



Plan Commission

335 South Broadway

Regular Meeting

De Pere, WI 54115
<http://www.de-pere.org>

Agenda

Monday, March 28, 2016	7:00 PM	De Pere City Hall Council Chambers
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Pursuant to Wisconsin Statutes 19.84, Notice is hereby given to the public that a meeting of the **Plan Commission** of the City of De Pere will be held on **March 28, 2016** at **7:00 PM** in the **De Pere City Hall Council Chambers, 335 S. Broadway Street, De Pere, WI 54115.**

This meeting can be viewed LIVE at www.depere.tv. This meeting is also rebroadcast on TW Cable Channel 4 and AT&T U-verse Channel 99 throughout the week and available on demand at www.depere.tv.

Call to Order

1. Roll Call
2. Approval of the minutes of the February 22, 2016 Plan Commission meeting.
3. Review and Recommendation on the Site Plan Application for American 3 Fab, Parcel WD-L436-2. Applicant: Mau and Associates
4. Review the rezoning request for ED-1469, located along Honey Ct. from Limited Industrial (I-2) to General Business District (B-2) Applicant: Alliance Construction*
5. Review the rezoning request for ED-1469-1, ED-1469-2, located along Cook Street and ED-1469-4 located along Honey Ct. from Limited Industrial (I-2) to General Business District (B-2) Applicant: City of De Pere*
6. Review request for sign variance for two wall signs to be placed on 1551 Lawrence Dr. for Life Church. Agent: Jones Sign.
7. Future Agenda Items

Adjournment

*** Items with an asterisk require City Council approval.**

Any person wishing to attend this meeting who, because of disability, requires special accommodations should contact the City Planner's office by Monday, March 28, 2016 so that arrangements can be made.

AGENDA SENT TO:

Plan Commission Members
Alderspersons
News Media
David Meister, Mau & Associates
Mark Soderlund/Michael Fleming
Bill Bos, Alliance Construction
Marcus Properties LLC
Jennifer Snell
WI Dept of Natural Resources
Casey Schmidt & Amber Evey
Gloria Hinnendael
Molly Goral
Benjamin & Mary Catalano
Brian & Casey Schmitt

Daniel & Laura Robinson
Michael & Bobbi Jo Moore
Mark & Elizabeth Julka
Becky Watermolen
Tyler & Sara Mankovecky
Dennis & Jean Opelt
Timothy Cook & Jacqueline Lipburger
Allan & Katie Dorn Jr
S&J Holdings LLC
Charles Bird
Michael Frisque
Frank Vanden Houten
Richard & Sarah Guerreo
Ignat & Diana Raditchev
Dennis Allie & Laurie Stehlik
Matthew Jacobs
David & Virginia Reinardy
Thomas Wright
PJS of De Pere LLP
SRL2 Inc
Cody Hendricks
Daniel & Marta Hendricks
5 Gens LLC
Jones Sign Co. Inc.
Life Church Green Bay Inc.

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: March 28, 2016

DEPARTMENT: Planning

FROM: Sarah Wallace

SUBJECT: Approval of the minutes of the February 22, 2016 Plan Commission meeting.

ATTACHMENTS:

- PC_Feb2016_Minutes_Draft (PDF)



Plan Commission

335 South Broadway

De Pere, WI 54115

<http://www.de-pere.org>

Regular Meeting

Draft Minutes

Monday, February 22, 2016

7:00 PM

De Pere City Hall Council Chambers

Call to Order

The meeting was called to order at 7:00 PM by Mayor Michael J. Walsh

Attendee Name	Title	Status	Arrived
Michael J. Walsh	Mayor	Present	
James Boyd	Alderman	Present	
Larry Lueck	Alderman	Excused	
Derek Beiderwieden	Commissioner	Present	
Jim Kalny	Commissioner	Excused	
Steve Taylor	Commissioner	Present	
Amy Kunding	Commissioner	Present	

Also present: City Planning Director Kim Flom and members of the public.

Mayor Walsh introduced new Plan Commission member Amy Kunding, and welcomed her to the board.

2. Approval of the minutes of the January 25, 2016 Plan Commission meeting

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Boyd, Alderman
SECONDER:	Derek Beiderwieden, Commissioner
AYES:	Michael J. Walsh, James Boyd, Derek Beiderwieden, Steve Taylor, Amy Kunding
EXCUSED:	Larry Lueck, Jim Kalny

3. Review and Recommendation on the Site Plan for 600 and 633 Heritage Rd for an Expansion at Belmark. Applicant: Robert E. Lee and Associates

City Planning Director Kim Flom provided an overview of the project, which includes an office addition and a skywalk connection across Heritage Rd. The skywalk does require approval from the County, and the application is ready to submit once they have obtained City approval for the project.

James Boyd motioned, seconded by Derek Beiderwieden, to open the meeting for public comment. Upon vote, motion carried unanimously.

Pat Kuehl with Robert E. Lee & Associates answered board members' questions about skywalk height and road closures during construction.

Mayor Walsh motioned, seconded by Steve Taylor, to return to regular order. Upon vote, motion carried unanimously.

Derek Beiderwieden motioned, seconded by Steve Taylor, to approve the site plan with staff comments being addressed. Upon vote, motion carried unanimously.

Attachment: PC_Feb2016_Minutes_Draft (4540 : minutes)

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Derek Beiderwieden, Commissioner
SECONDER:	Steve Taylor, Commissioner
AYES:	Michael J. Walsh, James Boyd, Derek Beiderwieden, Steve Taylor, Amy Kunding
EXCUSED:	Larry Lueck, Jim Kalny

4. Review and Recommendation on a Two (2) Lot CSM along Lawrence Dr. Surveyor: Steve Bieda, Mau and Associates

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Michael J. Walsh, Mayor
SECONDER:	Derek Beiderwieden, Commissioner
AYES:	Michael J. Walsh, James Boyd, Derek Beiderwieden, Steve Taylor, Amy Kunding
EXCUSED:	Larry Lueck, Jim Kalny

5. Request to Terminate the Restrictive Covenant for Nicolet Square. Applicant: City of De Pere*

City Planning Director Kim Flom explained that the City is asking for a recommendation to Council to remove a restrictive covenant placed on some of the property in 1967, which limited the use to parking only. The City is currently in the first phase of implementation of the Nicolet Square master plan, which includes a transition to shared garbage and recycling collection. Removal of the restrictive covenant will allow construction of garbage enclosures.

Mayor Walsh motioned, seconded by Steve Taylor, to recommend approval of the termination of the restrictive covenant, and to forward the request to Common Council. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Michael J. Walsh, Mayor
SECONDER:	Steve Taylor, Commissioner
AYES:	Michael J. Walsh, James Boyd, Derek Beiderwieden, Steve Taylor, Amy Kunding
EXCUSED:	Larry Lueck, Jim Kalny

6. Future Agenda Items
None.

Adjournment

Mayor Walsh motioned, seconded by Derek Beiderwieden, to adjourn the meeting at 7:12 PM. Upon vote, motion carried unanimously.

Respectfully submitted,
Carey Danen

City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: March 28, 2016

DEPARTMENT: Planning

FROM: Sarah Wallace

SUBJECT: Review and Recommendation on the Site Plan Application for American 3 Fab, Parcel WD-L436-2. Applicant: Mau and Associates

ATTACHMENTS:

- PC_Staff Memo_American 3 Fab (PDF)
- SITE PLAN REVIEW APPLICATION 030716 (PDF)
- TITLE SHT C1.0 (PDF)
- SITE LAYOUT C2.0 (PDF)
- Site Survey (PDF)
- EC PLAN C3.0 (PDF)
- GRADING PLAN C4.0 (PDF)
- NOTE & DETAILS C5.0 (PDF)
- LightingLandscape (PDF)
- American 3 fab elevs_updated (PDF)

Item 3: Review and Recommendation on the Site Plan Application for American 3 Fab, Parcel WD-L436-2. Applicant: Mau and Associates

Mark Soderlund and Mau and Associates are proposing a 51,840 sf building east of Innovation Ct extended and south of Southbridge Rd on a recently approved lot/CSM. The proposed development is for American 3 Fab, a metal manufacturing company currently located in Green Bay.



Figure 1: Site Location

Zoning: Highway 41 District B

- The intent of the Highway 41 Business Corridor, B is to promote the development of attractive businesses and industries that traditionally require the visibility and access provided along major highway corridors while maintaining the integrity and visual image of the City of De Pere.
- Machine Shops are an allowed use within this district.

Yard requirements:

- Minimum lot size: two acres – project meets requirement
- Lot Coverage – maximum 80%
- Open Space – Minimum 20 % - project meets requirement
- Setbacks – (are not identified on the site plan)
- Floor Area Ratio: Minimum 0.05 Maximum 0.8 – Plan does not identify

Site Statistics for the Project:

Total Site: 5.71 acres
Paved/Gravel Area: 1.43 acres (25.04%)
Building Area: 1.19 Acres (20.84%)
Building SF: 51,840SF
Green/Pond Area: 3.09 Acres (54.12%)

Proposed Parking:

Proposed Total Stalls: 74

Required Number of Stalls per City Code - one (1) space per 1,000SF of gross Floor Area: 52 spaces required.

The below comments were compiled from an interdepartmental review of the submitted application.

Public Works:

1. A 4" sanitary sewer lateral is shown connecting to the sanitary sewer owned by NEW Water (GBMSD). NEW Water will need to approve this connection.
2. The plan shows a 6-inch water service connecting to City water main off of Southbridge Road. Make the connection with a tapping sleeve and tapping valve. A street excavation permit will be required to perform this work. Note on the plan that, "All taps to the City water main are to be completed under the observation of City personnel". Water meter size greater than 1" will require 1 month advance notice prior to installation.
3. Storm water discharges to a detention pond on site. The storm water management report stated that the pond has been sized for both the proposed and future development. The report specifies 5.71 acres of the 8.50 acre site is being developed at this time. The HydroCAD data specifies a total area of 16.350 acres. Clarify the difference.
4. Review the Erosion Control Plan to verify it is sufficient to protect the steep slopes along the eastern side of the site. The anticipated construction sequence and construction site erosion control on the plan needs to be consistent with what is specified in the storm water management plan. Provide a detail for, or clearly define, erosion control at the discharge pipes in the pond after completion of construction. How will the contractor prevent sediment from getting into the pipe and the Creek until the site is stabilized?
5. City Code Section 28-7 specifies a runoff curve number (CN) of 71 to determine the peak pre-development discharge rates. The calculations show the peak post development discharge rate does not exceed the peak pre-developed discharge rate for the two-year, ten-year, and 100-year design storms. Clarify that CN=71 was used to determine the peak pre-development discharge rates.
6. A maintenance agreement for the wet detention pond is required prior to the City issuing an occupancy permit. The City will provide this agreement to the property owner. The Owner executes the agreement and returns it to the City. The City will record the agreement with the County and provide the Owner with a copy of the recorded agreement.
7. Corner lot driveways measured at the curb line shall not be less than 100' from the intersection with the street right of way line. The maximum width at the property line is 35' for a two-way semi-trailer delivery drive and 25' for a business two-way drive. The maximum opening, with flares are 100' and 45' respectively.
8. The driveway access to Southbridge Road will require a Revocable Occupancy Permit (ROP). If the City decides to undertake the street extension to extend the road, the driveway permitted under the ROP will be out of service for the period of construction.
9. Show dimensions of adjacent streets and right of ways on the plan.
10. There are no new sidewalks, driveways, walkways, fences, retaining walls or signs shown.
11. No lighting plan is provided for the site.

