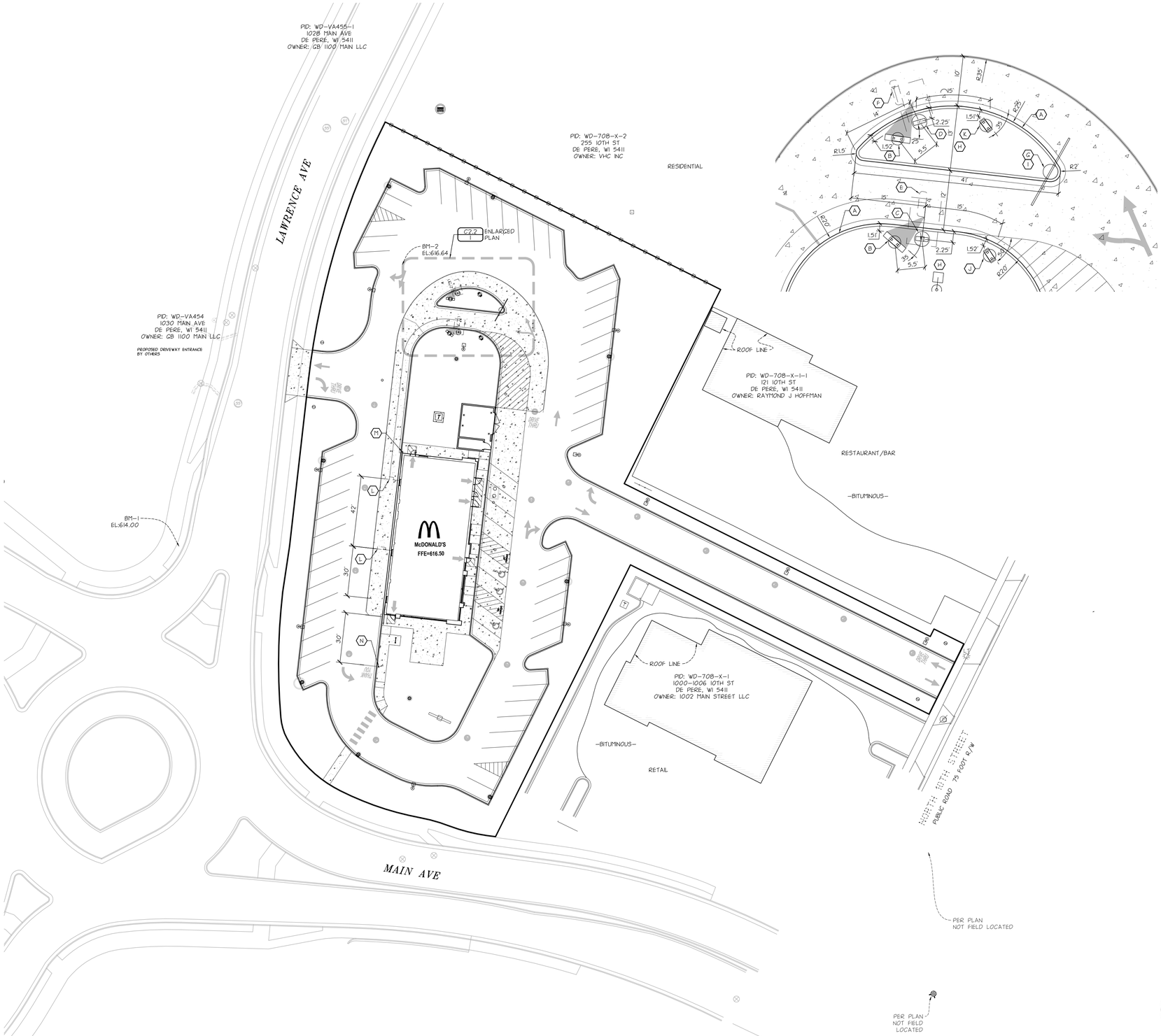

DRIVE-THRU CONSTRUCTION NOTES

(A) NEW CONCRETE CURB AND GUTTER.

(B) INSTALL NEW OUTDOOR MENU BOARD. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND SEE MANUFACTURER FOR INSTALLATION INSTRUCTIONS.

(C) PRIMARY LANE CANOPY. LOCATE 120' FROM C.L. OF CANOPY TO C.L. OF CASH WINDOW MEASURED ALONG C.L. OF TRAVEL PATH. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.

(D) SECONDARY LANE CANOPY. LOCATE 14'-0" FROM NOSE OF CONCRETE ISLAND. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.

(E) INSTALL PRIMARY LANE DETECTOR LOOP. FLIP LOOP FORWARD.

(F) INSTALL SECONDARY LANE DETECTOR LOOP 2'-0" FORWARD OF C.L. OF COD. FLIP LOOP FORWARD.

(G) DOUBLE ARM GATEWAY SIGN. CENTER OF THE FOOTING OF THE GATEWAY SIGN SHALL BE 18" FROM THE BACK OF CURB. SEE SHEET C2.3 FOR FOUNDATION DETAIL, SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.

(H) LANDSCAPED AREA.

(I) ANY LANE ANY TIME SIGN. ATTACH SIGN TO GATEWAY 6' FROM BOTTOM OF POST. SEE SHEET C2.5 FOR SCHEMATIC DETAIL AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.

(J) PRIMARY PRE-BROWSE BOARD. PRE-BROWSE BOARD MUST BE 18"-24" FROM FACE OF CURB. THE DISTANCE BETWEEN THE PRIMARY CANOPY AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG THE FACE OF CURB. THIS IS MEASURED FROM THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE CENTER OF THE COD FOUNDATION. SEE SHEET C2.3 FOR FOUNDATION DETAIL, C2.5 FOR SCHEMATIC DETAIL, AND MANUFACTURER FOR INSTALLATION INSTRUCTIONS.

(K) SECONDARY PRE-BROWSE BOARD. PRE-BROWSE BOARD MUST BE MIN. 12" FROM FACE OF CURB. THE DISTANCE BETWEEN THE SECONDARY CANOPY AND PRE-BROWSE BOARD IS TO BE 15' AS MEASURED ALONG FACE OF THE CURB. THIS IS MEASURED FROM THE POINT PERPENDICULAR TO THE CENTER OF THE PRE-BROWSE BOARD FOUNDATION TO THE POINT PERPENDICULAR TO THE CENTER OF THE CANOPY FOUNDATION.

(L) INSTALL DETECTOR LOOPS AT CASH AND PRESENT WINDOWS.

(M) INSTALL BOLLARD AT THE CORNER OF THE BUILDING ON THE DRIVE THRU SIDE. BOLLARD SHALL BE FLUSH AGAINST THE BUILDING AND THE FACE OF THE BOLLARD SHALL BE TIGHT AGAINST THE BACK OF CURB. SEE DETAIL C7.1/11.

(N) INSTALL PULL FORWARD SIGN & BOLLARD. SEE DETAIL C2.5/2.

GENERAL NOTES

1. SIGNAGE & DRIVE-THRU ELEMENTS:
   COD, DRIVE-THRU PYLON/CLEARANCE POLE, BOLLARD SIGN, AND FREESTANDING MERCHANDIZER SHALL BE CONSISTENT WITH THE 2013 STANDARD BUILDING DESIGN DRIVE-THRU ELEMENTS. OTHER DESIGNS MAY NOT BE USED.
2. GENERAL CONTRACTOR SHALL COORDINATE WITH CIVIL PLANS, McDONALD'S PROJECT MANAGER, AND SIGNAGE SUPPLIER TO DETERMINE THE EXACT LOCATION, ORIENTATION, MOUNTING HEIGHTS, AND NUMBER OF SIGNS AND OTHER DRIVE-THRU ELEMENTS TO BE INSTALLED AT THIS SITE. ALL WORK SHALL BE COORDINATED WITH OTHER TRADES.
3. CONTACT McDONALD'S PROJECT MANAGER FOR SIGNAGE & DRIVE-THRU ELEMENT FOOTING AND WIRING REQUIREMENTS. SIGNAGE MANUFACTURER TO PROVIDE FOOTING ANCHORS & TEMPLATES TO G.C. PRIOR TO FOUNDATION POURING.
4. SEE SHEET C2.5 AND ELECTRICAL SHEETS FOR DRIVE-THRU WIRING INFORMATION.
5. GENERAL CONTRACTOR TO COORDINATE THE RESPONSIBILITES OF THE ELECTRICAL CONTRACTOR AND THE SIGN SUPPLIER.
6. GENERAL CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
7. GENERAL CONTRACTOR SHALL VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.

DRIVE-THRU LAYOUT NOTES

1. ALL DIMENSIONS ARE TO FACE OF CURB UNLESS NOTED OTHERWISE ON PLAN.
2. FIELD VERIFY AND CONFIRM EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY MCDONALD'S PROJECT MANAGER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
3. SEE SHEET C2.1 FOR ALL OTHER CONSTRUCTION SITE DIMENSIONS.
4. SEE SHEET C2.6 FOR STRIPING.

LEGEND

:VISION TRIANGLE

NORTH

0 30 60

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DRAWN BY	JDB
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REVIEWED BY	CNC
DATE REVIEWED	01-29-18
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STATE NUMBER	048-0118
STATE	WI
COUNTY	BROWN

CITY	DE PERE
STREET ADDRESS	1022 MAIN AVE.
SHEET NAME	DRIVE-THRU LAYOUT
NATIONAL NUMBER	04691

SHEET NO. C2.2

FILE NAME: C202MCD361.DWG
PROJECT NO. MCD17361

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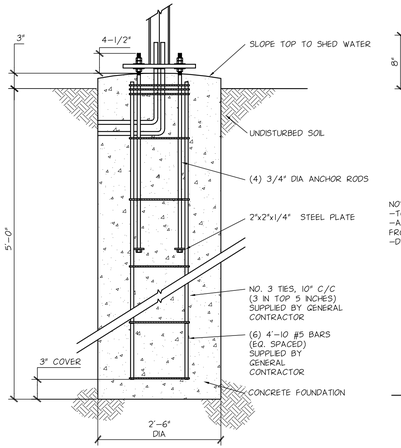
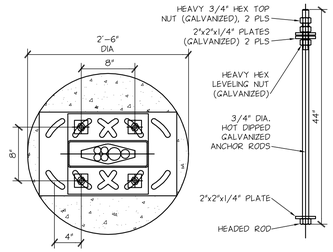
FOUNDATION NOTES:
-PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (x2)
-ALL REINFORCING STEEL BY GENERAL CONTRACTOR



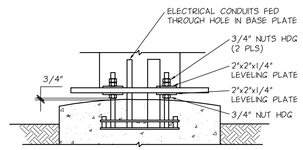
FOUNDATION — NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER



ANCHOR BOLT PATTERN — NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



CONNECTION DETAILS — NTS

GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN:
- -IBC 2012
- -ASCE 7-10
- -ACI 318-14
- -AISC 14th EDITION
- -AWS D1.1
-WIND SPEED 90 MPH (ULTIMATE WIND SPEED)
- -EXPOSURE C
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES

	SINGLE	DOUBLE
-AXIAL	- 325#	-540#
-SHEAR	- 104#	-184#
-MOMENT	- 427#'	-764#'

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.

-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2).

-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.

-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).

-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:

-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-MINIMUM CONCRETE STRENGTH (f'c=3,000 PSI) SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A.
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6.
-AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A.
-WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A.
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14.
-PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS 3.2 & 3.5. PERFORMED BY GENERAL CONTRACTOR.
-ANCHOR RODS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
-DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STEEL:

-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy=35ksi)
-HSS ROUND SECTION: ASTM A500 GRADE B (Fy=42ksi)
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy=46ksi)
-HEADED ANCHOR RODS ASTM F1554 GR. 55, AN ACCEPTABLE ALTERNATIVE IS ASTM F1554 GR. 55, S1 WHEN THE EMBEDDED END OF THE ROD IS THREADED AND THE NUT TACK WELDED PRIOR TO GALVANIZION.
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
-REINFORCEMENT: ASTM A615 GRADE 60 - BY GENERAL CONTRACTOR
-NUTS: ASTM A563A, HEAVY HEX
-WASHERS: ASTM F844 A36
-USE ASTM A153 CLASS C HOT DIPPED GALVANIZED BOLTS AND FASTENERS
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
-DO NOT CUT ANCHOR RODS AFTER INSTALLATION OF POLE.
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

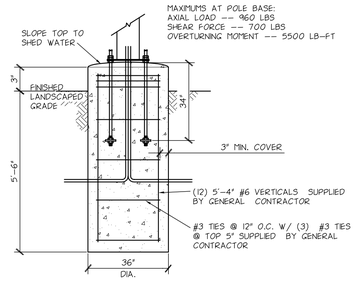
-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
-CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
-DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS.
-ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER.

3

ODMB AND PRE-BROWSE FOUNDATION - 90 MPH RATING

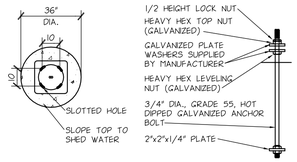
NO SCALE

NOTE:
-DESIGN CODES
IBC 2009
ASCE 7-05
ACI 318-08
AISC 13th EDITION
AWS D1.1
-WIND SPEED-100 MPH (MPH 3-SEC GUST)
-EXPOSURE C
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
AXIAL LOAD -- 960 LBS
SHEAR FORCE -- 700 LBS
OVERTURNING MOMENT -- 5500 LB-FT
-USE 3000 PSI CONCRETE COMPRESSIVE STRENGTH (f'c)
-PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS
DETERMINED BY LOCAL JURISDICTION.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL
REQUIREMENTS.
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH x2.
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE)
-3" MIN. CONCRETE COVER FOR REINFORCEMENT
-ALL REINFORCING STEEL BY GENERAL CONTRACTOR



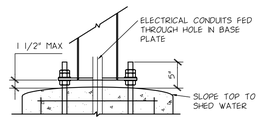
FOUNDATION — NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-HOT DIPPED GALVANIZED BOLTS
-F1554 GRADE 36 ANCHOR BOLTS
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



ANCHOR BOLT PATTERN — NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE



CONNECTION DETAILS — NTS

GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN:
- -IBC 2009
- -ASCE 7-05
- -ACI 318-08
- -AISC 13th EDITION
- -AWS D1.1
- -WIND SPEED 100 MPH, 3 SEC GUST
- -EXPOSURE C
- -DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
- -AXIAL - 960 LBS
- -SHEAR - 700 LBS
- -MOMENT - 5500 LB-FT

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.

-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2)

-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.

-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).

-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:

-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-MINIMUM CONCRETE STRENGTH (f'c) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A.
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6.
-AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A.
-WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A.
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14.
-PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5. PERFORMED BY GENERAL CONTRACTOR.
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE.
-DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

STEEL:

-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (Fy = 35ksi)
-HSS ROUND SECTION: ASTM A500 GRADE B (Fy = 42ksi)
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy = 46ksi)
-CONNECTION BOLTS A325
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
-REINFORCEMENT: GRADE 60 - BY GENERAL CONTRACTOR
-NUTS: A563DH OR A194-2H
-WASHERS: A36
-USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

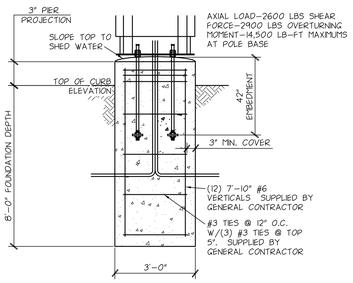
-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
-CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
-DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS.
-ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER.

1

DOUBLE GATEWAY FOUNDATION - 100 MPH RATING

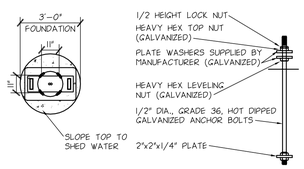
NO SCALE

NOTE:
-DESIGN CODES
IBC 2009
ASCE 7-05
ACI 318-08
AISC 13th EDITION
AWS D1.1
-WIND SPEED-100 MPH (MPH 3-SEC GUST)
-EXPOSURE C
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES (#, #')
-AXIAL-2600 LBS
-SHEAR-2900 LBS
-OVERTURNING MOMENT-14,500 LB-FT
-USE CONCRETE WITH A 3000PSI MINIMUM COMPRESSIVE STRENGTH (f'c).
-PIER DEPTHS REQUIRED ARE MINIMUMS. ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.
-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE 100 PSF/FT OF DEPTH (x2).
-TOP 6" OF SOIL NEGLECTED IN EMBEDMENT DEPTH CALCULATIONS (EMBEDMENT DEPTHS SHOWN ARE FROM GRADE).
-PROVIDE A MINIMUM OF 3" CONCRETE COVER FOR ALL EMBEDDED STEEL.
-FOUNDATION IS DESIGNED FOR SINGLE OR DOUBLE POLE COLUMNS.
-ALL REINFORCING STEEL BY GENERAL CONTRACTOR.



FOUNDATION — NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-USE F1554 GRADE 36 BOLTS MINIMUM.
-USE HOT DIPPED GALVANIZED BOLTS.
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.



ANCHOR BOLT PATTERN — NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
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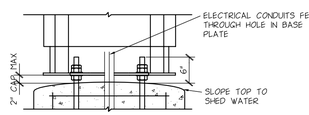

CONNECTION DETAILS — NTS

GENERAL NOTES

-THE FOLLOWING CODES WERE USED IN DESIGN:
- -IBC 2009
- -ASCE 7-05
- -ACI 318-08
- -AISC 13th EDITION
- -AWS D1.1
- -WIND SPEED 100 MPH, 3 SEC GUST
- -EXPOSURE C
- -DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
- -AXIAL - 2600 LBS
- -SHEAR - 2900 LBS
- -MOMENT - 14,500 LB-FT

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.

-MINIMUM ALLOWABLE LATERAL SOIL BEARING PRESSURE OF 100PSF/FT (x2).

-SITE SOIL CONDITIONS TO BE CONFIRMED BY GEOTECHNICAL ENGINEER. IF ASSUMED SOIL CONDITIONS ARE NOT PRESENT, FOUNDATION SHALL BE DESIGNED BY A LICENSED STRUCTURAL ENGINEER TAKING INTO ACCOUNT ACTUAL SITE SOIL CONDITIONS.

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STEEL:

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-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (Fy = 46ksi)
-CONNECTION BOLTS A325
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
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-WASHERS: A36
-USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS
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-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
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2

ORDER HERE CANOPY - 100 MPH RATING

NO SCALE

REV	DATE	REVISION HISTORY
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

CERTIFICATION

NOT FOR CONSTRUCTION

THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE COPIED OR REPRODUCED WITHOUT WRITTEN AUTHORIZATION. THE CONTRACT DOCUMENTS HAVE BEEN PREPARED FOR USE ON A SPECIFIC SITE IN CONJUNCTION WITH THE PROJECT AND ARE NOT SUITABLE FOR USE ON A DIFFERENT SITE OR AT A LATER TIME. USE OF THESE DRAWINGS FOR REFERENCE OR EXAMPLE ON ANOTHER PROJECT REQUIRES THE SERVICES OF PROPERLY LICENSED ARCHITECTS AND ENGINEERS. REPRODUCTION OF THE CONTRACT DOCUMENTS FOR REUSE ON ANOTHER PROJECT IS NOT AUTHORIZED.

McDONALD'S USA, LLC.
OFFICE ADDRESS
650 W. 82ND STREET #900 BLOOMINGTON, MINNESOTA 55431-9888 (952)-884-4355

CITY DE PERE	STATE WI	DRAWN BY JDB
STREET ADDRESS 1022 MAIN AVE.	COUNTY BROWN	PROTO ISSUED / REVIEWED BY CNC
SHEET NAME DRIVE-THRU DETAILS		DATE REVIEWED 01-29-18
NATIONAL NUMBER 04691	STATE NUMBER 048-018	DATE ISSUED 01-30-18

SHEET NO. C2.3

FILE NAME: C203MCD361.DWG
PROJECT NO. MCD17361

Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 M)

© LANDFORM 2018

NOTE:
-DESIGN CODES
IBC 2009
ASCE 7-05
ACI 318-08
AISC 13th EDITION
AWS D1.1
-WIND SPEED (100 MPH 3-SEC GUST)
-EXPOSURE C
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
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-SHEAR - 270#
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-PROVIDE A MINIMUM OF 3" CONCRETE COVER FOR ALL EMBEDDED STEEL.
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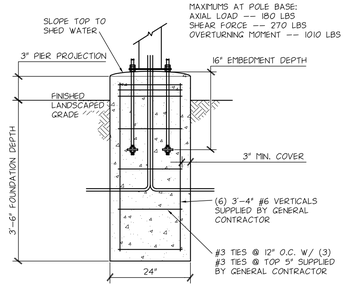

FOUNDATION - NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-USE F1554 GRADE 36 BOLTS MINIMUM.
-USE HOT DIPPED GALVANIZED BOLTS.
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
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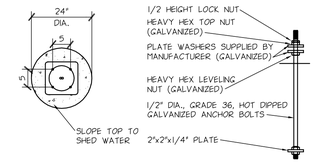
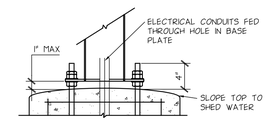


ANCHOR BOLT PATTERN - NTS

NOTES:
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.
-INSTALL DIRECTIONAL SIGN FOOTING 3' FROM THE BACK OF CURB TO THE CENTER OF FOOTING UNLESS NOTED OTHERWISE ON PLAN.



CONNECTION DETAILS - NTS

GENERAL NOTES

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-IBC 2009
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-ACI 318-08
-AISC 13th EDITION
-AWS D1.1
-WIND SPEED (100 MPH 3-SEC GUST)
-EXPOSURE C
-DESIGN LOADS DERIVED FROM THESE CODES AND FORCES
-AXIAL - 180#
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-MOMENT - 1010#

-ALL FOOTING EXCAVATIONS ARE TO BE CLEAR OF WATER AND FOREIGN MATTER BEFORE PLACING CONCRETE.
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-ELECTRICAL CONTRACTOR TO PROVIDE INFORMATION ON CONDUIT AND ELECTRICAL REQUIREMENTS.

CONCRETE:

-ALL FOOTINGS SHALL BEAR ON FIRM UNDISTURBED RESIDUAL SOIL AND/OR ENGINEERED EARTH FILL COMPACTED TO 98% OF ITS MAXIMUM DRY DENSITY AS PER ASTM D 698-70 (STANDARD PROCTOR) UNLESS NOTED OTHERWISE.
-ALL PIERS TO EXTEND TO FROST DEPTH AS DETERMINED BY LOCAL JURISDICTION.
-TOP OF PIERS SHALL BE SLOPED SUCH THAT MOISTURE CANNOT ACCUMULATE.
-MINIMUM CONCRETE STRENGTH (f'c) SHOULD CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A.
-USE OF ADMIXTURES SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTION 2.6.
-AIR ENTRAINMENT SHALL CONFORM WITH MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION SECTIONS 2.6-A & 2.13-A.
-WATER CONTENT RATIO SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 2.13-A.
-FOUNDATION CONCRETE TO BE TESTED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTION 3.14.
-PROVIDE A MINIMUM 3" OF CONCRETE COVER OVER ALL EMBEDDED STEEL.
-REINFORCEMENT PLACEMENT SHALL CONFORM TO MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATIONS SECTIONS 3.2 & 3.5. PERFORMED BY GENERAL CONTRACTOR.
-ANCHOR BOLTS TO BE SET IN ACCORDANCE WITH AISC CODE OF STANDARD PRACTICE.
-DO NOT PLACE POLES ON CONCRETE UNTIL CONCRETE HAS CURED PER MCDONALDS CAST-IN-PLACE CONCRETE SPECIFICATION, SECTION 3.11-E.

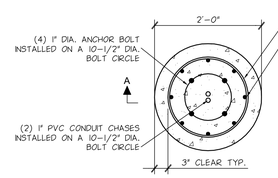
STEEL:

-STEEL PIPE SECTION: ASTM A53 OR A252 TYPE E GRADE B (F_y = 35ksi)
-HSS ROUND SECTION: ASTM A500 GRADE B (F_y = 42ksi)
-HSS SQUARE/RECTANGULAR SECTIONS: ASTM A500 GRADE B (F_y = 46ksi)
-CONNECTION BOLTS A325
-STEEL ANGLES, CHANNELS, STRUCTURAL SHAPES AND PLATES: ASTM A36
-REINFORCEMENT: GRADE 60 - BY GENERAL CONTRACTOR
-NUTS: A563DH OR A194-2H
-WASHERS: ASTM F-436
-USE HOT DIPPED GALVANIZED BOLTS AND FASTENERS.
-ANCHOR RODS, NUTS, AND WASHERS SHALL BE SHIPPED AS AN ASSEMBLY FROM THE SIGN/LIGHTING MANUFACTURER.
-NO FIELD HEATING TO BEND STEEL SHALL BE ALLOWED WITHOUT ENGINEER'S APPROVAL.
-DO NOT CUT ANCHOR BOLTS AFTER INSTALLATION OF POLE.
-AFTER INSTALLATION, ALL EXPOSED STEEL SHALL BE PAINTED WITH AN ENAMEL PAINT TO INHIBIT CORROSION.
-ANY FIELD WELDING SHALL FIRST BE VERIFIED BY ENGINEER AND PERFORMED IN ACCORDANCE WITH AWS D1.1.

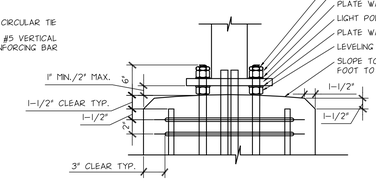
-REFER TO SIGN MANUFACTURER DRAWINGS AND INSTRUCTIONS FOR ADDITIONAL INFORMATION.
-CONTRACTOR (INSTALLER) IS RESPONSIBLE FOR THE MEANS AND METHODS OF CONSTRUCTION IN REGARDS TO JOBSITE SAFETY.
-DETAILS AND STRUCTURAL MEMBERS NOT SHOWN DESIGNED BY OTHERS.
-ANY MODIFICATIONS ARE TO BE VERIFIED BY AN ENGINEER.

1 TYPICAL DIRECTIONAL SIGN FOUNDATION & CONNECTION DETAILS - 100 MPH RATING

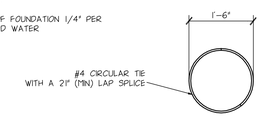
NO SCALE



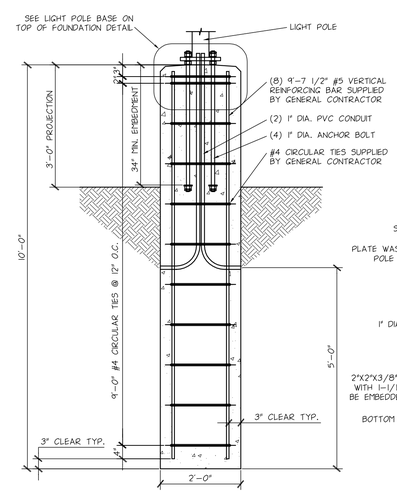
POLE BASE - PLAN VIEW - NTS



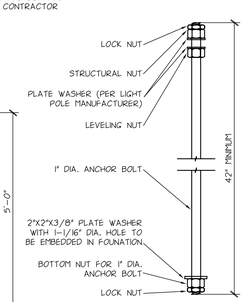
POLE BASE AT FOUNDATION - NTS



CIRCULAR TIE DETAIL - NTS



VIEW AA - NTS



ANCHOR BOLT - NTS

DESIGN CRITERIA:

AASHTO "STANDARD SPECIFICATIONS FOR STRUCTURAL SUPPORTS FOR HIGHWAY SIGNS, LUMINAIRES AND TRAFFIC SIGNALS, FIFTH EDITION, 2009

FOUNDATION DESIGN PARAMETERS:

1. MAXIMUM LIGHT POLE BASE REACTIONS: BASE MOMENT = 16,845 lbs-ft BASE SHEAR = 978 lbs
2. MAXIMUM WIND SPEED (3 SECOND GUST) = 120MPH
3. MINIMUM REQUIRED SOIL PARAMETERS: COHESIVE SOILS:
   - SHEAR STRENGTH = 750 lbs/ft^2
   - 6" MAXIMUM DEPTH OF DISTURBED SOIL OR TOP SOIL
   COHESIONLESS SOILS:
   - ANGLE OF INTERNAL FRICTION = 27 DEGREES
   - WATER TABLE SHALL BE LOCATED BELOW THE BOTTOM OF THE FOUNDATION
   - 6" MAXIMUM DEPTH OF DISTURBED SOIL OR TOP SOIL
4. THE SOILS REPORT SHALL BE REVIEWED BY THE ENGINEER OF RECORD TO CONFIRM THAT THE MINIMUM SOIL PARAMETERS ARE MET OR EXCEEDED BEFORE THIS DESIGN IS USED. IF THE MINIMUM SOIL PARAMETERS ARE NOT MET, THIS DESIGN SHALL NOT BE USED.
5. THE ENGINEER OF RECORD SHALL REVIEW THE MAXIMUM BASE REACTIONS AND DESIGN WIND SPEED FOR THE LIGHT POLE TO BE INSTALLED TO DETERMINE IF THE FOUNDATION'S MAXIMUM DESIGN LOADS HAVE NOT BEEN EXCEEDED. THIS FOUNDATION DESIGN SHALL NOT BE USED IF THE MAXIMUM DESIGN LOADS OR WIND SPEED HAVE BEEN EXCEEDED.
6. THIS FOUNDATION DESIGN SHALL NOT BE USED IN LOCATIONS WHICH ARE CLOSER THAN 8ft FROM A RETAINING WALL.
7. THIS FOUNDATION DESIGN SHALL NOT BE USED AT LOCATIONS WHERE THE GROUND SLOPE EXCEEDS 4 INCHES PER FOOT.