12. All off-street parking shall have a perimeter concrete curb and gutter around the entire parking lot unless the site plan shows that runoff from the parking lot will not cause erosion or adversely affect adjacent properties.
13. Note on the plan that "Pond needs to have a record survey completed and approved by the Engineer".
14. Note on the plan that "A final inspection of the pond is to be scheduled between the City, contractor, and Engineer".
15. Show utility easements on the plan.

Fire: General Fire Department Comments, to be coordinated with City Fire Department

1. Fire Department vehicle access
2. Drawings signed by designer
3. Fire Department access 20 foot clear width and 13' 6" height
4. Coordination with hydrants and FDC
5. Turnarounds for dead ends 150 feet or more in length
6. Cul-de-sac min. inside diameter 36 feet and min. outside diameter 60 feet
7. Fire Department Access min right hand turn radius 25 feet
8. If the building setback more than 150 feet from the paved Fire Department access, provide a fire lane
9. Gates provide sufficient access width of 20 feet and height of 13' 6"
10. Fence obstruction to hydrants, hose lay distance, FDC, egress path
11. Knox Box
12. Signage if applicable
13. Map near front entrance
14. Combine fire control room if possible
15. Hazard identification
16. Obtain Fire Department Approval for FDC location prior to building permits or before State approval

Forestry:

1. See landscaping comments under Building/Planning

Health:

1. Noticed breakrooms noted on both diagrams and one breakroom kitchen by offices. Neither breakroom nor the one breakroom kitchen appeared to be providing food service preparation/cafeteria operations for employees to purchase for consumption. If food service is anticipated, contact City Health Department

Building/Planning:

1. The building elevations that were submitted, do not meet the City code, Section 146-60(6) General Building and performance standards. The applicant has requested to have the east elevation (expansion wall) building materials to be all metal. Staff is recommending allowing the metal building elevations for a five (5) year period, since they are anticipating an expansion. If an expansion does not occur, the elevation of the building will have to be brought into compliance with the zoning code.
2. Lighting information submitted is insufficient. A Photometric plan needs to be submitted, reviewed and approved according to and in compliance with City Code.

3. Landscaping - This development is in an area along a major corridor for the City of De Pere. Staff recommends more landscaping for this development. Specifically; the canopy trees do not meet the requirements of the code, please update to include the required 24 trees; Staff would like to see foundation plantings along the north side of the building that include a mix of shrubs and trees to break up the monotony of the long wall. Staff is also recommending that the east side of the property to include trees and shrubs to provide a screen of the loading area. Staff also recommends that the use of the required canopy trees be reconsidered in their location and use as the buffer required for the southern portion of the property boundary for the residential property on the south. All updated plans to be reviewed and approved by the Planning and Economic Development Director.
4. Parking - meets parking regulations
5. All Code setbacks (front yard, side yard, etc.) are not clearly identified. Resubmit plans with setbacks identified, as they pertain to the City Code.
6. Signs - Signage information will need to be submitted, reviewed and approved according to the requirements within the City Code.
7. Gravel area - the gravel area on the south side of the property is not allowed and must be removed on the site plan.
8. Future expansion wall was identified on an updated landscape plan, please identify the future expansion on the site plan as well.
9. Location of Refuse and Dumpsters need to be identified on Site Plan in accordance with City Code.
10. Staff continues to work with Brown County as they coordinate planning work for the Southern Bridge Corridor. Brown County has noted that the intersection of Southbridge and Innovation Court may need to be shifted to the South to accommodate the desired interchange design. The development as designed would not be impacted in the immediate future but if the road network changes, the property and business owner should be prepared to shift their primary access into the site from the west side of the property to the east side of the property.

Recommendation:

Staff recommends approval of the site plan, **subject to compliance with the above comments and conditions.**



CITY OF DE PERE

APPLICATION FOR
SITE PLAN REVIEW

Fee: \$ 290.00

Receipt #:

Date:

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) <i>MAN & ASSOCIATES</i>	Authorized Representative <i>DAVID J. MEISTER</i>	Title <i>ENGINEER</i>	
Mailing Address <i>400 SECURITY BLVD.</i>	City <i>GREEN BAY</i>	State <i>WI</i>	ZIP Code <i>54313</i>
Email Address <i>dmeister@man-associates.com</i>	Phone Number (incl. area code) <i>920-434-9670</i>	Fax Number (incl. area code)	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) <i>MARK SODERLUND / MICHAEL FLEMING</i>	Contact Person	Title <i>OWNER</i>	
Mailing Address <i>P.O. BOX 5512</i>	City <i>DE PERE</i>	State <i>WI</i>	ZIP Code <i>54115</i>
Email Address <i>sodie5141@gmail.com</i>	Phone Number (incl. area code) <i>920-336-4980</i>	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description <i>CORNER OF FRENCH & SOUTH BRIDGE ROS. LOT 1 OF 43CSM271, MAP # 2530</i>	Parcel No. <i>WD-L436-2</i>
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SECTION 4: Project Information

Existing Zoning:	<i>COMMERCIAL</i>		
Present Use of Parcel:	<i>VACANT LOT</i>		
Proposed Use of Parcel:	<i>COMMERCIAL</i>		
Estimated Start Date:	<i>APRIL 2016</i>	Estimated Completion Date:	<i>WINTER 2016</i>

Please submit 1 hard copy 24x36, 1 hard copy 11x17 and 1 PDF copy of the Site Plan.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) <i>DAVID J. MEISTER</i>	Title <i>ENGR.</i>	Phone Number <i>920-434-9670</i>
Signature of Applicant <i>[Signature]</i>		Date Signed <i>1-3-16</i>

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.	
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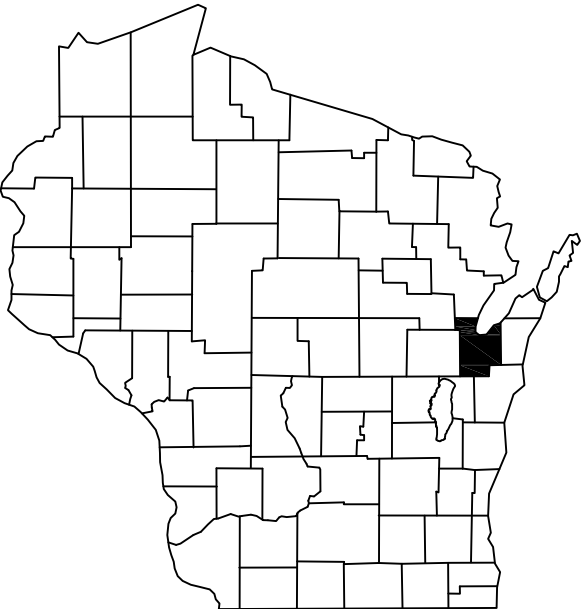
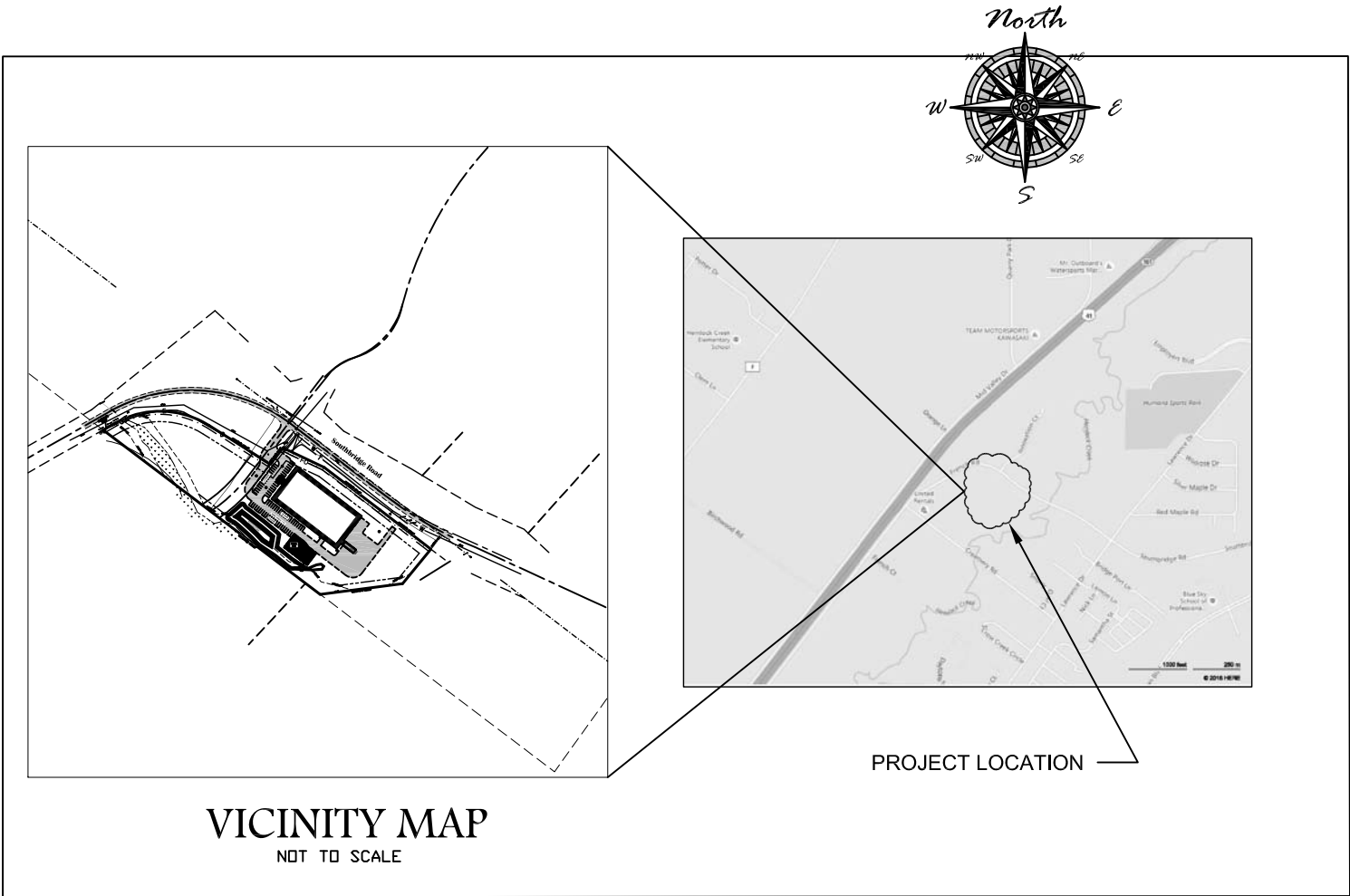
Attachment: SITE PLAN REVIEW APPLICATION 030716 (4544 : American 3 Fab)

MARK SODERLUND SITE ENGINEERING PLANS

CITY OF DePERE
BROWN COUNTY, WISCONSIN

PROJECT INFORMATION

<u>OWNER(S):</u>
MARK SODERLUND
<u>PROJECT NAME:</u>
COMMERCIAL DEVELOPMENT
<u>PROJECT DESCRIPTION:</u>
NEW BUILDING, PAVEMENT, REGIONAL STORMWATER MANAGEMENT FACILITY
<u>PROJECT ADDRESS:</u>
SOUTHBRIDGE ROAD
<u>TAX PARCEL NUMBER(S):</u>
WD-L436-2



BROWN
COUNTY

SHEET INDEX

- C1.0 TITLE SHEET
C2.0 SITE LAYOUT PLAN
C3.0 EROSION CONTROL PLAN
C4.0 GRADING & SITE UTILITY PLAN
C5.0 NOTES & DETAILS
1 of 1 SITE SURVEY

CONTACT INFORMATION

OWNER(S):

MARK SODERLUND
P.O. BOX 5512
DEPERE, WI 55115
920-336-4980

ENGINEER:

MAU & ASSOCIATES, LLP
CONTACT: DAVID J. MEISTER, P.E.
400 SECURITY BLVD.
GREEN BAY, WI 54313

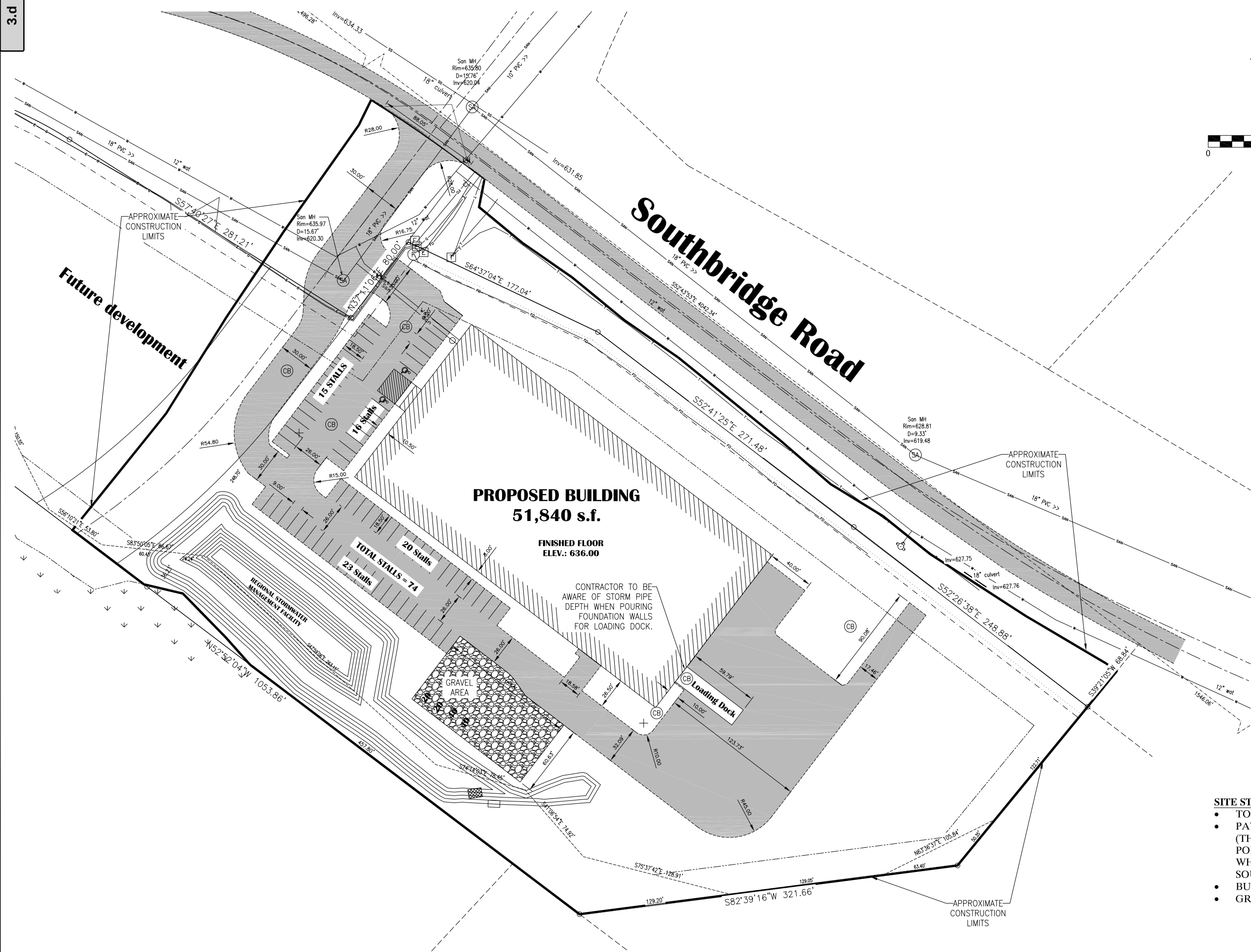
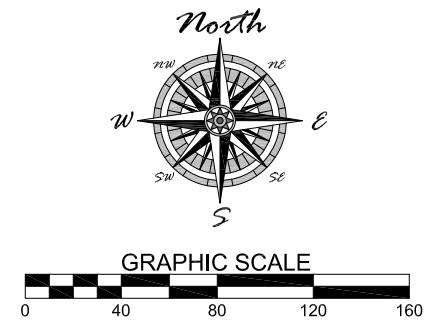
UTILITY STATEMENT

The underground utilities shown have been located from field survey information and existing as-built drawings. The surveyor further does not warrant that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities. Except shown herein, there are no visible underground utilities. No utility is shown as being lighted-way across the land or any other unrecorded easements or rights-of-way of which the surveyor has been advised. (DIGGERS HOTLINE: 1-800-242-8511)

TITLE SHEET

MARK SODERLUND

DRAWING NO.		S-	
SHEET NO.		C1.0	
PROJECT NO.	DATE	SCALE	ISSUED FOR:
DESIGNED BY:	03-07-16	N/A	DATE:
DRAWN BY:			
CHECKED BY:			
C 10005			



SITE STATISTICS:

- TOTAL SITE: 5.71 ACRES
- PAVED/GRAVEL AREA: 1.43 ACRES (25.04%)
(THIS DOES NOT INCLUDE THE PAVED PORTION OUTSIDE OF THE PROPERTY LINE WHERE THE DRIVEWAY CONNECTS TO SOUTHBIDGE RD.)
- BUILDING AREA: 1.19 ACRES (20.84%)
- GREEN/POND AREA: 3.09 ACRES (54.12%)

Mau & Associates 
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
400 Security Boulevard * Greer
Phone: 920-434-9670

UTILITY STATEMENT

The underground utilities shown have been located from field survey information and existing as-built drawings. The surveyor further does not warrant that the underground utilities shown in the exact location indicated although he does certify that they are located as accurately as possible from the information available. The surveyor has not physically located the underground utilities. Except shown herein, there are no visible easements, bending or undercutting the premises or right-of-way across the land or any other underlying easements or rights. The surveyor is not responsible for the accuracy of the data furnished. (DUGGERS HOTLINE - 1-800-242-8511)

SITE LAYOUT PLAN

MARK SODERLUND

[illegible]

SCALE 1" = 40'	DATE 03-07-16	PROJECT NO. C-10905
SHEET NO. C2.0		
DRAWING NO. S-		

3.e
A
B
C
D
E
F
G

Attachment: Site Survey (4544 : American 3 Fab)

Curve Data
Radius: 353.65'
Arc Length: 382.71'
Chord Length: 364.31'
Chord Bearing: S88°40'35"E
Central Angle: 62°00'14"
Tangent Bearings: N60°19'18"E
S57°40'27"E

Closing Corner of Section
31, T23N-R20E and
Section 36, T23N-R19E
and the North line of Lot
54 Williams Grant
(find Brass Cap)

French Road

Innovation Ct

Lot 1
58 CSM 41

Southbridge Road

Outlot 1
58 CSM 41

Site Survey

All of Lot 1, Volume 43, Certified Survey Maps, Page 271, Map No. 6530, Document No. 1882893, Brown County Records, being located in part of Lot 59, Williams Grant Subdivision, City of DePere, Brown County, Wisconsin.



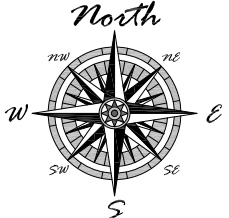
LEGAL DESCRIPTION
Lot 1, Volume 43, Certified Survey Maps, Page 271, Map No. 6530, Document No. 1882893, Brown County Records, being part of Lot 59, Williams Grant Subdivision, City of DePere, Brown County, Wisconsin.

Parcel contains 381,771 square feet / 8.76 acres more or less.
Parcel subject to easements and restrictions of record.

SURVEYOR'S CERTIFICATE
I, Steven M. Bieda, Professional Land Surveyor, PLS-2275, do hereby certify that the above described property was surveyed and mapped in accordance with AE-7 of the Wisconsin Administrative Code and is correct to the best of my knowledge and belief.

Steven M. Bieda PLS-2275
January 14, 2016

- Legend**
- 1.32" (o.d.) x 18" iron pipe with cap weighing 1.68 lbs/lin ft set
 - 1" iron pipe found
 - Brown County monument - type noted
 - () recorded as bearing / distance
 - no access
 - storm sewer line
 - sanitary sewer manhole
 - sanitary sewer line
 - hydrant
 - watermain
 - valve
 - telephone pedestal
 - electrical pedestal
 - fiber optic pedestal
 - fiber optic manhole
 - blacktop
 - wetland area
 - underground telephone line
 - underground electric line
 - underground fiber optic line



Bearings referenced to the South line of Volume 43, Certified Survey Maps, page 271, Map No. 6530, assumed to be N52°52'04"W.

Elevations are referenced to the NAVD83 Benchmark Datum.

Digger's Hotline has been called on this project.

SCALE
1"=50'

DRAWN
JMB

Packet Pg. 14

TAX PARCEL NO. WD4436-2

Site Survey

File: C:\0905 Site Survey\010516.dwg

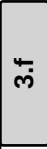
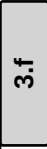
Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

First Choice Builders

PROJECT NO.
C-10905

SHEET NO.
1 of 1

DRAWING NO.
S-2580



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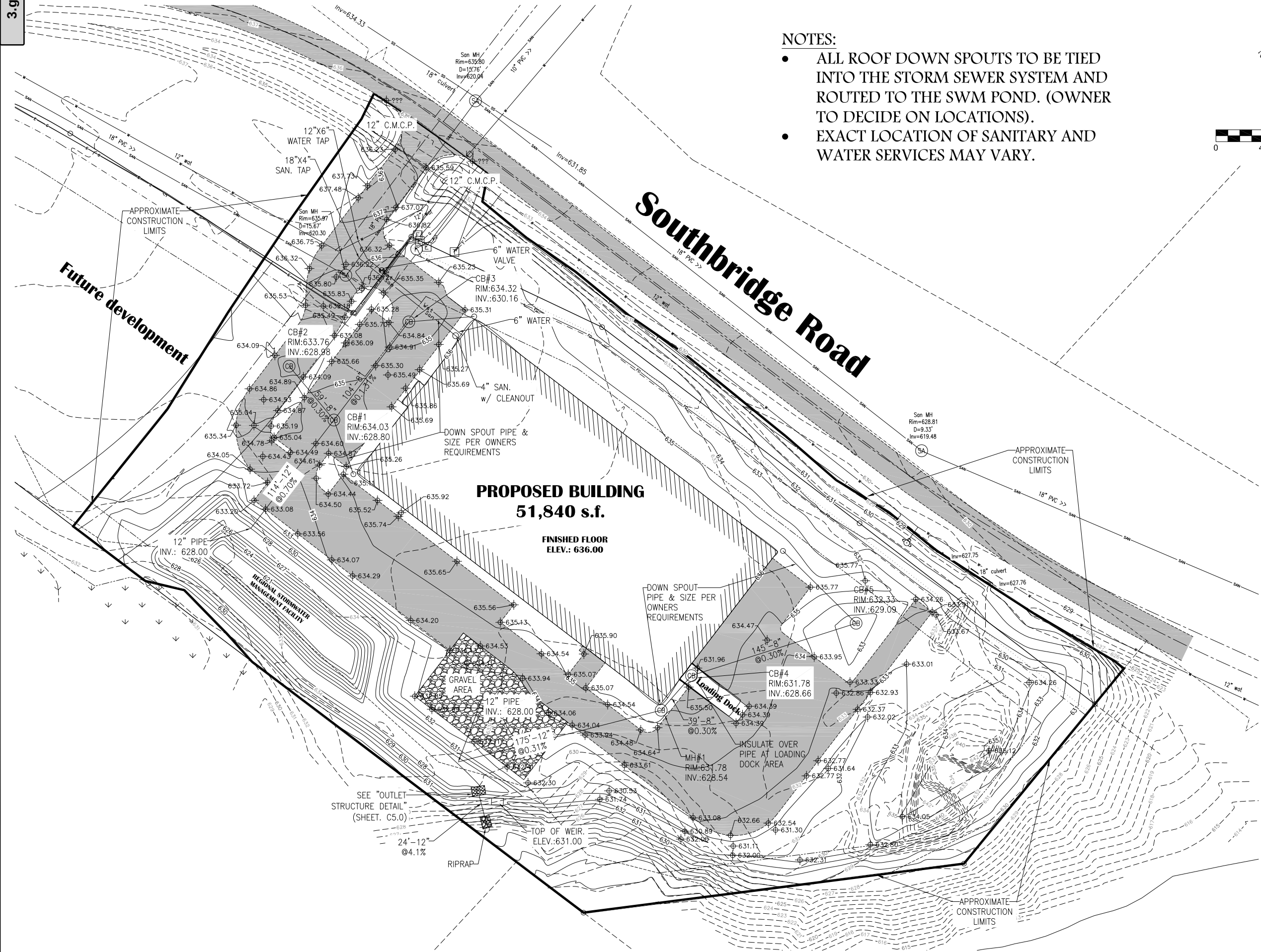
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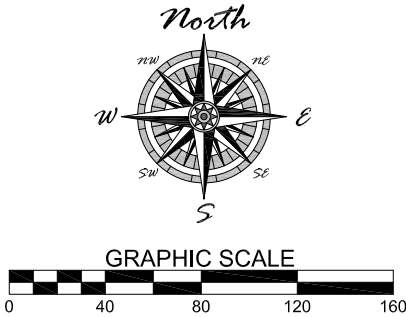
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- NOTES:
- ALL ROOF DOWN SPOUTS TO BE TIED INTO THE STORM SEWER SYSTEM AND ROUTED TO THE SWM POND. (OWNER TO DECIDE ON LOCATIONS).
 - EXACT LOCATION OF SANITARY AND WATER SERVICES MAY VARY.