GENERAL NOTES:

1. CONCRETE COMPRESSIVE STRENGTH (f'c) SHALL BE A MINIMUM OF 3000psi
2. ANCHOR BOLTS SHALL BE ASTM F1554 GRADE 55, HOT DIP GALVANIZED PER ASTM F2329
3. REINFORCING STEEL SHALL BE ASTM A615 GRADE 60, SUPPLIED BY GENERAL CONTRACTOR
4. NUTS SHALL BE HEAVY HEX ASTM A563 GRADE DH, HOT DIP GALVANIZED PER ASTM A153
5. PLATE SHALL BE ASTM A572 GRADE 50, HOT DIP GALVANIZED PER ASTM A153
6. LOCK NUT SHALL BE HOT DIP GALVANIZED PER ASTM A153

2 TYPICAL LIGHT POLE FOUNDATION DETAILS

NO SCALE

REV	DATE	REVISION HISTORY
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

CERTIFICATION

NOT FOR CONSTRUCTION

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OFFICE ADDRESS
650 W. 82ND STREET #900 BLOOMINGTON, MINNESOTA 55431-9888 (952)-884-4355

DRAWN BY	JDB
PROJ'D. ISSUED	
REVIEWED BY	CNC
DATE REVIEWED	01-29-18
DATE ISSUED	01-30-18
STATE NUMBER	048-0118

CITY	DE PERE
STREET ADDRESS	1022 MAIN AVE.
SHEET NAME	DRIVE-THRU DETAILS
NATIONAL NUMBER	04691
STATE	WI
COUNTY	BROWN

SHEET NO. C2.4

FILE NAME: C204MCD361.DWG
PROJECT NO. MCD17361

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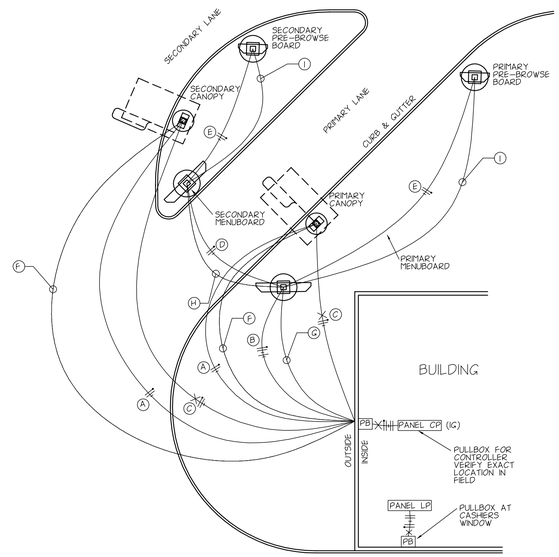
Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 M)

KEY NOTES:

- (A) 2#12 & 1#12 GND., 3/4" CONDUIT TO LP-1 FOR COD CANOPY LIGHTING
- (B) 4#12 & 1#12 GND. & 1#12 ISOLATED GND., 3/4" CONDUIT TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS AND MEDIA PLAYERS.
- (C) 2#12 & 1#12 GND. & 1#12 ISOLATED GND., 3/4" CONDUIT TO CP FOR ISOLATED GROUND POWER TO CANOPIES. EACH CANOPY SHALL BE ON ITS OWN SEPARATE CIRCUIT.
- (D) 2#12 & 1#12 GND. & 1#12 ISOLATED GND., 3/4" CONDUIT TO CP FOR ISOLATED GROUND POWER TO MENUBOARDS & MEDIA PLAYERS.
- (E) 2#12 & 1#12 GND. & 1#12 ISOLATED GND., 3/4" CONDUIT TO CP FOR ISOLATED GROUND POWER TO PRE-BROWSE BOARDS AND MEDIA PLAYERS.
- (F) (2) 1-1/2" CONDUIT
  ONE FOR CANOPY CABLING
  ONE FOR LOOP DETECTOR
- (G) 2" CONDUIT – FOR CAT6 DATA CABLES
- (H) 1-1/2" CONDUIT – FOR CAT6 DATA CABLES
- (I) 1" CONDUIT – FOR CAT6 DATA CABLES

GENERAL NOTES:

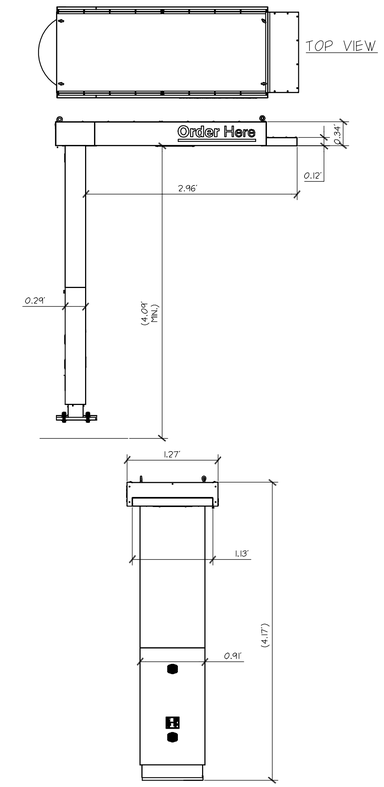
1. VERIFY EXACT CIRCUITS AND QUANTITIES OF CIRCUITS WITH PANEL SCHEDULES ON DRAWING E4.2 AND MANUFACTURER'S INSTALLATION INSTRUCTIONS.
2. PER MANUFACTURER'S INSTALLATION INSTRUCTIONS SEPERATE DEDICATED NEUTRALS ARE REQUIRED TO MENUBOARD AND PRE-BROWSE BOARD FOR EACH CIRCUIT (PLC AND LIGHTING).
3. IF ANY BENDS ARE REQUIRED, SWEEPS MUST BE PROVIDED IN CONDUITS.
4. FOR EXISTING LOCATIONS, VERIFY EXISTING CP PANEL HAS AMPACITY AND SUFFICIENT SPARES/SPACES FOR TWO (2) NEW 20A/1P CIRCUITS. UPGRADE CP PANEL TO 42 CIRCUITS IN NECESSARY.
5. VERIFY EXISTING PULLBOXES ARE SIZED FOR NEW CONDUIT ROUTING. MODIFY PULLBOXES IF NECESSARY.



SKETCH CREATED FROM ELECTRICAL OPO UPDATE (E-OPO) DATED SEPT, 2012

3 DRIVE-THRU WIRING DETAIL

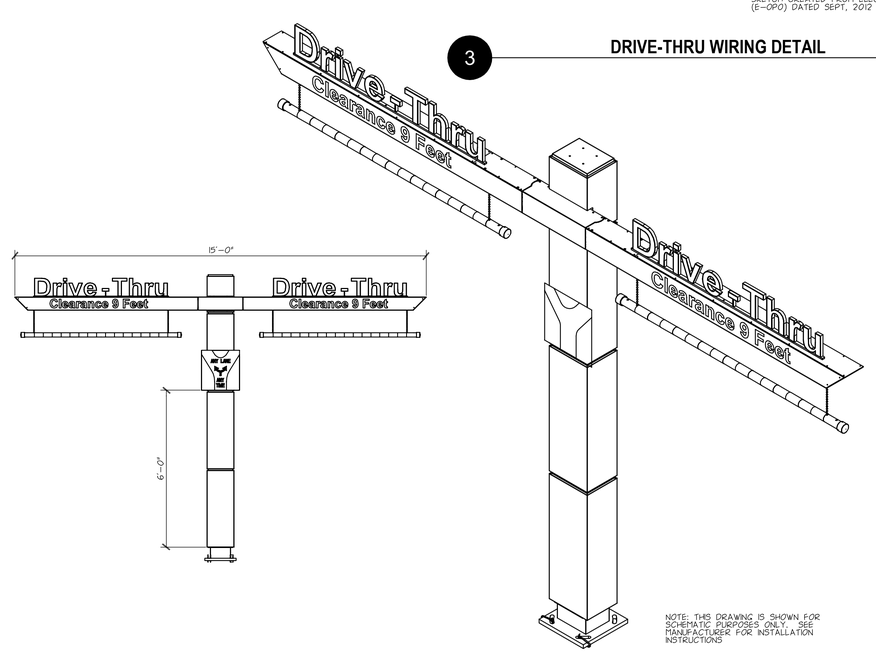
NO SCALE



NOTE: THIS DRAWING IS SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE MANUFACTURER FOR INSTALLATION INSTRUCTIONS

1 CANOPY SCHEMATIC DETAIL

NO SCALE

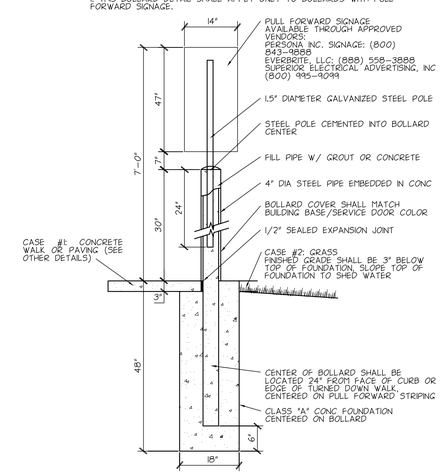


NOTE: THIS DRAWING IS SHOWN FOR SCHEMATIC PURPOSES ONLY. SEE MANUFACTURER FOR INSTALLATION INSTRUCTIONS

4 DOUBLE GATEWAY SCHEMATIC DETAIL

NO SCALE

NOTES:
1. THIS BOLLARD DETAIL SHALL APPLY ONLY TO BOLLARDS WITH PULL FORWARD SIGNAGE.



2 PULL FORWARD SIGN & BOLLARD DETAIL

NO SCALE

REV	DATE	REVISION HISTORY
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

CERTIFICATION

NOT FOR CONSTRUCTION

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OFFICE ADDRESS
1650 W. 82ND STREET #900 BLOOMINGTON, MINNESOTA 55431-9888 (952)-884-4355

DRAWN BY	JDB
PROTO ISSUED	
REVIEWED BY	CNC
DATE REVIEWED	01-29-18
DATE ISSUED	01-30-18
STATE	WI
COUNTY	BROWN
CITY	DE PERE
STREET ADDRESS	1022 MAIN AVE.
SHEET NAME	DRIVE-THRU DETAILS
NATIONAL NUMBER	04691
STATE NUMBER	048-0118

SHEET NO. C2.5

FILE NAME: C205MCD361.DWG
PROJECT NO. MCD17361

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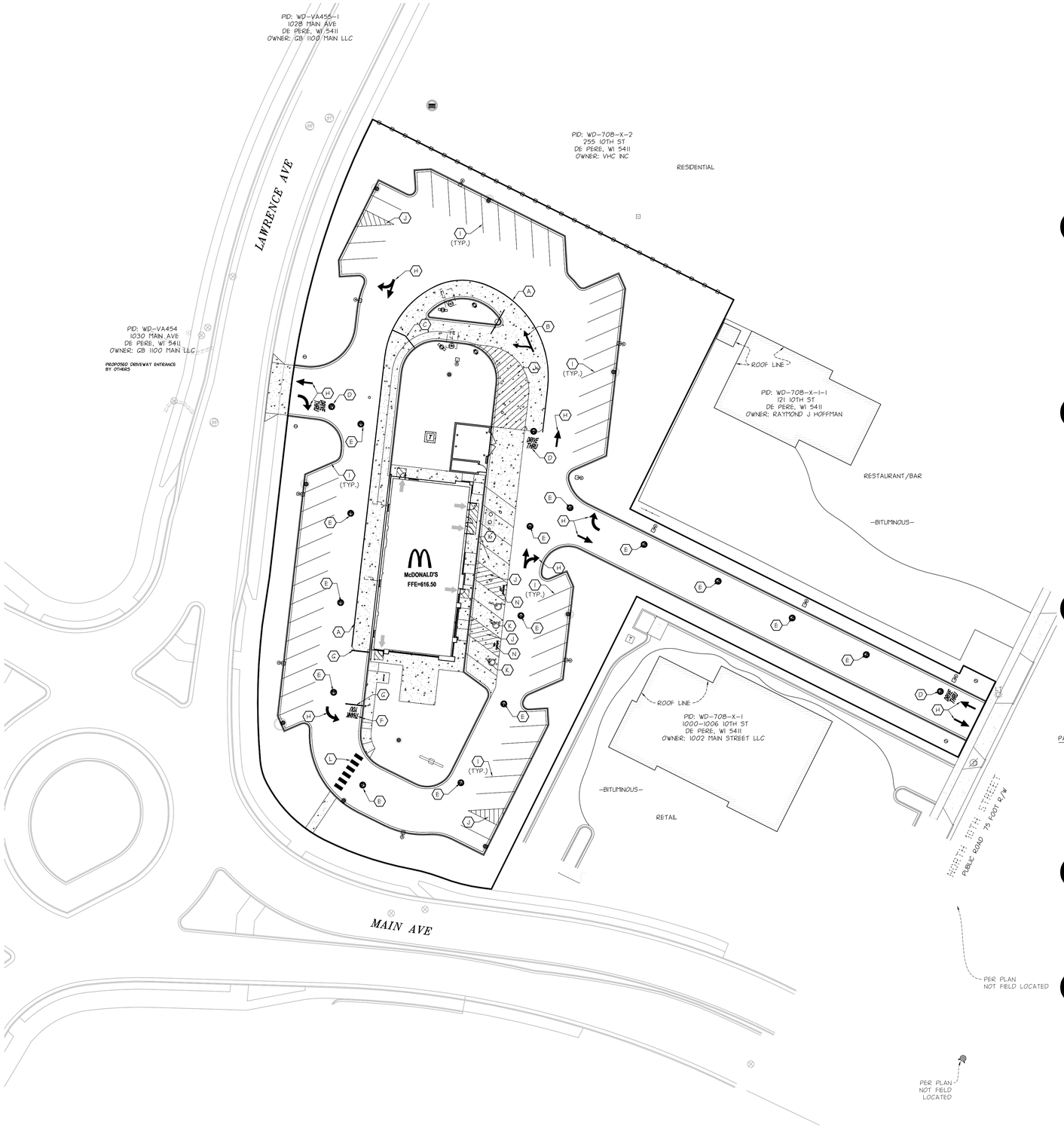
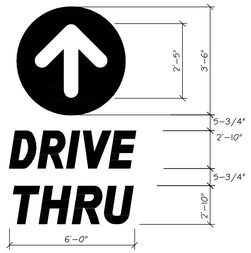
Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 M)

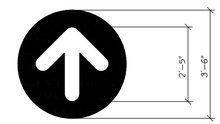




NOTE: ALL TEXT AND ARROW SHALL BE PAINTED YELLOW (PMS 123)

1 PAINTED 'DRIVE THRU' WITH ARROW

NO SCALE



NOTE: ARROW SHALL BE PAINTED YELLOW (PMS 123)

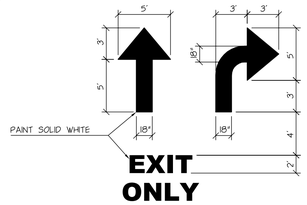
2 PAINTED ARROW

NO SCALE

NOTE: ALL TEXT SHALL BE PAINTED YELLOW (PMS 123)

3 PAINTED 'THANK YOU'

NO SCALE



NOTE : ARROWS AND WORDS CAN BE ARRANGED IN OTHER COMBINATIONS THAN THOSE ILLUSTRATED HERE TO ACHIEVE DESIRED RESULT.

4 TYPICAL PAVEMENT MARKING

NO SCALE

NOTE: TEXT SHALL BE PAINTED WHITE

5 PAINTED 'NO PARKING'

NO SCALE

STRIPING NOTES

- (A) 6" WIDE PAINTED STRIPE. PMS 123, YELLOW.
- (B) 1'-0" WIDE PAINTED DIRECTIONAL ARROW. PMS 123 YELLOW. SEE GENERAL NOTE 4.
- (C) 6" WIDE PAINTED MERGE POINT. PMS 123 YELLOW. SEE GENERAL NOTE 4.
- (D) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 1. SEE GENERAL NOTE 4.
- (E) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 2. SEE GENERAL NOTE 4.
- (F) PAINTED DRIVE THRU GRAPHIC. SEE DETAIL 3. SEE GENERAL NOTE 4.
- (G) 8" WIDE, 10' LONG PAINTED PULL FORWARD STRIPE. PMS 123 YELLOW.
- (H) PAINTED SITE CIRCULATION ARROW. SEE DETAIL 4. SEE GENERAL NOTE 4.
- (I) 4" WIDE CUSTOMER PARKING STRIPING. WHITE.
- (J) STRIPED AREA TO BE PAINTED WITH 4" LINES AT 18" O.C., AT 45 DEGREES TO PATH OF TRAVEL, WHITE.
- (K) PAINTED HANDICAP SYMBOL, TYP. WHITE. SEE DETAIL C7.1/12.
- (L) 2' x 5' PAINTED CROSSWALK STRIPING AT 4' O.C. WHITE
- (M) 4" WIDE RESERVED DRIVE-THRU PARKING STALL STRIPING. PMS 123 YELLOW. - NOT USED.
- (N) PAINTED GRAPHIC. SEE DETAIL 5. SEE GENERAL NOTE 4.

GENERAL NOTES

1. FIELD VERIFY AND CONFIRM EXISTING CONDITIONS AND DIMENSIONS PRIOR TO COMMENCING CONSTRUCTION. NOTIFY MCDONALD'S PROJECT MANAGER OF ANY DISCREPANCIES PRIOR TO COMMENCING CONSTRUCTION.
2. SEE SHEET C2.1 FOR ALL RADIUS DIMENSIONS.
3. SEE SHEET C2.2 FOR DRIVE-THRU CONSTRUCTION.
4. ALL PAVEMENT STENCILS MUST BE PURCHASED FROM THE FOLLOWING AUTHORIZED PROVIDER.