UTILITY STATEMENT
The underground utilities shown have been located from field survey information and existing as-built drawings. The surveyors are not responsible for the accuracy of the information shown in the exact location indicated although they do certify that they are located as accurately as possible from the information available to them. The surveyors have no physical knowledge of the existing underground utilities and there are no visible easements, encroachments or building the premises or right-of-way across the land or any other unrecorded easements or encroachments. (DIGGERS HOTLINE: 1-800-325-8511)

GRADING & SITE UTILITY PLAN				MARK SODERLUND	
SCALE 1" = 40'	DATE 03-07-16	PROJECT NO. C-10905	ISSUED FOR:	DRAWN BY: DM	CHECKED BY:
SHEET NO. C4.0		DRAWING NO. S-			

CONSTRUCTION NOTES:

1. A copy of the Erosion Control Plan shall be kept on the construction site at all times.
2. Construction standards shall be to City of DePere Specifications and State of Wisconsin, Department of Transportation Standard Specifications for Highway and Structure Construction, Current Edition.
3. All excavated areas not receiving pavement shall be covered with a minimum of 4" of topsoil, seeded and mulched as soon as final grade has been achieved. Seeding shall be in accordance with WDNR Tech. Standard (1059).
4. Erosion control methods shall be implemented, as directed by the engineer, prior to and during construction, to control water pollution, erosion and siltation. All Erosion Control measures shall be installed and maintained in accordance with the WDNR Technical Standards.
5. Contractor is responsible for obtaining all necessary permits.
6. Contractor is responsible for contacting Diggers Hotline for the location of the utilities.
7. Site Dewatering is not anticipated, however should dewatering be necessary, it shall be performed in accordance with WDNR Technical Standard (1061).
8. The Contractor shall dispose of all waste and excess material at an approved location.

MAINTENANCE PLAN:

1. All erosion control and stormwater management practices will be checked for stability and operation every 7 days and within 24 hours of a storm producing at least 0.5 inches of rainfall. Any needed repairs will be made immediately to maintain all practices as designed. Also, any sediment that has been deposited off-site from this construction project shall be cleaned up immediately.
2. Remove sediment from behind any silt fence when it has accumulated to a depth of 12 inches or more. When the fence can no longer filter water or trap sediment, repair the silt fence to provide an effective barrier.
3. All seeded areas, including the grass lined channels, will be reseeded and mulched as necessary to maintain a vigorous, dense vegetative cover.
4. Any unprotected drainage ditches experiencing excessive erosion and channel degradation due to high runoff volumes will be regraded and covered with a biodegradable erosion control mat. Installation will follow manufacturer's recommendations.
5. Remove silt fence and temporary structures after final stabilization and 80% vegetative cover is established.
6. Sediment that has migrated off site onto adjacent properties shall be swept off pavements and removed from vegetated areas monthly.

PLANNED EROSION CONTROL PRACTICES:

1. Stone Tracking Pad (Tech. Standard 1057)

A new gravel construction entrance will be installed at all construction access points to prevent sediment from tracking onto the roadways.

2. Inlet Protection (Tech. Standard 1060)

All inlets, proposed and existing, accepting runoff from disturbed areas of the site shall have inlet protection installed prior to land disturbing activity within the area discharging to the inlet.

3. Stockpiled Topsoil/Temporary Fill Piles

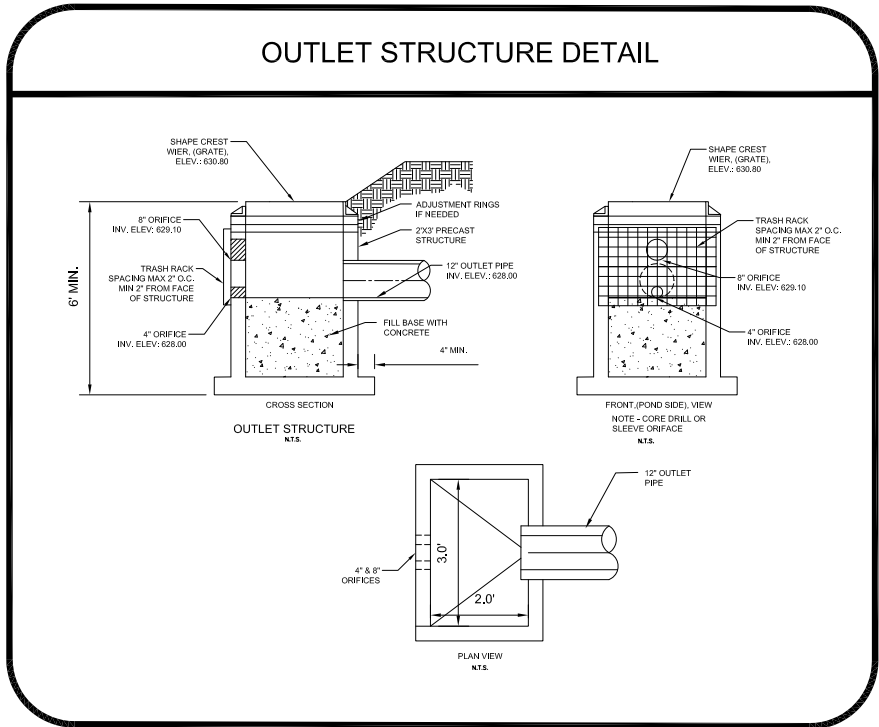
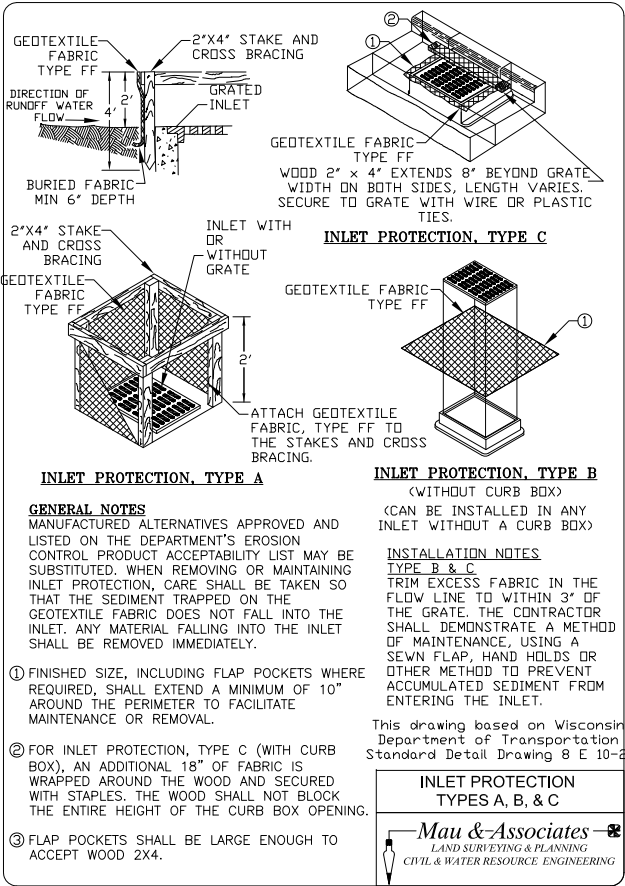
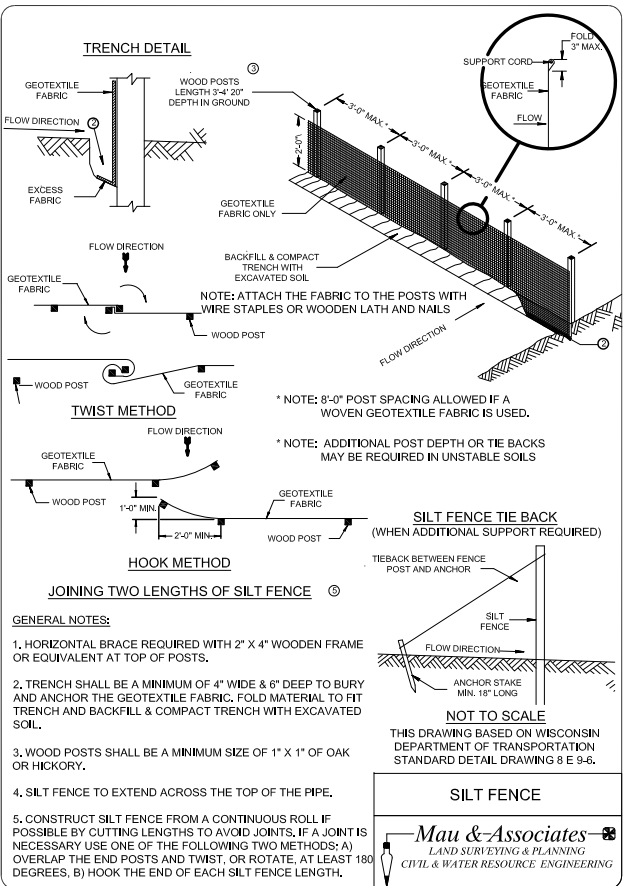
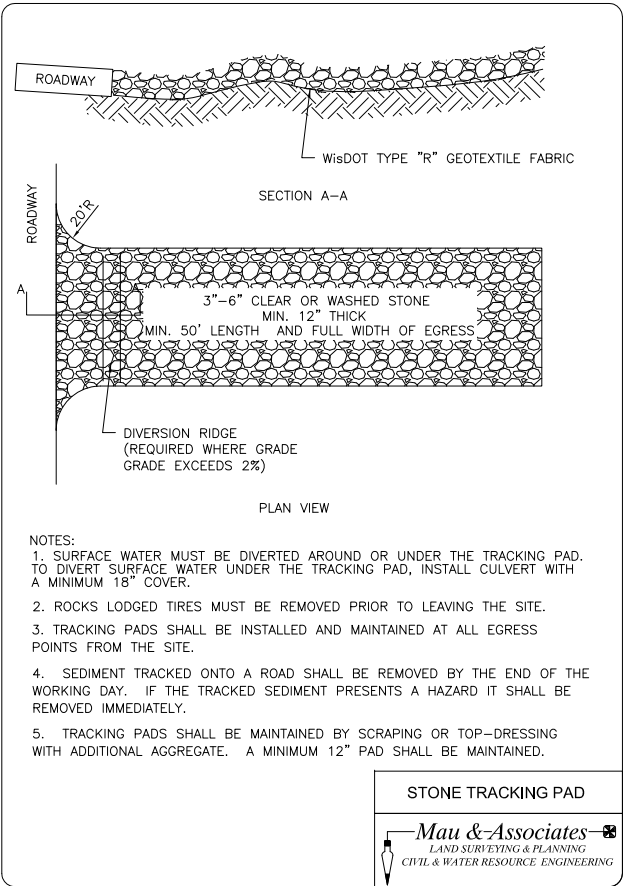
Silt fencing or straw bale fencing will be required around all stockpiled topsoil or temporary fill piles. Soil piles of more than 10 cubic yards that will be in existence for more than 7 days shall be seeded and/or mulched to provide vegetative cover and shall use silt fencing or straw bales fencing until the vegetation is established.

4. Silt Fence (Tech. Standard 1056)

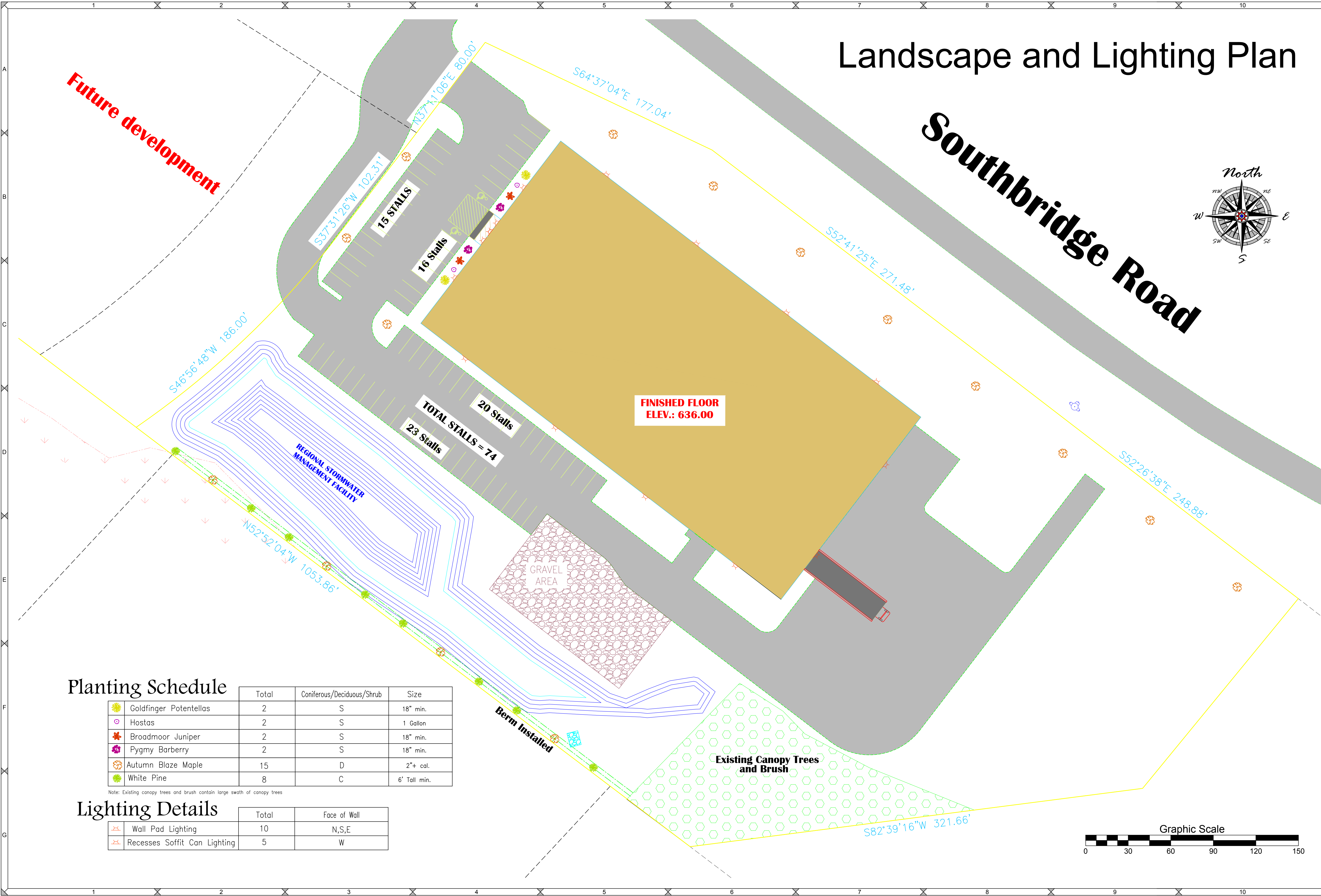
Silt fencing will be required downslope of all disturbed areas not intercepted through the proposed swale system.

5. Dust Control (Tech Standard 1068)

Dust shall be controlled in accordance with WDNR Standards as needed.



Mau & Associates LAND SURVEYING & PLANNING CIVIL & WATER RESOURCE ENGINEERING 400 Security Boulevard ~ Greendale, WI 53121 Phone: 920-434-9670				UTILITY STATEMENT The underground utilities shown have been located from field survey information and existing as-built drawings. The surveyors and engineers do not warrant the accuracy of the information in the exact location indicated although he does certify that they are located as accurately as possible from the information available. The surveyors and engineers do not physically locate or mark the location of any utilities. The user of this information is advised that the user is responsible for obtaining any and all other unrecorded easements or encumbrances. DIGGER'S HOTLINE: 1-800-325-8511			
NOTES & DETAILS				MARK SODERLUND			
DATE:	ISSUED FOR:	SCALE	DATE	PROJECT NO.	DESIGNED BY:	CHECKED BY:	
N/A		03-07-16	C-10905				
SHEET NO. C5.0				DRAWING NO. S-			



Planting Schedule

	Total	Coniferous/Deciduous/Shrub	Size
Goldfinger Potentillas	2	S	18" min.
Hostas	2	S	1 Gallon
Broadmoor Juniper	2	S	18" min.
Pygmy Barberry	2	S	18" min.
Autumn Blaze Maple	15	D	2"+ cal.
White Pine	8	C	6' Tall min.

Note: Existing canopy trees and brush contain large swath of canopy trees

Lighting Details

	Total	Face of Wall
Wall Pad Lighting	10	N,S,E
Recesses Soffit Can Lighting	5	W

SCALE
1"=30'

DRAWN BY
JEL

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

First Choice Builders

PROJECT NO.
C-10905

SHEET NO.
1 of 1

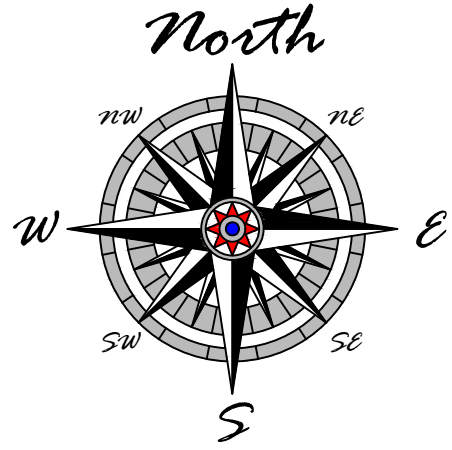
DRAWING NO.
S-2580

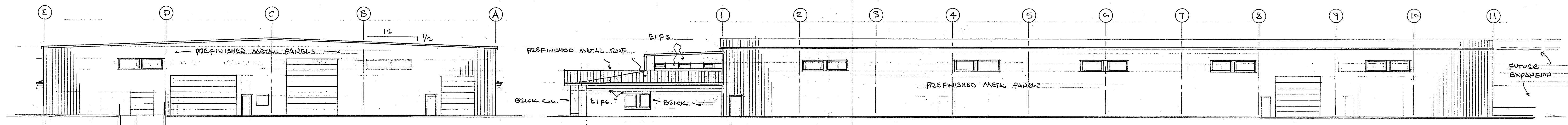
TAX PARCEL NO. WD-L436-2

File: C:\10905\Lighting\landscape030716.dwg

Lighting and Landscape

Attachment: LightingLandscape (4544 : American 3 Fab)

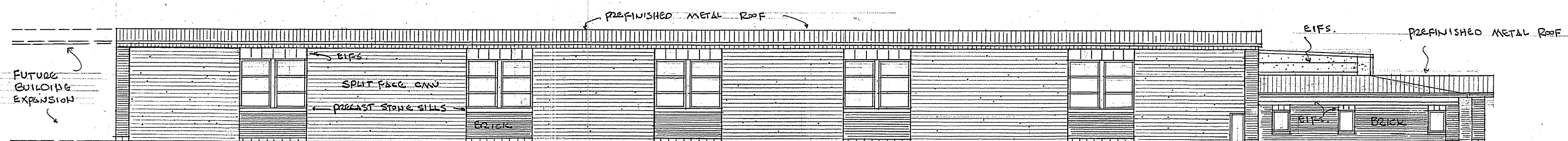




EAST ELEVATION SCALE: 1/16" = 1'-0"

NOTE: THIS WALL IS AN EXPANSION WALL.
NO MASONRY THIS WALL

SOUTH ELEVATION SCALE: 1/16" = 1'-0"



NORTH ELEVATION SCALE: 1/16" = 1'-0"



WEST ELEVATION SCALE: 1/8" = 1'-0"

NOTE:
ALTHOUGH EVERY EFFORT
HAS BEEN MADE IN PREPARING
THESE PLANS AND CHECKING
THEM FOR ACCURACY, THE
CONTRACTOR MUST CHECK ALL
DETAILS, DIMENSIONS &
CONDITIONS AND REPORT ANY
DISCREPANCIES TO THE
ARCHITECT BEFORE
CONSTRUCTION

LLOYD CARPENTER ARCHITECT LLC
2663 Maple Hills Dr., Green Bay, WI 54313
Office: (920) 434-0753 Cell: (920) 655-3829
Carp.arch@gmail.com
**PROPOSED BUILDING FOR
AMERICAN 3 FAB
DE PERE WI.**

DATE: 03/17/16
FILE:
JOB NO.

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: March 28, 2016

DEPARTMENT: Planning

FROM: Sarah Wallace

SUBJECT: Review the rezoning request for ED-1469, located along Honey Ct.
from Limited Industrial (I-2) to General Business District (B-2)
Applicant: Alliance Construction*

ATTACHMENTS:

- PC_Staff Memo_Honey Ct Rezone (PDF)
- 1104 honey ct_201603140935 (PDF)

Item 4: Review the rezoning request for ED-1469, located along Honey Ct. from Limited Industrial (I-2) to General Business District (B-2) Applicant: Alliance Construction*

The owner is requesting a rezoning to allow for a restaurant to be developed on the site. The proposed project's general site plan is attached as part of this request. This request aligns with Item #5.



Figure 1: Site Location

Description

Rezone: Limited Industrial (I-2) to General Business District (B-2)
Location: along Honey Ct.

Zoning

Comprehensive Plan: The Comprehensive Plan Future Land Use Map recommends 'Commercial' for this property.