   PAVEMENT STENCIL COMPANY
   P.O. BOX 18034
   ROANOKE, VA. 24014
   PH 800-250-5547 FAX 540-427-1326
   PAVEMENTSTENCIL.NET

REV	DATE	REVISION HISTORY
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

CERTIFICATION

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NORTH

0 30 60

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From Site to Finish
105 South Fifth Avenue
Suite 513
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Tel: 612-252-9070
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OFFICE ADDRESS
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CITY	DE PERE
STATE	WI
COUNTY	BROWN
STREET ADDRESS	1022 MAIN AVE.
SHEET NAME	STRIPING
NATIONAL NUMBER	04891
STATE NUMBER	048-0118
DRAWN BY	JDB
PHOTO ISSUED	
REVIEWED BY	CNC
DATE REVIEWED	01-29-18
DATE ISSUED	01-30-18

SHEET NO. C2.6

FILE NAME: C206MCD361.DWG
PROJECT NO. MCD17361

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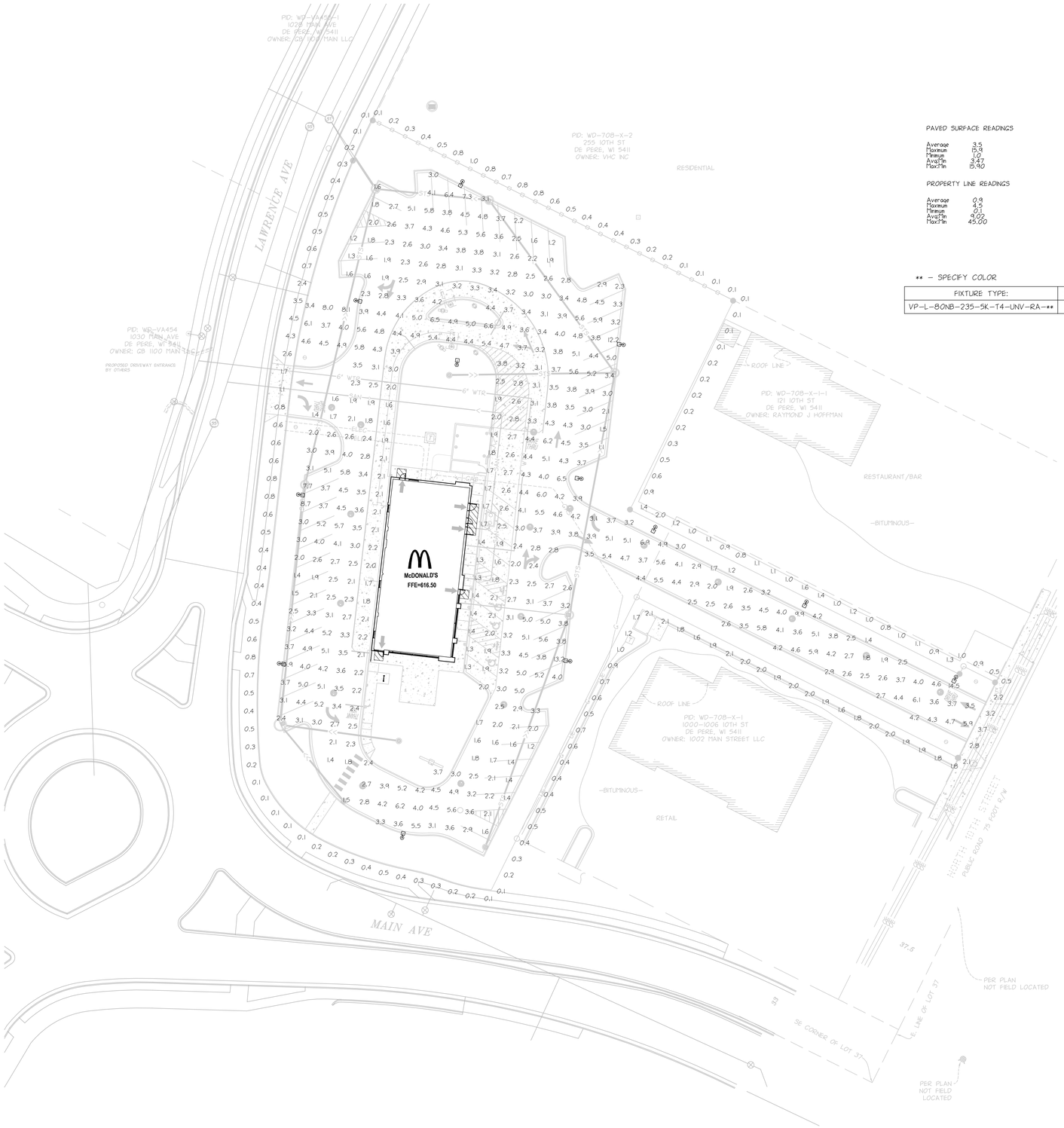
Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 M)



PAVED SURFACE READINGS

Average	3.5
Maximum	15.9
Minimum	1.0
Avg/Min	3.47
Max/Min	15.90

PROPERTY LINE READINGS

Average	0.9
Maximum	4.5
Minimum	0.1
Avg/Min	9.00
Max/Min	45.00

NOTES:

1. THE FOOTCANDLE LEVELS AS SHOWN ARE BASED ON THE FOLLOWING CRITERIA. ANY SUBSTITUTIONS IN SPECIFIED FIXTURES OR CHANGES TO LAYOUT WILL AFFECT LIGHTING LEVELS SHOWN AND WILL NOT BE THE RESPONSIBILITY OF SECURITY LIGHTING.
2. THE CONTRIBUTION OF THE SOFFIT / BUILDING LIGHTING IS NOT REFLECTED ON THE DRAWING UNLESS SOFFIT / BUILDING LIGHTING IS SPECIFIED IN THE FIXTURE SCHEDULE BELOW.
3. DISTANCE BETWEEN READINGS 10'
4. FINAL ADJUSTMENTS TO AIMING ANGLE/DIRECTION OF FIXTURES MAY BE REQUIRED TO ELIMINATE LIGHT TRESPASS OR GLARE ONTO ADJOINING PROPERTIES OR ROADWAYS.

** – SPECIFY COLOR

FIXTURE TYPE:	SYMBOL	FIXTURE QUANTITY	CONFIG	QUANTITY	TENON TOP FITTERS	QUANTITY	EPA	MOUNTING HEIGHT	LLF	POLE TYPE:	QUANTITY	WIND LOAD	ALLOWED EPA
VP-L-80NB-235-5K-T4-UNV-RA-**		12	SGL	12	TTFVIPER	12	0.67	21'	0.87	SES-18-40-1-GL-TA-** (4")	12	90mph	7.2

* PROJECT WIND LOAD CRITERIA BASED ON:
ASCE 7-10 WIND SPEEDS (3-SEC PEAK GUST MPH)
50 YEAR MEAN RECURRENCE INTERVAL

THIS DRAWING MEETS OR EXCEEDS McDONALDS CURRENT ILLUMINATION SPECIFICATIONS OF A 3-4 FOOTCANDLE AVERAGE, UNLESS SUPERSEDED BY OTHER REQUIREMENTS.

THIS LAYOUT MAY NOT MEET TITLE 24 OR LOCAL ENERGY REQUIREMENTS. IF THIS LAYOUT NEEDS TO BE TITLE 24 COMPLIANT OR MEET OTHER ENERGY REQUIREMENTS, PLEASE CONSULT FACTORY WITH SPECIFIC DETAILS REGARDING PROJECT REQUIREMENTS SO THAT REVISIONS MAY BE MADE TO THE DRAWING.

THIS LIGHTING PATTERN REPRESENTS ILLUMINATION LEVELS CALULATED FROM LABORATORY DATA
TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY
APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRES MAY VARY DUE TO
VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS.

UNLESS OTHERWISE SPECIFIED, ALL DIMENSIONS ARE IN INCHES

NOTES:

SCALE 1" = 30' 0"	DATE	NEXT ASSEMBLY	REF. DRWGS.
DRAWN BY MW	11/27/17		
CHECKED BY			
APPROVED BY			
APPROVED BY		FINISH	
APPROVED BY			
SHOP ORDER		MATERIAL	
PROJECT NO.			

SECURITY LIGHTING™
2100 Golf Road, Suite 460, Rolling Meadows, IL 60008
1-800-544-4848

POINT-BY-POINT FOOTCANDLE PLOT FOR
– McDONALD'S –
DE PERE, WI

DRAWING NUMBER
1PCP37708

REVISION HISTORY

REV	DATE	
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

CERTIFICATION

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650 W. 82ND STREET #900 BLOOMINGTON, MINNESOTA 55431-1888 (952)-884-4355

CITY	DE PERE
STATE	WI
STREET ADDRESS	1022 MAIN AVE.
COUNTY	BROWN
SHEET NAME	PHOTOMETRICS
NATIONAL NUMBER	04691
STATE NUMBER	048-0118
DRAWN BY	JDB
PROTO. ISSUED	
REVIEWED BY	CNC
DATE REVIEWED	01-29-18
DATE ISSUED	01-30-18

SHEET NO. C2.7

FILE NAME: C207MCD361.DWG
PROJECT NO. MCD17361

NORTH
0 30 60

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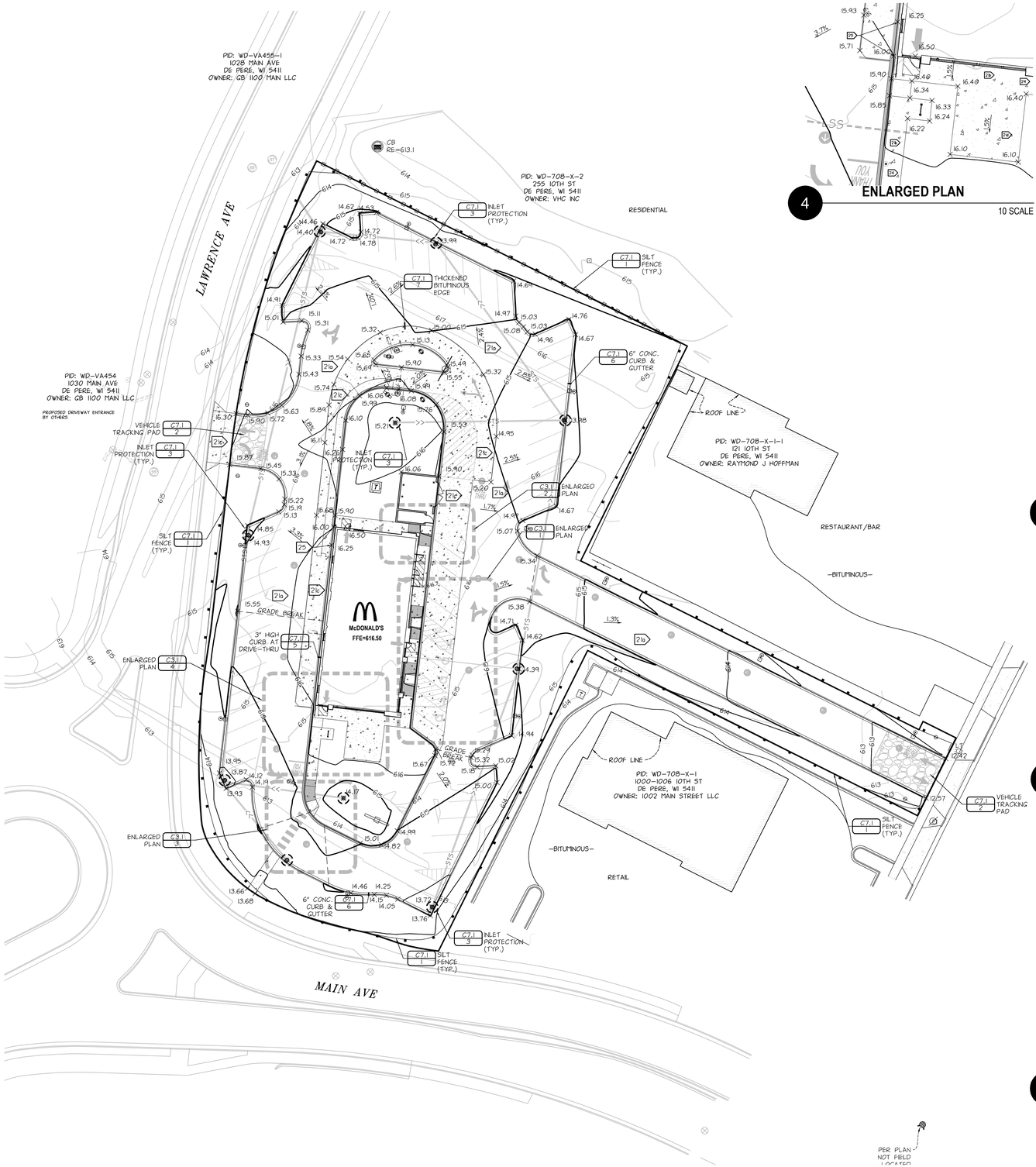
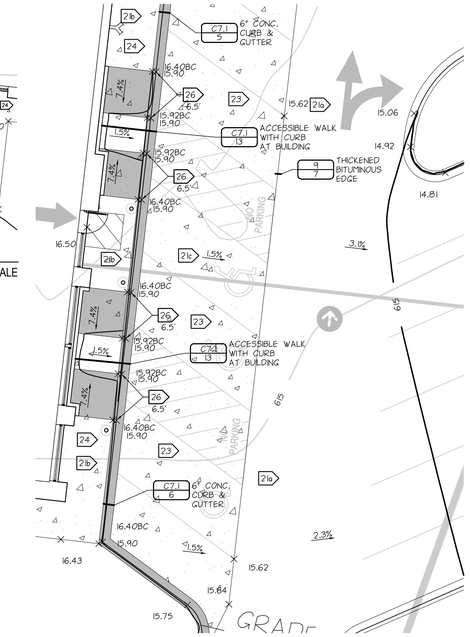
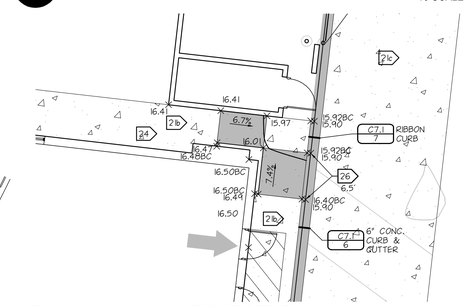
Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 M)



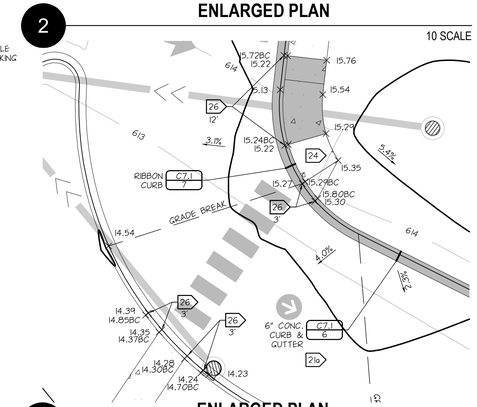
4 ENLARGED PLAN
10 SCALE



1 ENLARGED PLAN
10 SCALE



2 ENLARGED PLAN
10 SCALE



3 ENLARGED PLAN
10 SCALE

NORTH

0 30 60

EROSION PREVENTION AND SEDIMENT CONTROL NOTES

1. PERIMETER SEDIMENT CONTROLS SHALL BE INSTALLED AND INSPECTED PRIOR TO BEGINNING WORK. MAINTAIN FOR DURATION OF CONSTRUCTION. REMOVE CONTROLS AFTER AREAS CONTRIBUTING RUN OFF ARE PERMANENTLY STABILIZED AND DISPOSE OF OFF SITE.
2. LIMIT SOIL DISTURBANCE TO THE GRADING LIMITS SHOWN. SCHEDULE OPERATIONS TO MINIMIZE LENGTH OF EXPOSURE OF DISTURBED AREAS.
3. MANAGEMENT PRACTICES SHOWN ARE THE MINIMUM REQUIREMENT. INSTALL AND MAINTAIN ADDITIONAL CONTROLS AS WORK PROCEEDS TO PREVENT EROSION AND CONTROL SEDIMENT CARRIED BY WIND OR WATER.
4. REFER TO SWPPP NOTES ON SHEET C3.2 FOR ADDITIONAL REQUIREMENTS.
5. CONTRACTOR SHALL PREVENT SEDIMENT LADEN WATER FROM ENTERING THE INFILTRATION SYSTEM UNTIL THE SITE IS COMPLETELY STABLIZED.
6. ALL EXPOSED SOIL AREAS MUST BE STABLIZED WITHIN 72 HOURS OF COMPLETION OF WORK IN EACH AREA. (IF WITHIN 1 MILE OF IMPAIRED WATER USE THE FOLLOWING NOTE INSTEAD) ALL EXPOSED SOILS AREAS SHALL BE STABILIZED IMMEDIATELY TO LIMIT SOIL EROSION IN THAT PORTION OF THE SITE WHERE CONSTRUCTION HAS TEMPORARILY OR PERMANENTLY CEASED.
7. SEED, SOD, MULCH AND FERTILIZER SHALL MEET THE FOLLOWING SPECIFICATIONS, AS MODIFIED.