Existing Zoning: The I-2 Limited Industrial District is designated to provide an environment suitable for industrial activities that do not create appreciable nuisances or hazards, or that requires a pleasant, hazard, and nuisance free environment.

Proposed Zoning: The purpose of the B-2 General Business District is a general business zone for retail activity and is created to provide accessibility and convenience for residents and visitors of the City of De Pere.

Adjacent Zoning: B-3 and Planned Development District to the north, R-1 to the west, R-2 and R-3 to the east, and B-2 to the south.

Land Use

Use of Adjacent Property: Uses are all consistent with the zoning.

Recommendation:

Planning and Zoning staff have reviewed the proposed rezoning. Staff would support the rezoning with the following conditions:

1. Meeting all other state and local regulations.
2. The recommendation is forwarded to the City Council for action.



CITY OF DE PERE
RECEIVED
MAR 10 2016
PLANNING DEPT.

CITY OF DE PERE
APPLICATION FOR
REZONING

Fee: \$ 290.00
Receipt #: 110568
Date: 3-10-16

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Aurora Construction	Authorized Representative Bill Bos	Title Authorized Agent	
Mailing Address 1030 ORLANDO DRIVE	City De Pere	State WI	ZIP Code 54115
Email Address Bill@AuroraBuilds.com	Phone Number (incl. area code) (920) 336-3400	Fax Number (incl. area code) (920) 336-3401	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) Marquis Properties, LLC	Contact Person Catherine Marquis	Title Owner	
Mailing Address 703 Knoll Ter.	City De Pere	State WI	ZIP Code 54115
Email Address	Phone Number (incl. area code) (920) 336-5240	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description 1104 Honey Court	Parcel Number(s): ED - 1469
---	--------------------------------

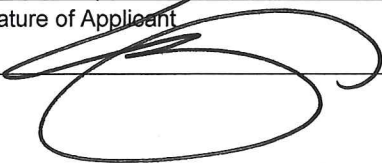
SECTION 4: Proposed Rezoning Use

Existing Zoning: I-2	I-2 LIMITED INDUSTRIAL		
Proposed Zoning: B-2	B-2 BUSINESS		
Adjacent Zoning: North I-2	Adjacent Zoning: South I-2	Adjacent Zoning: West R-1	Adjacent Zoning: East B-2
Present Use of Parcel Kimco EMPLOYMENT			
Proposed Use of Parcel CAFE			

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Bill Bos	Title Authorized Agent	Phone Number (920) 371-5141
Signature of Applicant 		Date Signed 3-4-16

Attach additional sheets if necessary.

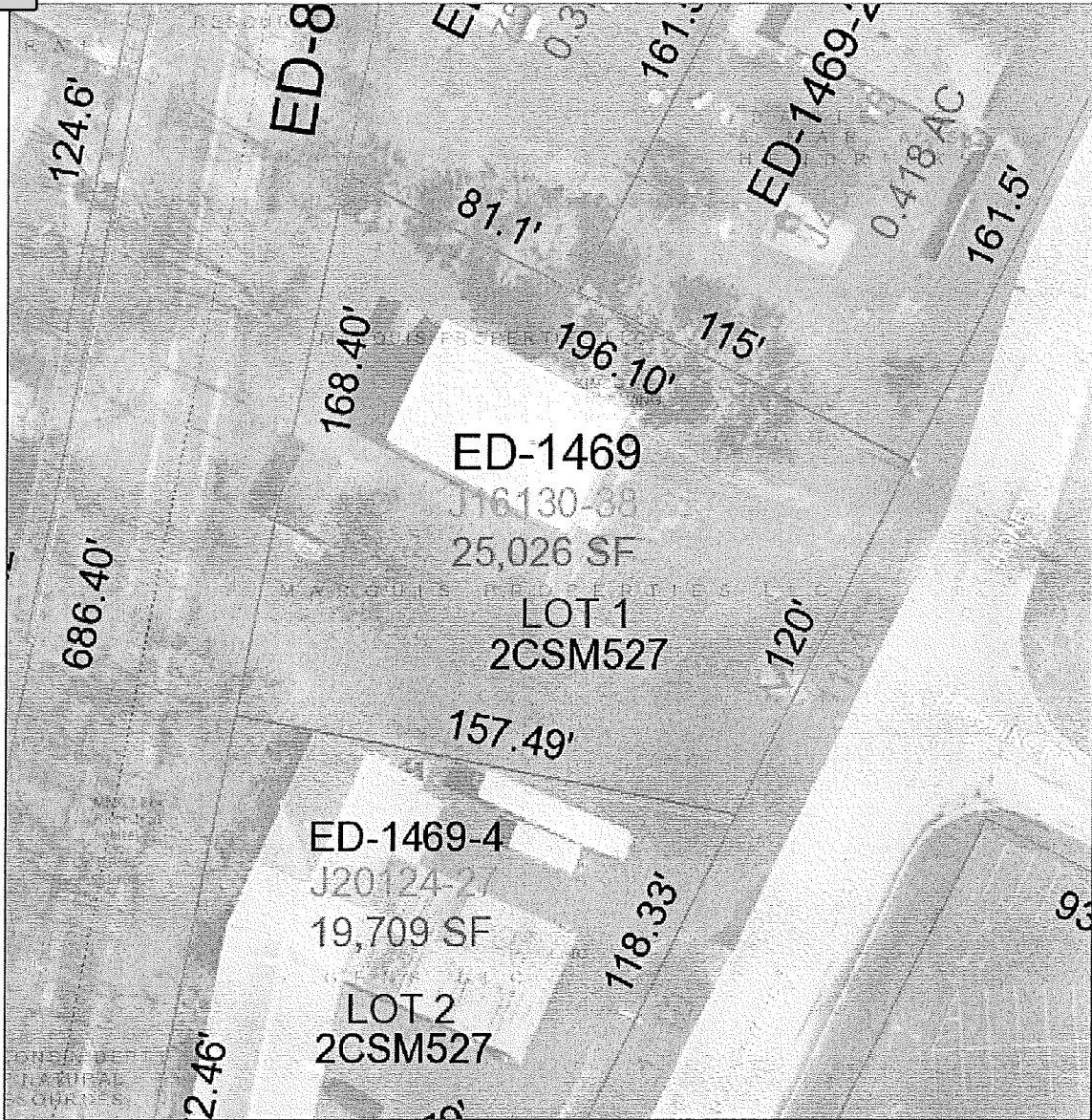
Property Tax Record
CTY OF DEPERE EAST
Brown County, Wisconsin
Parcel Number: ED-1469

Information is as current as the postings of Friday, March 4, 2016 at 1:12:54 AM. Note: Documents received prior to this date may be on hold or pending entry into the land records system.

[Return to Search Results](#)

[Print Tips](#)

Property Information Parcel Number ED-1469 Owner Name MARQUIS PROPERTIES LLC Property Address 1104 HONEY CT Municipality ED - CTY OF DEPERE EAST School District 1414 - UNIF DIST DEPERE Sanitary District None Special District(s) None		Current Unofficial Valuation <table><tr><td>Class</td><td>Acres</td><td>Land</td><td>Improvements</td><td>Total</td></tr><tr><td>B - MERCANTILE</td><td>0.585</td><td>49,000.00</td><td>131,400.00</td><td>180,400.00</td></tr><tr><td>All Classes</td><td>0.585</td><td>49,000.00</td><td>131,400.00</td><td>180,400.00</td></tr></table> Legal Acres 0.585 Values are not official until new tax bills are issued in December. Note: For a specific tax year valuation, select tax year from tax records available below. Note: Legal Acres, as listed in the Property's Legal Description, may differ slightly from the Total Acres, or the sum of the acreage for all land classifications.		Class	Acres	Land	Improvements	Total	B - MERCANTILE	0.585	49,000.00	131,400.00	180,400.00	All Classes	0.585	49,000.00	131,400.00	180,400.00
Class	Acres	Land	Improvements	Total														
B - MERCANTILE	0.585	49,000.00	131,400.00	180,400.00														
All Classes	0.585	49,000.00	131,400.00	180,400.00														
Mailing Address Information MARQUIS PROPERTIES LLC 703 KNOLL TE DE PERE WI 54115-3323		Reference Document Document #: 2394334	Available Maps View GIS Map Other Maps															
Tax Records Available Tax Year ☐ 2012 (Tax Bill Number 1547302) ☐ 2013 (Tax Bill Number 1624809) ☐ 2014 (Tax Bill Number 1734353) ☒ 2015 (Tax Bill Number 1861883) View Tax Detail Tax Detail may take a few moments to appear		Tax Legal Description 25,026 SQ FT LOT 1 OF 2 CSM 527 BNG PRT OF LOT A OF LOT 5 OF ASSESSORS SUBD OF WHITNEYS SUBD OF PC 36 ESFR Note: May not be a full legal description View Comments/History																



Map provided by the Brown County Planning & Land Services Department - Land Information Office (LIO)
A map key (legend) and other information about this map is available at: maps.gis.co.brown.wi.us
This map is intended for advisory purposes only. It is based on sources believed to be reliable, but Brown County distributes this information on an "As Is" basis. No warranties are implied. Boundaries shown on this map are general representations only and should not be used for legal documentation, boundary survey determinations, or other property boundary issues.
03/04/2016
Scale 1:480

Wisconsin Department of Financial Institutions
Strengthening Wisconsin's Financial Future

Search for:
marquis properties

Search
Advanced Search
Name Availability

Search Records

Corporate Records

Result of lookup for M073842 (at 3/4/2016 9:53 AM)

MARQUIS PROPERTIES, LLC

You can: [File an Annual Report](#) - [Request a Certificate of Status](#) - [File a Registered Agent/Office Update Form](#)

Vital Statistics

Entity ID	M073842
Registered Effective Date	11/14/2008
Period of Existence	PER
Status	Restored to Good Standing Request a Certificate of Status
Status Date	11/19/2014
Entity Type	Domestic Limited Liability Company
Annual Report Requirements	Limited Liability Companies are required to file an Annual Report under s. 183.0120, WI Statutes.

Addresses

Registered Agent Office	CATHERINE A. MARQUIS 703 KNOLL TER DE PERE , WI 54115 File a Registered Agent/Office Update Form
Principal Office	703 KNOLL TERRACE DE PERE , WI 54115 UNITED STATES OF AMERICA

Historical Information

Annual Reports	Year	Reel	Image	Filed By	Stored On
	2014	000	0000	online	database
	2012	000	0000	online	database
	2011	000	0000	online	database

[File an Annual Report](#) - [Order a Document Copy](#)

Certificates of Newly-elected Officers/Directors

None

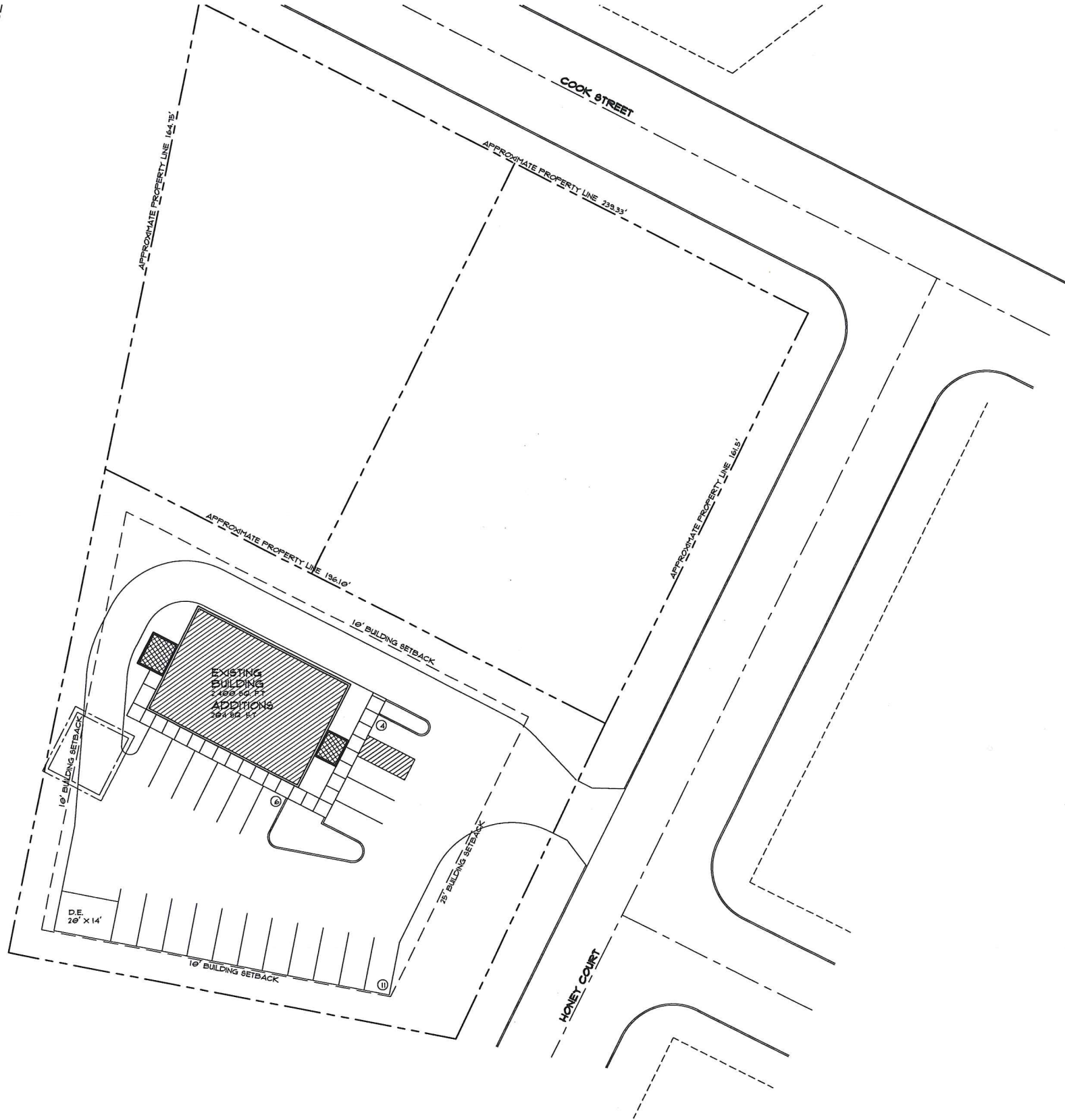
Old Names

None

Chronology	Effective Date	Transaction	Filed Date	Description
	11/14/2008	Organized	11/14/2008	E-Form
	10/01/2010	Delinquent	10/01/2010	
	10/10/2011	Notice of Administrative Dissolution	10/10/2011	
	12/06/2011	Restored to Good Standing	12/06/2011	E-Form
	10/01/2014	Delinquent	10/01/2014	
	11/19/2014	Restored to Good Standing	11/19/2014	E-Form

[Order a Document Copy](#)

CITY OF DE PERE
RECEIVED
MAR 10 2016
PLANNING DEPT.



SITE PLAN

SCALE: 1" = 20'-0"

Attachment: 1104 honey ct_201603140935 (4545 : Honey Ct Rezoning)



1030 Orlando Drive / De Pere, WI 54115
Telephone: 920-336-3400 / Fax: 920-336-3401
WWW.ALLIANCEBUILDS.COM

2015 copy of plans has been forwarded for registration with the register of copyright at the Library of Congress Washington, DC

PROJECT INFO:

PROFESSIONAL SEAL(S)

PROPOSED BUILDING:

JOB NO: 15-202
CAFE

WI.

REVISIONS

1	16OCT15	SITE LAYOUT PER CITY
2	23NOV15	OWNER REVISIONS
3	08JAN16	SITE CHANGE
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-
11	-	-
12	-	-
13	-	-
14	-	-

DATE: OCTOBER 14TH, 2015

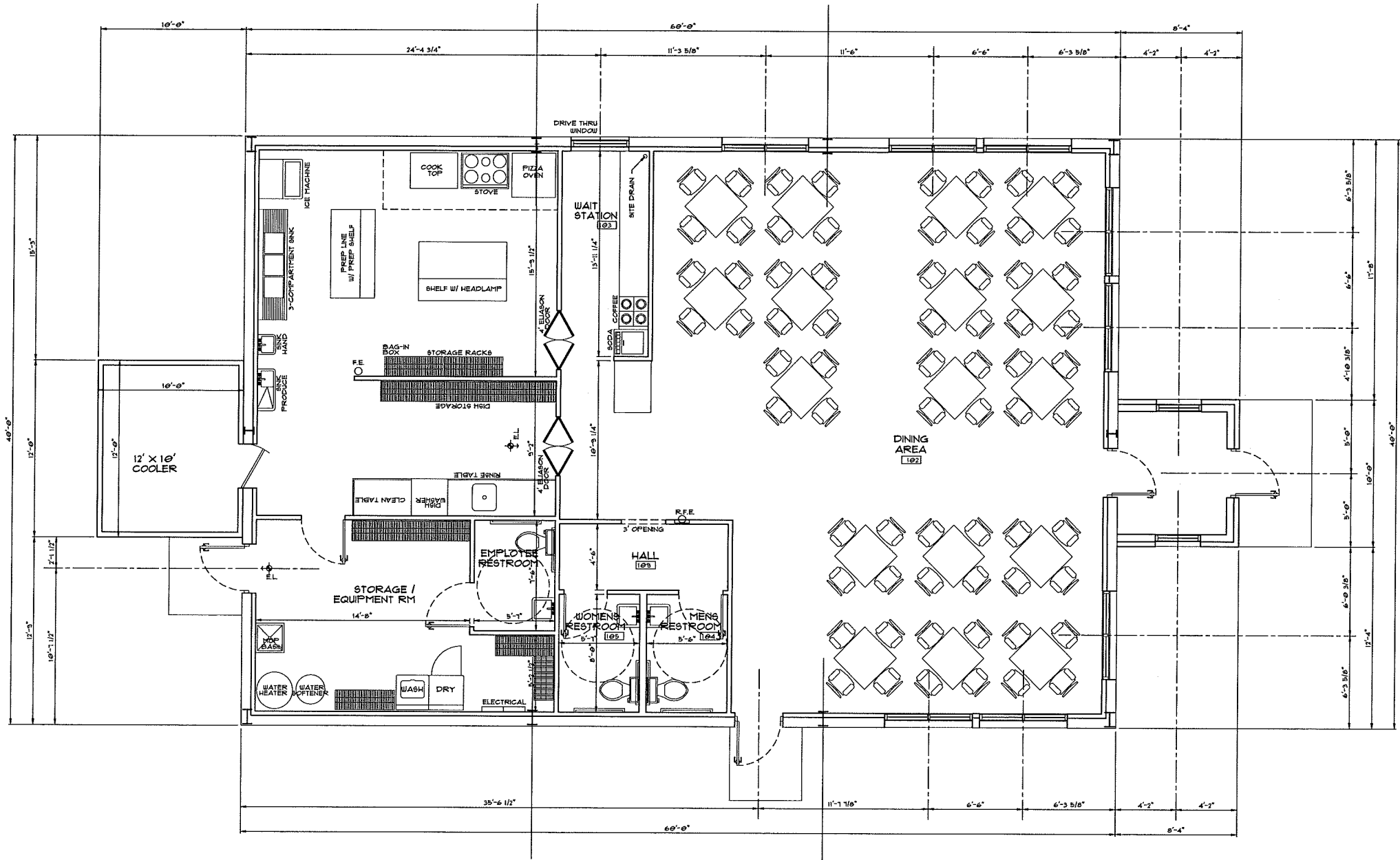
DRAWING NO.: 15-202

TITLE

SITE PLAN

SHEET

C10



BUILDING FLOOR PLAN ● SCALE: 1/4" = 1'-0"

alliance
CONSTRUCTION & DESIGN
1030 Orlando Drive / De Pere, WI 54115
Telephone: 920-336-3400 / Fax: 920-336-3401
WWW.ALLIANCEBUILDS.COM

2015 copy of plans has been forwarded for registration with the register of copyright at the Library of Congress, Washington, DC.

PROJECT INFO:

PROFESSIONAL SEAL(S)

PROPOSED BUILDING:

JOB NO: 15-202
CAFE

- WL.

REVISIONS

1	16OCT15	SITE LAYOUT PER CITY
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5	-	-
6	-	-
7	-	-
8	-	-
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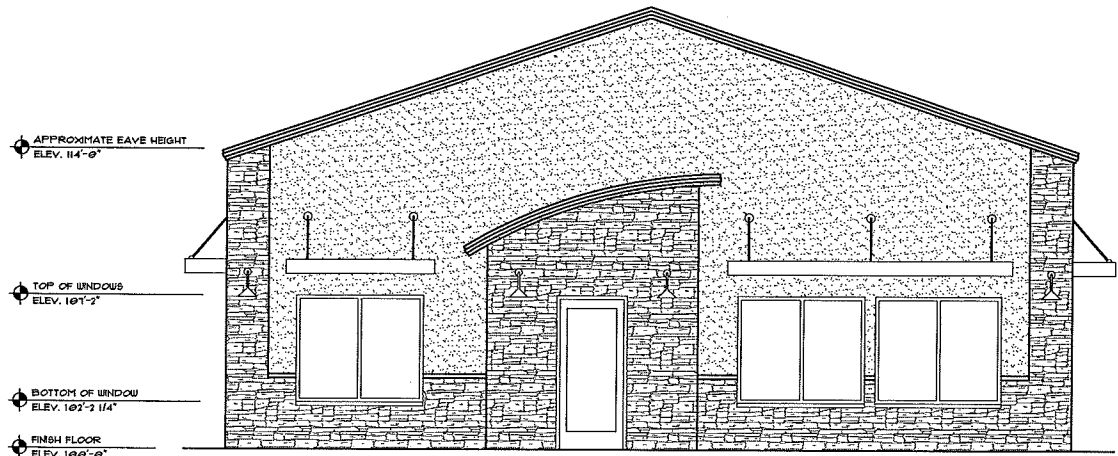
DATE: OCTOBER 14TH, 2015