ITEM	SPECIFICATION NUMBER
SOD	WISDOT 631
SEED	WISDOT 630
WISDOT NO. 20 @ 43.5 LB/AC – TEMPORARY EROSION CONTROL	
WISDOT NO. 40 @ 87 LB/AC – PERMANENT TURF	
MULCH	WISDOT 627
(WISDOT @ 2 TON/AC, DISC ANCHORED)	
FERTILIZER	WISDOT 629

8. SEE LANDSCAPE SHEETS FOR PERMANENT TURF AND LANDSCAPE ESTABLISHMENT.
9. SCRAPE ADJACENT STREETS CLEAN DAILY AND SWEEP CLEAN WEEKLY.

GRADING NOTES

10. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING GRADING.
11. REMOVE TOPSOIL FROM GRADING AREAS AND STOCKPILE SUFFICIENT QUANTITY FOR REUSE. MATERIALS MAY BE MINED FROM LANDSCAPE AREAS FOR USE ON SITE AND REPLACED WITH EXCESS ORGANIC MATERIAL WITH PRIOR OWNER APPROVAL.
12. REMOVE SURFACE AND GROUND WATER FROM EXCAVATIONS. PROVIDE INITIAL LIFTS OF STABLE FOUNDATION MATERIAL IF EXPOSED SOILS ARE WET AND UNSTABLE.
13. REFER TO STRUCTURAL SPECIFICATIONS FOR EARTHWORK REQUIREMENTS FOR BUILDING PADS.
14. AN INDEPENDENT TESTING FIRM SHALL VERIFY THE REMOVAL OF ORGANIC AND UNSUITABLE SOILS, SOIL CORRECTION, AND COMPACTION AND PROVIDE PERIODIC REPORTS TO THE OWNER.
15. PLACE AND COMPACT FILL USING LIFT THICKNESSES MATCHED TO SOIL TYPE AND COMPACTION EQUIPMENT TO OBTAIN SPECIFIED COMPACTION THROUGHOUT THE LIFT.
16. COMPACT MATERIAL IN PAVED AREAS TO 95% OF MAXIMUM DRY DENSITY, STANDARD PROCTOR (ASTM D698) EXCEPT THE TOP 3 FEET WHICH SHALL BE COMPACTED TO 100%. COMPACT TO 98% DENSITY WHERE FILL DEPTH EXCEEDS 10 FEET.
17. COORDINATE WITH ARCHITECTURAL FOR BUILDING STOOP LOCATIONS. SLOPES SHOWN ON ADJACENT WALKS AND PAVEMENT SHOULD CONTINUE OVER STOOPS.

PAVING NOTES

18. SPOT ELEVATIONS AT CURBLINES INDICATE FLOWLINES UNLESS NOTED OTHERWISE. SEE SHEET C4.1 FOR RIM ELEVATIONS OF CATCH BASINS.
19. GRADES BETWEEN PROPOSED SPOT ELEVATIONS SHALL BE CONTINUOUS AND NONVARIABLE. SPOT ELEVATIONS SHALL GOVERN OVER CONTOUR LINES.
20. MEET AND MATCH EXISTING CURB. PROVIDE 10 FOOT TRANSITION.
21. PAVING SECTIONS
    a. BITUMINOUS PAVING
       1.5-INCH BITUMINOUS WEAR (WISDOT 460)
       2.5-INCH BITUMINOUS BASE (WISDOT 460)
       6-INCH AGGREGATE BASE (WISDOT 305)
    b. CONCRETE WALKWAYS
       4-INCH CONCRETE WALK, 4,000 PSI, 5%-8% AIR ENTRAINED, MAX. 4" SLUMP (WISDOT 415)
       4-INCH AGGREGATE BASE (WISDOT 305)
       COMPACTED SUBSOIL
       JOINTING TO BE DESIGNED AND INSTALLED BY CONTRACTOR
    c. CONCRETE DRIVES, APRONS, AND EXTERIOR SLABS
       8-INCH CONCRETE, 4,000 PSI, 5%-8% AIR ENTRAINED, MAX. 4" SLUMP (WISDOT 415)
       7-INCH AGGREGATE BASE (WISDOT 305)
       COMPACTED SUBSOIL
    d. CONCRETE PATIOS
       5-INCH CONCRETE WALK, 4,000 PSI, 5%-8% AIR ENTRAINED, MAX. 4" SLUMP (WISDOT 415)
       4-INCH AGGREGATE BASE (WISDOT 305)
22. CONCRETE JOINTS
    JOINTING TO BE DESIGNED AND INSTALLED BY CONTRACTOR.
    INSTALL JOINTS ACROSS SIDEWALKS, CURBS AND PAVEMENTS, PAYING ATTENTION TO SPACING OF EXPANSION JOINTS. JOINT SPACING SHALL BE AS FOLLOWS:
    a. TOOLED JOINTS: DIVIDE PANELS INTO NOMINALLY EQUAL AREAS.
    b. EXPANSION JOINTS: SIDEWALKS – 40 FEET MAX.; CURBS – 60 FEET MAX.; PAVEMENT: 80 FEET MAX.; ADJACENT TO BUILDING FOUNDATIONS AND STOOPS.
    c. CONTRACTION JOINTS: SIDEWALKS – 8 TO 10 FEET; CURBS AND APRONS – 12 TO 15 FEET.
23. ACCESSIBLE PARKING STALLS AND ADJACENT ACCESS AISLES SHALL NOT EXCEED A 2.00% SLOPE IN ANY DIRECTION. THESE AREAS OF THE SITE HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITES ACT (ADA). CONTRACTOR WILL BE HELD TO THESE REQUIREMENTS. IF A DISCREPANCY IS DISCOVERED BETWEEN THE PLANS AND THE FIELD, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
24. ACCESSIBLE ROUTES SHALL HAVE A MAXIMUM CROSS SLOPE OF 2.00% AND A MAXIMUM RUNNING SLOPE OF 5.00%. THESE AREAS OF THE SITE HAVE BEEN DESIGNED TO MEET THE REQUIREMENTS OF THE AMERICANS WITH DISABILITES ACT (ADA). CONTRACTOR WILL BE HELD TO THESE REQUIREMENTS. IF A DISCREPANCY IS DISCOVERED BETWEEN THE PLANS AND THE FIELD, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.
25. 10' TRANSITION FROM 3" HIGH CURB TO 6" CONCRETE CURB
26. TRANSITION FROM 6" CONCRETE CURB TO RIBBON CURB.

LEGEND

SYMBOL	DESCRIPTION	ESTIMATED QUANTITY
	:INLET PROTECTION	9 EACH
	:SILT FENCE	1,393 FEET
	:VEHICLE TRACKING PAD	2 EACH
	:TIP OUT CURB	
	:CONSTRUCTION LIMITS	
	:PEDESTRIAN CURB RAMP	

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REV	DATE	REVISION HISTORY
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

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DRAWN BY: JDB
PROJ. ISSUED:
REVIEWED BY: CNC
DATE REVIEWED: 01-29-18
DATE ISSUED: 01-30-18

CITY: DE PERE
STATE: WI
COUNTY: BROWN
STREET ADDRESS: 1022 MAIN AVE.
SHEET NAME: GRADING, DRAINAGE, PAVING, & EROSION CONTROL
NATIONAL NUMBER: 04691
STATE NUMBER: 048-0118

SHEET NO. C3.1
FILE NAME: C301MCD361.DWG
PROJECT NO. MCD17361

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SITE AND DISTURBANCE DESCRIPTION

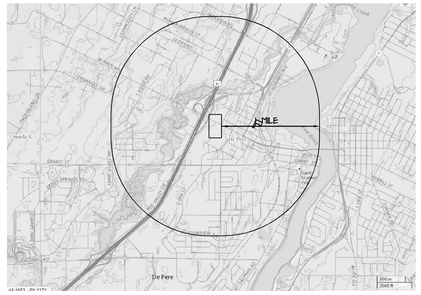
THE SITE CONSISTS OF ONE PARCEL THAT CONTAINS AN AUXILIARY STRUCTURE, PAVEMENT, CURBING, WALKS, RETAINING WALLS, SITE UTILITIES, AND SIGNAGE.

ALL EXISTING IMPROVEMENTS WILL BE DEMOLISHED. SITE CONSTRUCTION WORK WILL INCLUDE NEW:

- EARTHWORK
- UTILITIES
- BUILDING
- CURB AND GUTTER
- WALKS
- PAVEMENT
- LANDSCAPING

THE IMMEDIATE RECEIVING BODY OF WATER IS THE FOX RIVER, WHICH IS IMPAIRED FOR CONTAMINATED FISH TISSUE, LOW DISSOLVED OXYGEN, DEGRADED HABITAT, AND CONTAMINATED SEDIMENT.

LOCATION ON USGS TOPO MAP


SITE
De Pere
GRANT ST
MADISON ST
ADAMS ST
JEFFERSON ST
CHESTNUT ST
WALNUT ST
PINE ST
ELM ST
OAK ST
MAPLE ST
SCHOOLHOUSE RD
LAWRENCE DR
DANIELS DR
CLAY BANK RD
DUTCH LANE
CHERRY HILL RD
ALLOUEZ AVE
MANITOWOC ST
ST JOSEPH ST
ST MICHAEL ST
ST ANTHONY ST
ST JOHN ST
ST MARY ST
ST PETER ST
ST FRANCIS ST
ST JAMES ST
ST ANN ST
ST CATHERINE ST
ST ROSE ST
ST ANDREW ST
ST PAUL ST
ST LUKE ST
ST MARK ST
ST JUDE ST
ST BERNARD ST
ST CLAIR ST
ST CLOTILDE ST
ST ALOISIUS ST
ST ALBERT ST
ST ALBERTUS ST
ST ALBERTUS DR
ST ALBERTUS CT
ST ALBERTUS PL
ST ALBERTUS WAY
ST ALBERTUS TER
ST ALBERTUS CIR
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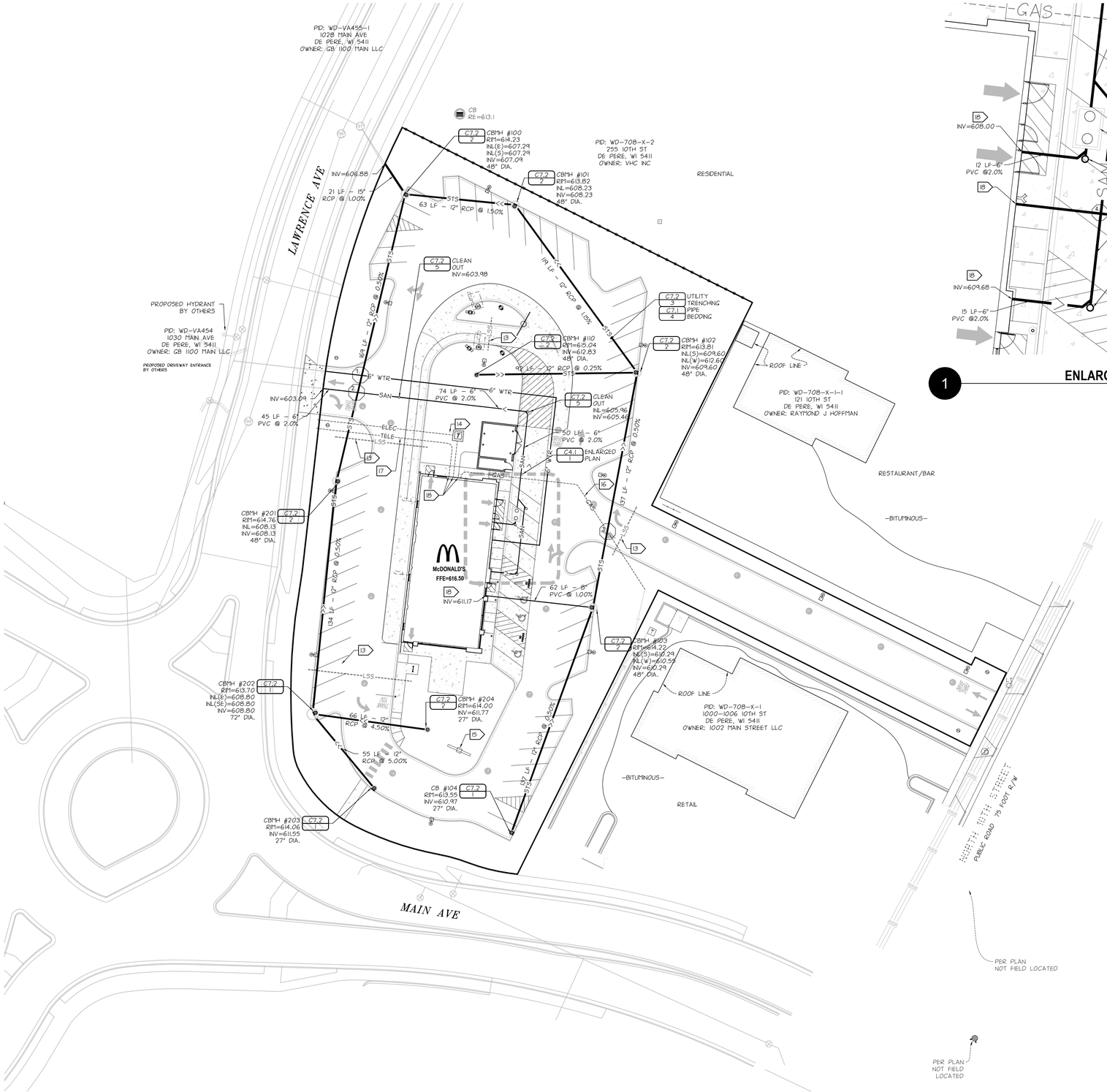
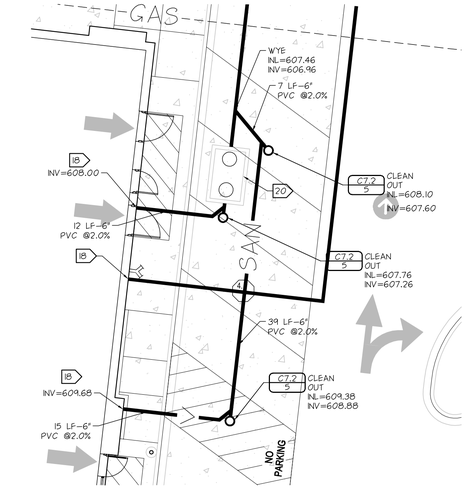
ST ALBERTUS ST
ST ALBERTUS AVE





1 **ENLARGED PLAN**

NO SCALE

UTILITY NOTES

1. PIPE MATERIALS

WATERMAIN	DIP CLASS 52 (ANSI A21.51/AWWA C151), C900 PVC
WATER SERVICE	COPPER TYPE K (ASTM B88)
SEWER SERVICE	PVC SCHEDULE 40 (ASTM D1785, D3034, D2665, & F891)
GREASE TRAP SERVICE	PVC SCHEDULE 40 (ASTM D1785, D3034, D2665, & F891)
STORM SEWER	RCP 12"-18" CLASS 5 (ASTM C76)

2. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
3. CONTRACTOR TO FIELD VERIFY LOCATION AND ELEVATION OF ALL UTILITY POINTS OF CONNECTION PRIOR TO CONSTRUCTION OF ANY PROPOSED UTILITIES. CONTRACTOR TO NOTIFY ENGINEER IMMEDIATELY IF THERE IS ANY DISCREPANCY.
4. COORDINATE WITH PRIVATE UTILITIES TO PROVIDE ELECTRIC, NATURAL GAS, AND COMMUNICATIONS SERVICES TO BUILDING.
5. PROVIDE MEANS AND MEASURES TO PROTECT ADJACENT PROPERTY FROM DAMAGE DURING UTILITY INSTALLATION.
6. PIPE LENGTHS SHOWN ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE OR END OF END SECTION.
7. ADJUST STRUCTURES TO FINAL GRADE WHERE DISTURBED. COMPLY WITH REQUIREMENTS OF UTILITY. MEET REQUIREMENTS FOR TRAFFIC LOADING IN PAVED AREAS.
8. INSTALL TRACER WIRE WITH ALL NON-CONDUCTIVE UTILITIES.
9. CONTACT CITY OF DE PERE PUBLIC WORKS DEPARTMENT FOR INSPECTION OF ALL UTILITY WORK AND STANDARDS. FOR WORK IN RIGHT-OF-WAY, CONTRACTOR TO CONTACT DE PERE PUBLIC WORKS AT 920-339-4061 FOR AN EXCAVATION PERMIT.
10. MAINTAIN 7.5 FEET OF COVER ON WATER.
11. DEFLECT WATER TO MAINTAIN 18-INCH MINIMUM OUTSIDE SEPARATION AT SEWER CROSSINGS AS NECESSARY. CENTER PIPE LENGTHS TO PROVIDE GREATEST SEPARATION BETWEEN JOINTS.
12. CONTACT CITY OF DE PERE PUBLIC WORKS DEPARTMENT FOR FLUSHING AND PRESSURE TEST INSPECTIONS.
13. IRRIGATION SLEEVE TO BE 4" SCHEDULE 80 PVC IN DRIVE AISLES BURIED 24" BELOW GRADE. EXTEND SLEEVES 3' BEYOND THE EDGE OF PAVEMENT. (COORDINATE WITH IRRIGATION CONTRACTOR.)
14. THE PRIMARY ELECTRIC FEED, TRANSFORMER, AND METER ARE PROVIDED AND INSTALLED BY WISCONSIN PUBLIC SERVICE. THE TRANSFORMER PAD DESIGN IS PROVIDED BY THE UTILITY AND CONSTRUCTION IS BY THE CONTRACTOR. CONTACT UTILITY FOR PAD DETAIL. THE SECONDARY ELECTRIC AND CONDUITS SHALL BE INSTALLED BY THE ELECTRICAL CONTRACTOR.
15. COORDINATE WITH ELECTRIC CONTRACTOR TO PROVIDE CONDUITS AS NECESSARY FOR SITE LIGHTING. PROVIDE 3/4" PVC CONDUIT FOR ALL PARKING LOT LIGHTS AND 1-1/2" PVC CONDUIT FOR ROAD SIGN SEE ELECTRICAL SITE PLAN FOR ADDITIONAL INFORMATION.
16. WISCONSIN PUBLIC SERVICE WILL FURNISH AND INSTALL GAS SERVICE PIPING FROM THE MAINLINE TO THE METER. GAS SERVICE FROM THE METER SHALL BE INSTALLED BY THE MECHANICAL CONTRACTOR.
17. COORDINATE TELEPHONE WITH AT&T TO PROVIDE TELEPHONE SERVICE. CONTRACTOR TO PROVIDE AND INSTALL A 4" PVC CONDUIT WITH PULL STRING, SWEEPING BENDS ONLY (NO 90 DEGREE BENDS), FROM PROPERTY LINE TO THE BUILDING.
18. COORDINATE WITH MECHANICAL, PLUMBING, AND ELECTRICAL DRAWINGS FOR LOCATIONS OF SERVICE CONNECTIONS AND CONTINUATION OF SERVICES WITHIN BUILDING.
19. PROVIDE CONDUITS FOR CABLE TELEVISION AND OTHER ELECTRONIC COMMUNICATION.
20. REFER TO PLUMBING PLANS FOR EXTERIOR GREASE INTERCEPTOR DETAIL. THE TANK AND TOP SLAB MUST BE DESIGNED TO HANDLE ALL LOADINGS INCLUDING TRAFFIC AND SOIL TO PREVENT STRUCTURAL COLLAPSE. THE TANK MUST BE PROTECTED FROM FREEZING AND MUST COMPLY WITH ALL LOCAL AND STATE CODE.
21. CONTRACTOR TO POTHOLE ALL UTILITY CROSSINGS PRIOR TO CONSTRUCTION OF NEW UTILITES TO VERIFY DEPTHS OF EXISTING LINES. CONTACT ENGINEER IMMEDIATELY IF ANY CONFLICTS ARE DISCOVERED. ALL UTILITY CONNECTIONS SHALL BE SEQUENCED FROM THE DOWN STREAM SIDE OF THE SYSTEM.
22. ALL JOINTS AND CONNECTIONS IN THE STORM SEWER SYSTEM SHALL BE GASTIGHT OR WATER TIGHT. APPROVED RESILENT RUBBER JOINTS MUST BE USED TO MAKE WATERTIGHT CONNECTIONS TO MANHOLES, CATCH BASINS, AND OTHER STRUCTURES.

UTILITY CROSSINGS

1. WATER SERVICE - BOTTOM OF PIPE = 607.65
   STORM SEWER BOTTOM OF PIPE = 607.6
   DEFLECT WATER SERVICE TO MAINTAIN 1.5' SEPARATION
2. STORM SEWER - BOTTOM OF PIPE = 607.7
   SANITARY SEWER - TOP OF PIPE = 603.9
   CLEARANCE = 3.8'
3. STORM SEWER - TOP OF PIPE = 611.1
   GAS LINE
   FIELD VERIFY DEPTH OF GAS LINE AND INFORM ENGINEER
4. SANITARY SEWER - BOTTOM OF PIPE = 608.51
   WATER SERVICE - BOTTOM = 608.5
   DEFLECT WATER SERVICE TO MAINTAIN 1.5' SEPARATION

LEGEND

- - - - :CONSTRUCTION LIMITS

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NATIONAL NUMBER	04691

SHEET NO. **C4.1**

FILE NAME: C401MCD361.DWG
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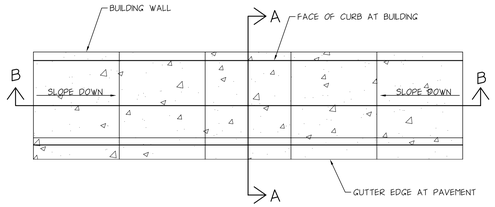
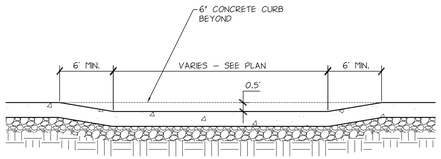
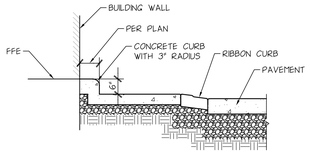


PLAN VIEW



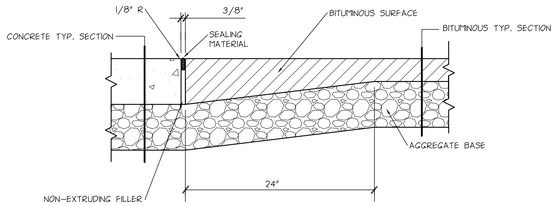
SECTION VIEW B-B



SECTION VIEW A-A

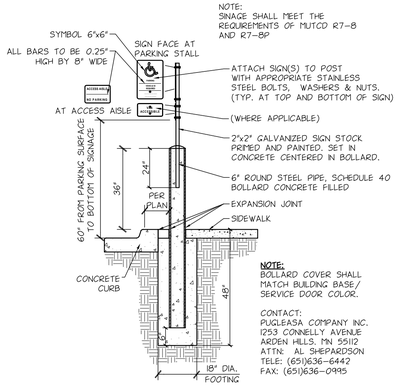
13 ACCESSIBLE WALK WITH CURB AT BUILDING

NO SCALE



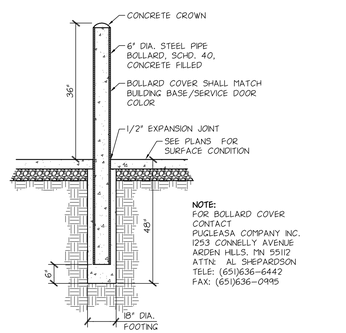
9 THICKENED BITUMINOUS EDGE AND CONCRETE SURFACE

NO SCALE



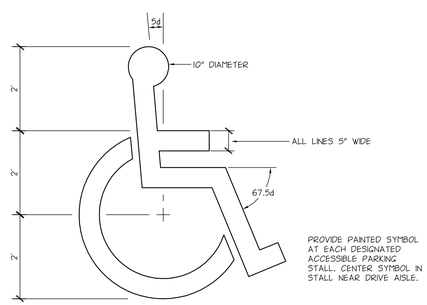
10 ROUND BOLLARD MCDONALD'S W/ ACCESSIBLE SIGNAGE

NO SCALE



11 ROUND PIPE BOLLARD AND COVER McDONALD'S

NO SCALE

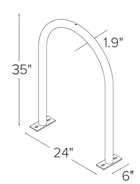


12 INTERNATIONAL SYMBOL OF ACCESS

NO SCALE

HOOP RACK

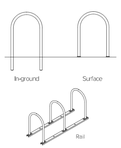
Submittal Sheet



CAPACITY 2 Bikes

MATERIALS
- ☐ **Standard** 1.5" schedule 40 pipe (1.9" OD)
- ☐ **Lightweight** 1.5" schedule 10 pipe (1.9" OD)

FINISHES
- ☐ **Galvanized** An after fabrication hot dipped galvanized finish is our standard option.
- ☐ **Powder Coat** Our powder coat finish assures a high level of adhesion and durability by following these steps: 1. Sandblast 2. Epoxy primer electrostatically applied 3. Final thick TGIC polyester powder coat
- ☐ **Thermoplastic** In addition to an increased thickness (8-10mils), the thermoplastic finish covers a galvanized layer and offers superior impact resistance over powder coating.
- ☐ **PVC Dip** (plastisol) Other colors available by special order (minimum orders apply)
- ☐ **Stainless** Stainless Steel: 304 grade stainless steel material finished in either a high polished shine or a satin finish.



MOUNT OPTIONS
- ☐ **In-ground** In ground mount is embedded into concrete base. Specify in ground mount for this option.
- ☐ **Surface** Foot Mount has two 2.5"x6"x.25" feet with two anchors per foot. Specify foot mount for this option.
- ☐ **Rail** Rail Mounted Racks are bolted to two parallel rails which can be left freestanding or anchored to the ground. Rails are heavy duty 3"x1.4"x.316" thick galvanized mounting rails. Specify rail mount for this option.

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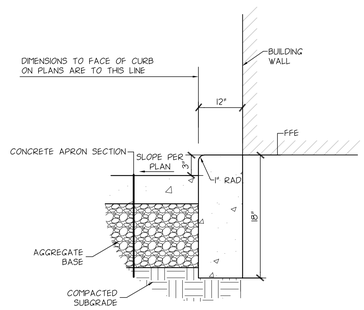
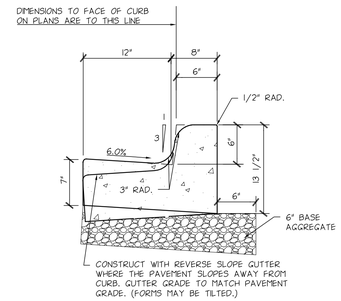
14 STANDARD BIKE RACK

NO SCALE



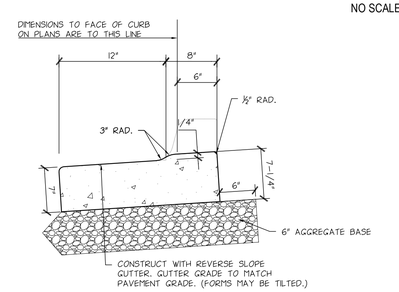
5 3" HIGH CURB AT DRIVE-THRU

NO SCALE



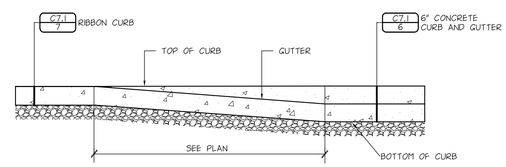
6 6" CONCRETE CURB AND GUTTER

NO SCALE

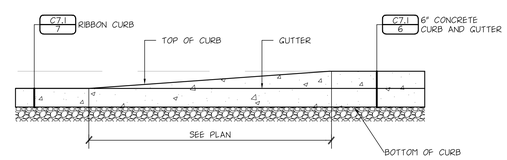


7 12" CONCRETE RIBBON CURB

NO SCALE



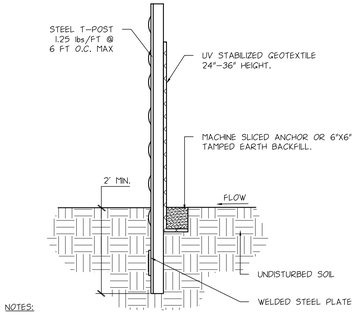
TYPE A



TYPE B

8 CONCRETE CURB TRANSITION

NO SCALE

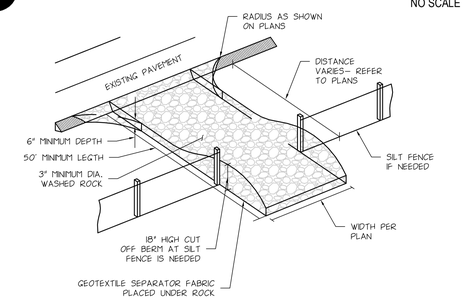


NOTES:

1. DIG A 6" TRENCH ALONG THE INTENDED FENCE LINE OR USE MACHINE SLICED ANCHOR.
2. INSTALL ON CONTOUR AT CONSTANT ELEVATION.
3. DRIVE ALL POSTS INTO THE GROUND AT THE BACK SIDE OF THE TRENCH.
4. LAYOUT WIRE MESH AND SILT FENCE ON THE UPHILL SIDE ALONG THE FENCE LINE, AND BACK FILL.

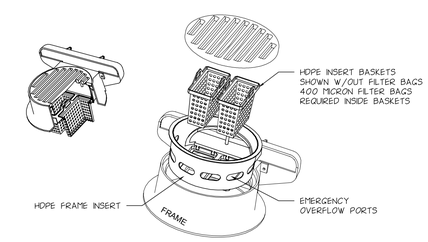
1 SILT FENCE

NO SCALE



2 VEHICLE TRACKING PAD

NO SCALE



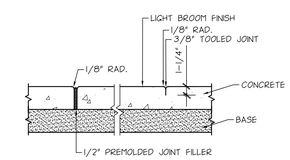
– DESIGNED FOR NEENAH R-3250-A OR R-3250-1 FRAME CASTING

INFRASAFE – 27" DEBRIS COLLECTION DEVICE
AS MANUFACTURED BY ROYAL ENVIRONMENTAL SYSTEMS

ALTERNATIVE ALLOWED AS APPROVED BY PERMITTING AUTHORITIES

3 INLET PROTECTION

NO SCALE



EXPANSION JOINT | CONTRACTION JOINT

CONTRACTION JOINT:
1. SPACING SHALL MATCH WALK WIDTH UNLESS SHOWN OTHERWISE.
2. JOINTS ADJACENT TO CURB SHALL MATCH CURB JOINT SPACING.

EXPANSION JOINT:
1. WHERE WALK BUTTS ANY CONFINING, FIXED OR EMBEDDED OBJECT SUCH AS WALLS, STOOPS, MANHOLES, ETC.
2. 40' ON CENTER MAXIMUM.

4 CONCRETE SIDEWALK AND JOINTING

NO SCALE

REV	DATE	REVISION HISTORY
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

CERTIFICATION

NOT FOR CONSTRUCTION

McDONALD'S USA, LLC.

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DRAWN BY	PROJ. ISSUED	REVIEWED BY	DATE REVIEWED	DATE ISSUED
JDB		CNC	01-29-18	01-30-18

CITY	STATE	COUNTY
DE PERE	WI	BROWN

STREET ADDRESS	SHEET NAME	STATE NUMBER
1022 MAIN AVE.	CIVIL CONSTRUCTION DETAILS	048-0119

NATIONAL NUMBER	SHEET NO.
04691	C7.1

FILE NAME: C701MCD361.DWG
PROJECT NO. MCD17361

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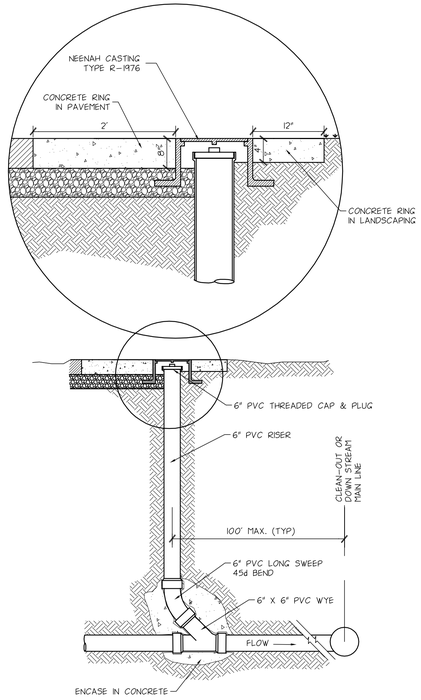
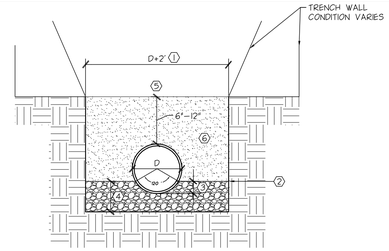
Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 M)



NOTE:
RISER PIPE SHALL BE EXTENDED ABOVE GROUND LEVEL INITIALLY & THEN CUT BACK TO MATCH FINAL GRADE

5 CLEAN-OUT STRUCTURE

NO SCALE



① 2' FOR PIPE 4" OR LESS.

② MACHINE EXCAVATION LIMIT FOR RIGID PIPE.

③ HAND SHAPE BOTTOM FOR SUPPORT OF RIGID PIPE.

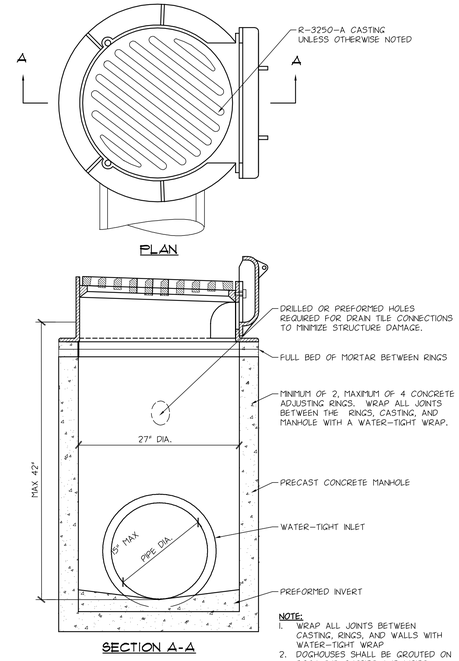
④ MACHINE EXCAVATION LIMIT FOR FLEXIBLE PIPE, GRANULAR FOUNDATION (IF REQUIRED), OR BEDDING REQUIRED FOR LOCAL CONDITIONS. DEPTH VARIES.

⑤ PROVIDE LOCATING/MARKING TAPE MEETING LOCAL REQUIREMENTS.

⑥ SEE DETAIL C7.2/4 SPECIFICATIONS FOR BEDDING AND ENCASEMENT

3 UTILITY TRENCHING

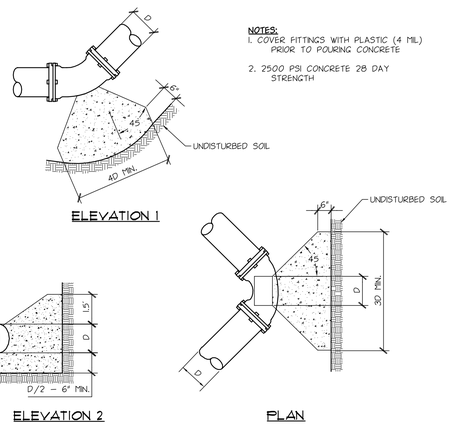
NO SCALE



NOTE:
1. WRAP ALL JOINTS BETWEEN CASTING, RINGS, AND WALLS WITH WATER-TIGHT WRAP
2. DOGHOUSES SHALL BE GROUTED ON BOTH THE OUTSIDE AND INSIDE.

1 27" STORM SEWER CATCH BASIN

NO SCALE

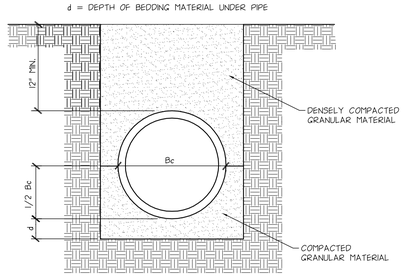


NOTES:
1. COVER FITTINGS WITH PLASTIC (4 MIL) PRIOR TO POURING CONCRETE
2. 2500 PSI CONCRETE 28 DAY STRENGTH

6 CONCRETE THRUST BLOCKING FOR WATERMAIN

NO SCALE

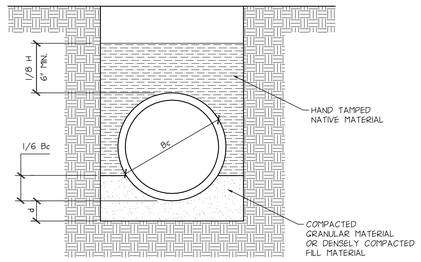
Bc = OUTSIDE DIAMETER
H = BACKFILL COVER ABOVE PIPE
d = DEPTH OF BEDDING MATERIAL UNDER PIPE



GRANULAR FOUNDATION
CLASS B (PVC & HDPE PIPE)

CLASS B BEDDING THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL PLACED UP TO A HEIGHT EQUAL TO ONE-HALF THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE GRANULAR BEDDING BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" DIAMETER AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE INITIAL FILL MATERIAL SHALL BE DENSELY COMPACTED GRANULAR UP TO A HEIGHT OF 12" OVER THE TOP OF THE PIPE.

Bc = OUTSIDE DIAMETER
H = BACKFILL COVER ABOVE PIPE
d = DEPTH OF BEDDING MATERIAL UNDER PIPE

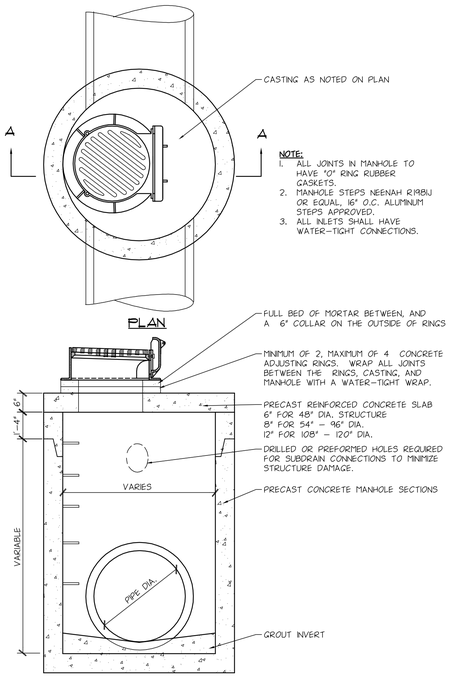


GRANULAR FOUNDATION
CLASS C (DIP & RCP)

CLASS C BEDDING THE PIPE IS BEDDED IN COMPACTED GRANULAR MATERIAL, OR DENSELY COMPACTED FILL MATERIAL UP TO A HEIGHT EQUAL TO ONE-SIXTH THE OUTSIDE DIAMETER OF THE PIPE. THE DEPTH OF THE BEDDING MATERIAL BELOW THE PIPE IS A MINIMUM OF 3" FOR 27" AND SMALLER PIPE, 6" FOR 66" DIAMETER AND LARGER PIPE, AND 4" FOR INTERMEDIATE SIZES. THE REMAINING SIDEFILL AND BACKFILL MATERIAL IS COMPACTED NATIVE SOILS.

4 PIPE BEDDING

NO SCALE



NOTE:
1. ALL JOINTS IN MANHOLE TO HAVE "O" RING RUBBER GASKETS.
2. MANHOLE STEPS NEENAH R1981J OR EQUAL, 16" O.C. ALUMINUM STEPS APPROVED.
3. ALL INLETS SHALL HAVE WATER-TIGHT CONNECTIONS.

2 STORM SEWER CATCH BASIN MANHOLE

NO SCALE

REV	DATE	REVISION HISTORY
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

CERTIFICATION

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DRAWN BY	JDB
PROJ. ISSUED	
REVIEWED BY	CNC
DATE REVIEWED	01-29-18
DATE ISSUED	01-30-18
STATE NUMBER	048-0118

CITY	DE PERE
STREET ADDRESS	1022 MAIN AVE.
SHEET NAME	CIVIL CONSTRUCTION DETAILS
NATIONAL NUMBER	04691

STATE	WI
COUNTY	BROWN

SHEET NO. C7.2

FILE NAME: C701MCD361.DWG
PROJECT NO. MCD17361

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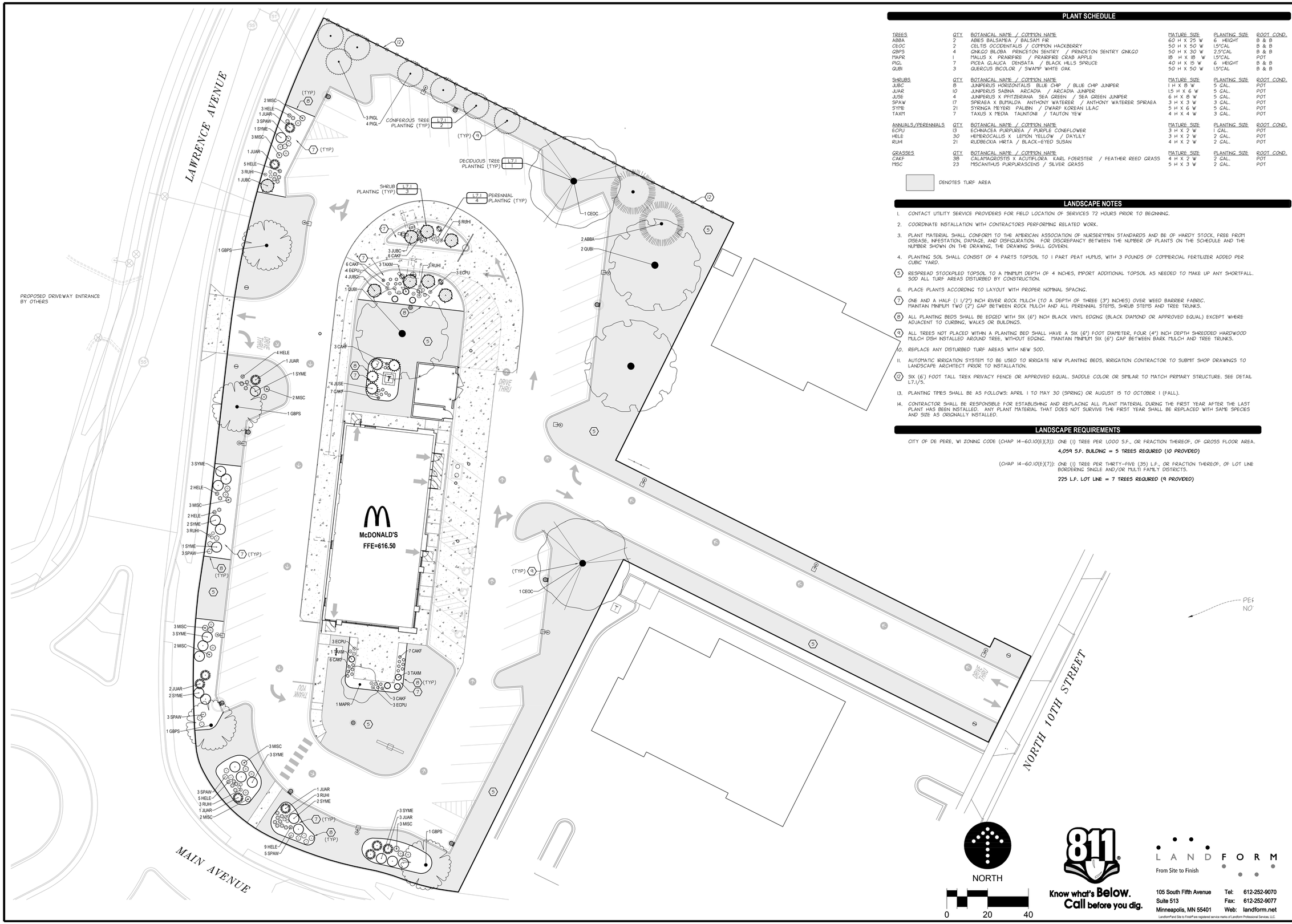

PLANT SCHEDULE

TREES	QTY	BOTANICAL NAME / COMMON NAME	MATURE SIZE	PLANTING SIZE	ROOT COND.
ABBA	2	ABIES BALSAMEA / BALSAM FIR	60 H X 25 W	6 HEIGHT	B & B
CEOC	2	CELTIS OCCIDENTALIS / COMMON HACKBERRY	50 H X 50 W	1.5"CAL	B & B
GBPS	4	GINKGO BILOBA PRINCETON SENTRY / PRINCETON SENTRY GINKGO	50 H X 30 W	2.5"CAL	B & B
MAPR	1	MALUS X PRAIRIFIRE / PRAIRIFIRE CRAB APPLE	18 H X 18 W	1.5"CAL	POT
PIGL	7	PICEA GLAUCA DENSATA / BLACK HILLS SPRUCE	40 H X 15 W	6 HEIGHT	B & B
QUBI	3	QUERCUS BICOLOR / SWAMP WHITE OAK	50 H X 50 W	1.5"CAL	B & B
SHRUBS	**QTY**	**BOTANICAL NAME / COMMON NAME**	**MATURE SIZE**	**PLANTING SIZE**	**ROOT COND.**
JUBC	8	JUNIPERUS HORIZONTALIS BLUE CHIP / BLUE CHIP JUNIPER	1 H X 8 W	5 GAL.	POT
JUAR	10	JUNIPERUS SABINA ARCADIA / ARCADIA JUNIPER	1.5 H X 6 W	5 GAL.	POT
JUSE	4	JUNIPERUS X PFITZERIANA SEA GREEN / SEA GREEN JUNIPER	6 H X 8 W	5 GAL.	POT
SPAW	17	SPIRAEA X BUMALDA ANTHONY WATERER / ANTHONY WATERER SPIRAEA	3 H X 3 W	3 GAL.	POT
SYME	21	SYRINGA MEYERI PALIBIN / DWARF KOREAN LILAC	5 H X 6 W	5 GAL.	POT
TAXM	7	TAXUS X MEDIA TAUNTONII / TAUTON YEW	4 H X 4 W	3 GAL.	POT
ANNUALS/PERENNIALS	**QTY**	**BOTANICAL NAME / COMMON NAME**	**MATURE SIZE**	**PLANTING SIZE**	**ROOT COND.**
ECPU	13	ECHINACEA PURPUREA / PURPLE CONEFLOWER	3 H X 2 W	1 GAL.	POT
HELE	30	HEMEROCALLIS X LEMON YELLOW / DAYLILY	3 H X 2 W	2 GAL.	POT
RUHI	21	RUDBECKIA HIRTA / BLACK-EYED SUSAN	4 H X 2 W	2 GAL.	POT
GRASSES	**QTY**	**BOTANICAL NAME / COMMON NAME**	**MATURE SIZE**	**PLANTING SIZE**	**ROOT COND.**
CAKF	38	CALAMAGROSTIS X ACUTIFLORA KARL FOERSTER / FEATHER REED GRASS	4 H X 2 W	2 GAL.	POT
MISC	23	MISCANTHUS PURPURASCENS / SILVER GRASS	5 H X 3 W	2 GAL.	POT

DENOTES TURF AREA

LANDSCAPE NOTES

1. CONTACT UTILITY SERVICE PROVIDERS FOR FIELD LOCATION OF SERVICES 72 HOURS PRIOR TO BEGINNING.
2. COORDINATE INSTALLATION WITH CONTRACTORS PERFORMING RELATED WORK.
3. PLANT MATERIAL SHALL CONFORM TO THE AMERICAN ASSOCIATION OF NURSERYMEN STANDARDS AND BE OF HARDY STOCK, FREE FROM DISEASE, INFESTATION, DAMAGE, AND DISFIGURATION. FOR DISCREPANCY BETWEEN THE NUMBER OF PLANTS ON THE SCHEDULE AND THE NUMBER SHOWN ON THE DRAWING, THE DRAWING SHALL GOVERN.
4. PLANTING SOIL SHALL CONSIST OF 4 PARTS TOPSOIL TO 1 PART PEAT HUMUS, WITH 3 POUNDS OF COMMERCIAL FERTILIZER ADDED PER CUBIC YARD.
5. RESPREAD STOCKPILED TOPSOIL TO A MINIMUM DEPTH OF 4 INCHES, IMPORT ADDITIONAL TOPSOIL AS NEEDED TO MAKE UP ANY SHORTFALL. SOD ALL TURF AREAS DISTURBED BY CONSTRUCTION.
6. PLACE PLANTS ACCORDING TO LAYOUT WITH PROPER NOMINAL SPACING.
7. ONE AND A HALF (1 1/2") INCH RIVER ROCK MULCH (TO A DEPTH OF THREE (3") INCHES) OVER WEED BARRIER FABRIC. MAINTAIN MINIMUM TWO (2") GAP BETWEEN ROCK MULCH AND ALL PERENNIAL STEMS, SHRUB STEMS AND TREE TRUNKS.
8. ALL PLANTING BEDS SHALL BE EDGED WITH SIX (6") INCH BLACK VINYL EDGING (BLACK DIAMOND OR APPROVED EQUAL) EXCEPT WHERE ADJACENT TO CURBING, WALKS OR BUILDINGS.
9. ALL TREES NOT PLACED WITHIN A PLANTING BED SHALL HAVE A SIX (6") FOOT DIAMETER, FOUR (4") INCH DEPTH SHREDDED HARDWOOD MULCH DISH INSTALLED AROUND TREE, WITHOUT EDGING. MAINTAIN MINIMUM SIX (6") GAP BETWEEN BARK MULCH AND TREE TRUNKS.
10. REPLACE ANY DISTURBED TURF AREAS WITH NEW SOD.
11. AUTOMATIC IRRIGATION SYSTEM TO BE USED TO IRRIGATE NEW PLANTING BEDS, IRRIGATION CONTRACTOR TO SUBMIT SHOP DRAWINGS TO LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
12. SIX (6') FOOT TALL TREX PRIVACY FENCE OR APPROVED EQUAL. SADDLE COLOR OR SIMILAR TO MATCH PRIMARY STRUCTURE. SEE DETAIL L7.1/5.
13. PLANTING TIMES SHALL BE AS FOLLOWS: APRIL 1 TO MAY 30 (SPRING) OR AUGUST 15 TO OCTOBER 1 (FALL).
14. CONTRACTOR SHALL BE RESPONSIBLE FOR ESTABLISHING AND REPLACING ALL PLANT MATERIAL DURING THE FIRST YEAR AFTER THE LAST PLANT HAS BEEN INSTALLED. ANY PLANT MATERIAL THAT DOES NOT SURVIVE THE FIRST YEAR SHALL BE REPLACED WITH SAME SPECIES AND SIZE AS ORIGINALLY INSTALLED.

LANDSCAPE REQUIREMENTS

CITY OF DE PERE, WI ZONING CODE (CHAP 14-60.10(E)(3)): ONE (1) TREE PER 1,000 S.F., OR FRACTION THEREOF, OF GROSS FLOOR AREA.

4,059 S.F. BUILDING = 5 TREES REQUIRED (10 PROVIDED)

(CHAP 14-60.10(E)(7)): ONE (1) TREE PER THIRTY-FIVE (35) L.F., OR FRACTION THEREOF, OF LOT LINE BORDERING SINGLE AND/OR MULTI FAMILY DISTRICTS.

225 L.F. LOT LINE = 7 TREES REQUIRED (9 PROVIDED)

Know what's **Below.** Call before you dig.

LANDFORM
From Site to Finish

105 South Fifth Avenue
Suite 513
Minneapolis, MN 55401

Tel: 612-252-9070
Fax: 612-252-9077
Web: landform.net

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REV	DATE	REVISION HISTORY
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

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DRAWN BY	JDB
PHOTO. ISSUED	
REVIEWED BY	CNC
DATE REVIEWED	01-29-18
DATE ISSUED	01-30-18

CITY	DE PERE
STATE	WI
STREET ADDRESS	1022 MAIN AVE.
COUNTY	BROWN
SHEET NAME	LANDSCAPE
NATIONAL NUMBER	04681
STATE NUMBER	048-0118

SHEET NO. **L2.1**

FILE NAME: L201MCD361.DWG
PROJECT NO. MCD17361

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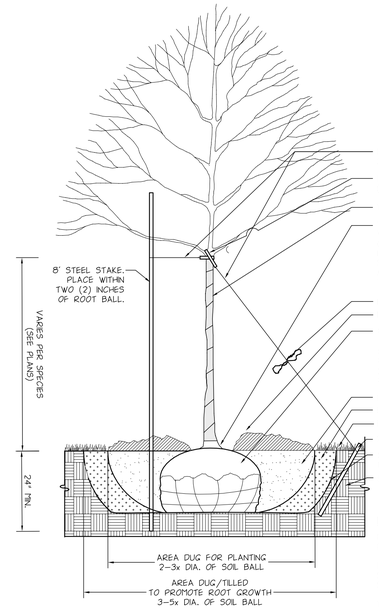
Attachment: Site Plan - Response to Preview & Site Plans & Soil Loss Calc - 31 Jan 2018 (6722 : Recommendation regarding a Site Plan for a new business and parking area called McDonald's at 1022 M)



NOTES:

REFERENCE WISCONSIN DEPARTMENT OF NATURAL RESOURCES, FORESTRY DIVISION.

INSPECT FOR ENCIRCLING ROOTS TO MITIGATE FUTURE STEM GIRDLING. REJECT ANY TREES THAT ARE SEVERELY AFFECTED.

TWO ALTERNATE METHODS OF TREE STAKING ARE ILLUSTRATED AND TO BE UTILIZED ONLY IF NECESSARY.

MAINTAIN TREES IN A PLUMB POSITION THROUGHOUT THE GUARANTEE PERIOD. SEE SPECIFICATIONS.

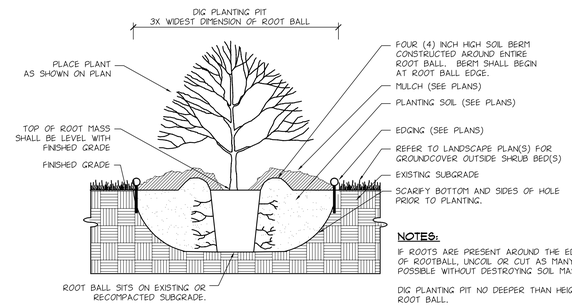
REMOVE TRANSIT GUARD IF PRESENT.

REMOVE ONLY DEAD OR BROKEN BRANCHES OR DOUBLE LEADERS AT PLANTING TIME.

REMOVE ALL STAKES AFTER ONE (1) YEAR.

1 DECIDUOUS TREE PLANTING

NO SCALE



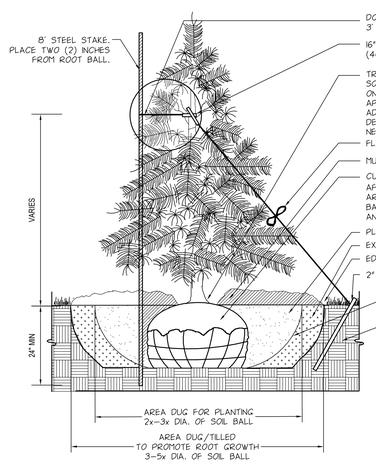
NOTES:

IF ROOTS ARE PRESENT AROUND THE EDGES OF ROOTBALL, UNCOIL OR CUT AS MANY AS POSSIBLE WITHOUT DESTROYING SOIL MASS.

DIG PLANTING PIT NO DEEPER THAN HEIGHT OF ROOT BALL.

3 SHRUB PLANTING

NO SCALE



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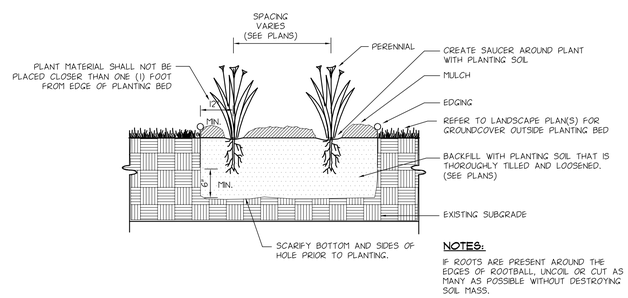
2 CONIFEROUS TREE PLANTING

NO SCALE



NOTES:

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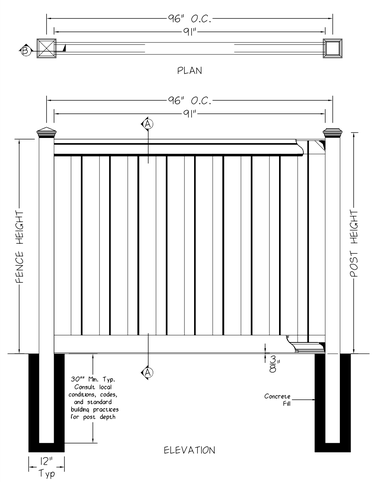
4 PERENNIAL PLANTING

NO SCALE

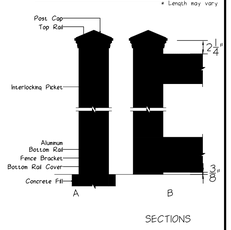
ARCHITECTURAL DRAWING:
TREX SECLUSIONS FENCING
PROFILE VIEW



BILL OF MATERIAL FOR A 6'H x 8'W SECTION OF SECLUSIONS FENCINGS

COMPONENTS	QUANTITY	LENGTH
Post Cap: Pyramid, Flat, or Crown	1	
5" x 5" Post	1	106" *
4" x 4.9" Top Rail	1	91" *
1"x5.75" Interlocking Picket	19	67" *
1" x 5.75" Bottom Rail Cover	2	91" *
Aluminum Bottom Rail	1	90 1/2"
Fence Bracket	4	
1 5/8" (Typ) Exterior Wood Screws	24	

* Length may vary



SECTIONS

NOTES:

1. INSTALLATION TO BE COMPLETED PER MANUFACTURER'S SPECIFICATION.
2. THIS DRAWING IS PROVIDED FOR PLANNING PURPOSES. REFER TO MANUFACTURER'S INSTALLATIONS FOR CONSTRUCTION DETAILS.
3. REFER TO MANUFACTURER'S WEBSITE FOR PRODUCT INFORMATION.
4. DRAWING NOT TO SCALE.

TREX SECLUSIONS FENCING PROFILE VIEW

160 EXETER DR, WINCHESTER, VA 22603
1-800-BUY-TREX / WWW.TREXFENCING.COM

Publication date April 6, 2016

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Filename: 1004 - Trex Seclusions Fencing Profile View.dwg

5 6' PRIVACY FENCE

NO SCALE

REVISION HISTORY

REV	DATE	
	11/27/17	SITE PLAN SUBMITTAL
	01/30/18	SITE PLAN RESUBMITTAL

CERTIFICATION

NOT FOR CONSTRUCTION

McDONALD'S USA, LLC.

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OFFICE ADDRESS
650 W. 82ND STREET #900 BLOOMINGTON, MINNESOTA 55431-4355 (952)-884-4355

CITY	DE PERE
STATE	WI
COUNTY	BROWN
STREET ADDRESS	1022 MAIN AVE.
SHEET NAME	LANDSCAPE CONSTRUCTION DETAILS
NATIONAL NUMBER	04691
STATE NUMBER	048-0118
DRAWN BY	JDB
PROJ'O. ISSUED	
REVIEWED BY	CNC
DATE REVIEWED	01-29-18
DATE ISSUED	01-30-18

SHEET NO. L7.1

FILE NAME: L701MCD361.DWG
PROJECT NO. MCD17361

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Soil Loss & Sediment Discharge Calculation Tool

for use on Construction Sites in the State of Wisconsin

DRAFT VERSION 03-27-2015

WISCONSIN DEPT. OF NATURAL RESOURCES

YEAR 1

Developer:

Project: McDonald's in De Pere, WI on Main

Date: 1/22/2018

County: Brown

******COVER ESTABLISHMENT FROM SEEDING MUST BE AT LEAST 60 DAYS******

Version 1.

Land Disturbing Activity	Begin Date	End Date	Period % R	Annual R Factor	Sub Soil Texture	Soil Erodibility K Factor	Slope (%)	Slope Length (feet)	LS Factor	Land Cover C Factor	Soil loss A (tons/acre)	Sediment Control Practice	Sediment Discharge (tons/acre
Bare Ground	5/1/2018	6/1/2018	11.0%	100	Sandy Clay	0.37	1.1%	350	0.20	1.00	0.8	Silt Fence	0.4
Bare Ground	6/1/2018	8/1/2018	43.0%	100	Sandy Clay	0.37	1.3%	240	0.19	1.00	3.1	Silt Fence	1.4
Seed with Mulch or Er	8/1/2018	9/1/2018	17.0%	100	Sandy Clay	0.37	1.3%	240	0.19	0.10	0.1	Silt Fence	0.0
End	9/1/2018	-----	-----	-----	-------	-----	1.3%	240	0.19	------	-----	Silt Fence	0.0
		-----	-----	-----	-------	-----	1.3%	0	-----	-----	-----		0.0
		-----	-----	-----	-------	-----	0.0%	0	-----	-----	-----		0.0
******COVER ESTABLISHMENT FROM SEEDING MUST BE AT LEAST 60 DAYS******													
										TOTAL	4.0	TOTAL	1.8
												% Reduction Required	NONE

Notes:

See Help Page for further descriptions of variables and items in drop-down boxes.
The last land disturbing activity on each sheet must be 'End'. This is either 12 months from the start of construction or final stabilization.
For periods of construction that exceed 12 months, please demonstrate that 5 tons/acre/year is not exceeded in any given 12 month period.

NOTE: THIS TOOL ONLY ADDRESSED SOIL EROSION DUE TO SHEET FLOW. MEASURES TO CONTROL CHANNEL EROSION MAY ALSO BE REQUIRED TO MEET SEDIMENT DISCHARGE REQUIREMENTS.

Recommended Permanent Seeding Dates:

4/15-6/1	and	8/1-8/21	Turf, introduced grasses and legumes
Thaw-6/30			Native Grasses, forbs, and legumes

Designed By:	
Date	

\\mspfsv02\Studios\Active Projects\MCD17361 - McDonalds in De Pere WI on Main\Design Data\Calculations\Soil Loss Calcs\Soil Loss Calc.xls

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