DRAWING NO.: 15-202

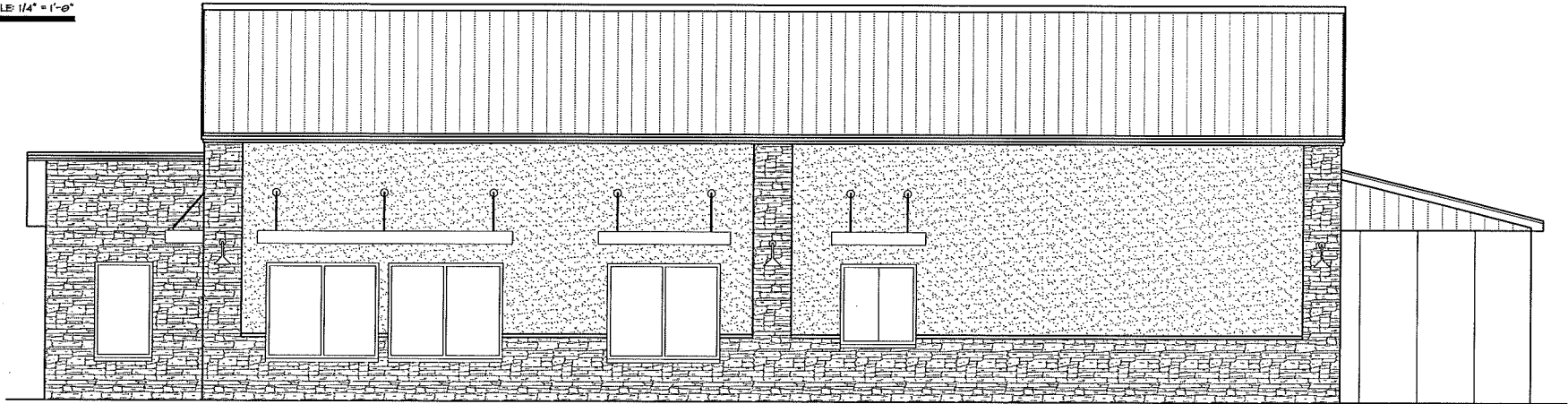
TITLE
BUILDING
FLOOR PLAN

SHEET

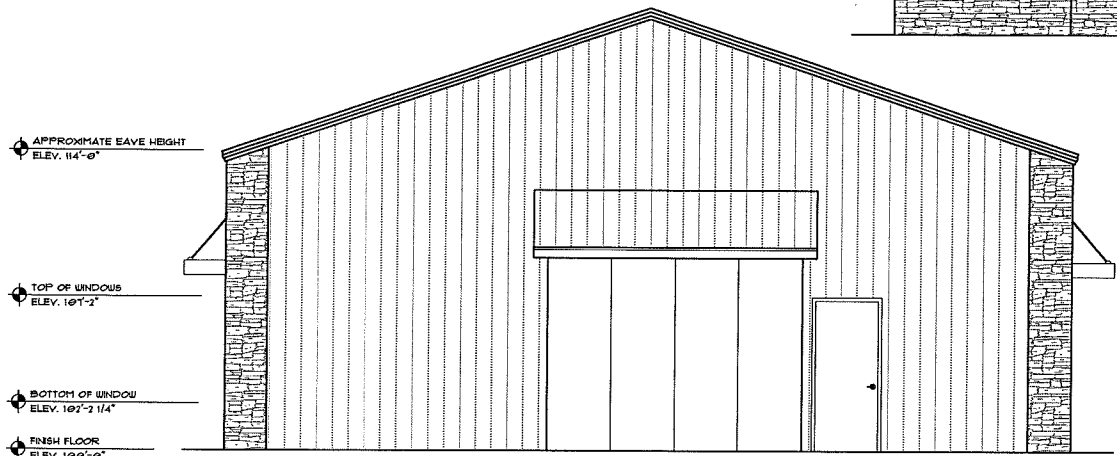
A10



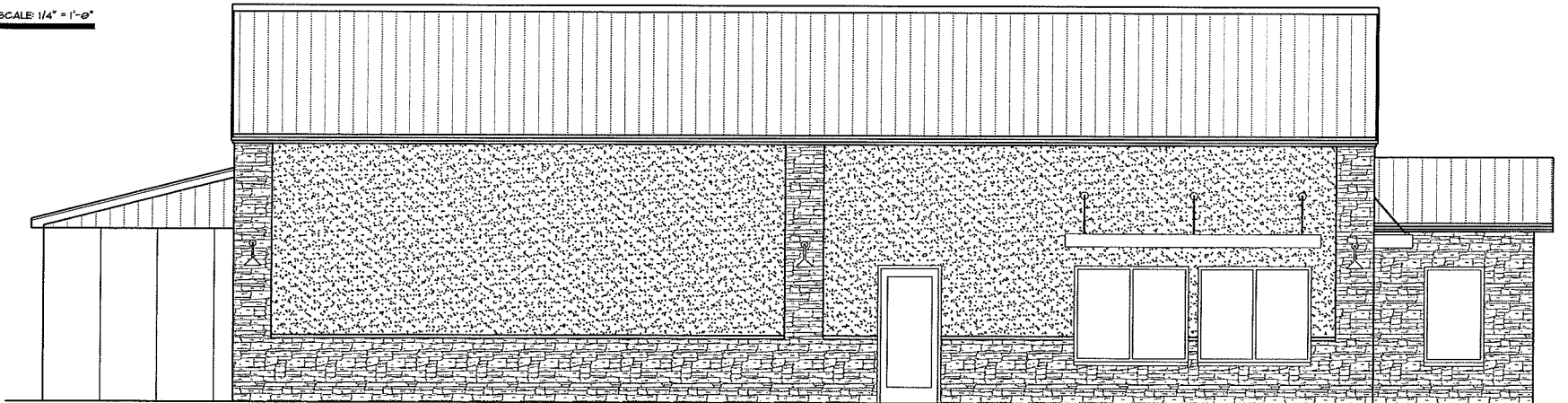
EAST BUILDING ELEVATIONS • SCALE: 1/4" = 1'-0"



NORTH BUILDING ELEVATIONS • SCALE: 1/4" = 1'-0"



WEST BUILDING ELEVATIONS • SCALE: 1/4" = 1'-0"



SOUTH BUILDING ELEVATIONS • SCALE: 1/4" = 1'-0"



PROJECT INFO:

PROFESSIONAL SEAL(S)

PROPOSED BUILDING:

JOB NO: 15-202
CAFE

- WI.

REVISIONS

1	16OCT15	SITE LAYOUT PER CITY
2	23NOV15	OWNER REVISIONS
3	08JAN16	SITE CHANGE
4	-	-
5	-	-
6	-	-
7	-	-
8	-	-
9	-	-
10	-	-
11	-	-
12	-	-
13	-	-
14	-	-

DATE: OCTOBER 14TH, 2015

DRAWING NO.: 15-202

TITLE
BUILDING
ELEVATIONS

SHEET

A20



City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: March 28, 2016

DEPARTMENT: Planning

FROM: Sarah Wallace

SUBJECT: Review the rezoning request for ED-1469-1, ED-1469-2, located along Cook Street and ED-1469-4 located along Honey Ct. from Limited Industrial (I-2) to General Business District (B-2) Applicant: City of De Pere*

ATTACHMENTS:

- PC_Staff Memo_Cook-Honey Ct Rezone (PDF)
- Rezoning_Notification_Letter (DOCX)

Item 5: Review the rezoning request for ED-1469-1, ED-1469-2, located along Cook Street and ED-1469-4 located along Honey Ct. from Limited Industrial (I-2) to General Business District (B-2) Applicant: City of De Pere

The City of De Pere is requesting to rezone parcels ED-1469-1, ED-1469-2, and ED-1469-4 to align with the rezoning request of Parcel ED-1469, and to be consistent with the City Comprehensive Plan. The current identified properties are zoned Limited Industrial development and the uses for the site are considered allowed non-conforming uses. The City's request for rezoning is to bring this area and the current uses, to a conforming zoning district.



Figure 1: Site Location

Comments from Property Owners:

The property owner of 631 and 621 Cook St had contacted our office in regarding to staff reaching to discuss the proposed/suggested rezoning of the property. He and his relator are planning on attending the meeting, but generally he was in favor of the rezone. Both properties are actively being marketed for sale.

1010 Honey Ct. – no comments at the time of the memo

Description

Rezone: Limited Industrial (I-2) to General Business District (B-2)
Location: along Honey Ct.

Zoning

Existing Zoning: The I-2 Limited Industrial District is designated to provide an environment suitable for industrial activities that to not create appreciable nuisances or hazards, or that requires a pleasant, hazard, and nuisance free environment.

Proposed Zoning: The purpose of the B-2 General Business District is a general business zone for retail activity and is created to provide accessibility and convenience for residents and visitors of the City of De Pere.

Adjacent Zoning: B-3 and Planned Development District to the north, R-1 to the west, R-2 and R-3 to the east, and B-2 to the east.

Land Use

Use of Adjacent Property: Uses are all consistent with the zoning.

Recommendation:

Planning and Zoning staff request the proposed rezoning. Staff recommends the rezoning with the following conditions:

1. Meeting all other state and local regulations.
2. The recommendation is forwarded to the City Council for action.

CITY OF DE PERE

335 South Broadway
De Pere, WI 54115
Fax No.: 920/339-4049
Web: <http://www.de-pere.org>



March 17, 2016

To: Owner

From: Sarah Wallace, Associate Planner

RE: Consideration to rezone property

The City has received a request from one of your adjoining property owners to rezone their property from I-2 (Limited Industrial) zoning to B-2 (General Business) district. As the City reviewed this request along with the City's adopted Comprehensive Plan our recommendation is to seek to rezone the four (4) Industrial properties at 621 Cook Street; 631 Cook Street; 1104 Honey Ct; and 1010 Honey Ct.

As we further reviewed the current uses for 1104 and 1010 Honey Ct, we found that these are currently Existing nonconforming uses, and with the rezoning to B-2, would be conforming use.

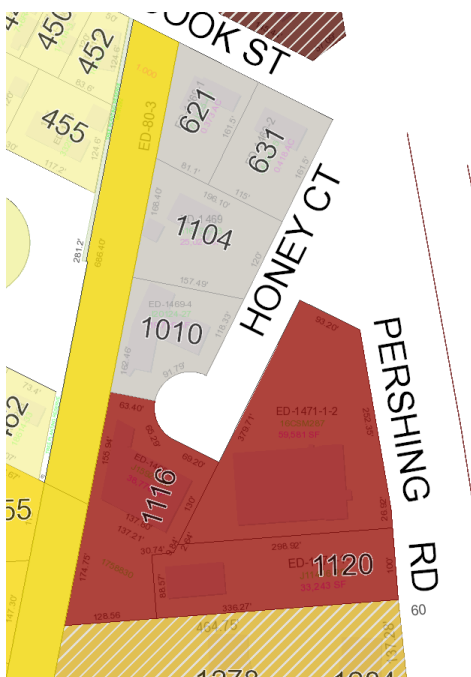


Figure 1

The City is anticipating adding this as an agenda item to its **March 28, 2016 7:00pm** Plan

Attachment: Rezoning_Notification_Letter (4546 : Cook_Honey Rezoning)

Commission Meeting for discussion and possible recommendation to the City Council.

Please contact Sarah Wallace or Kim Flom (Director) for any additional questions or concerns you may have about this letter, and the possible rezoning.

You can reach either Sarah or Kim at 920-339-4043 or swallace@mail.de-pere.org or kflom@mail.de-pere.org.

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: March 28, 2016

DEPARTMENT: Planning

FROM: Sarah Wallace

SUBJECT: Review request for sign variance for two wall signs to be placed on 1551 Lawrence Dr. for Life Church. Agent: Jones Sign.

ATTACHMENTS:

- PC_Staff Memo_Life Church Sign (PDF)
- life church sign_201603151504 (PDF)
- life chrurch sign_201603211227 (PDF)
- Sec._98_15.____Signs_permitted_by_zoning_districts. (DOCX)
- Signs Permitted in Commercial Districts (DOCX)

Item 6: Review request for sign variance for two wall signs to be placed on 1551 Lawrence Dr. for Life Church. Agent: Jones Sign.

Life Church and Jones Sign have been denied their request for two (2) wall signs on the west and south elevations and for an additional 150sf of wall signage. This review and request is for a sign variance to allow for these two (2) wall signs and an additional 150sf of wall signage. *Section 98-4(i)(1) Sign permit variance* and *Section 98-15 (b)(1)* states that in the event of a sign permit denial due to the requirements in this section contained causing undue or unnecessary hardship on any person, firm, or corporation, a variance from requirements may be applied for to the Plan Commission. See attached City Code for additional information on the requirements.

The City code allows for 1 sf per lineal foot of store frontage or 100 sf whichever is less. The request before you today, is asking for: (1) the west elevation signage as 148.84 sq feet. (2) the south elevation also identified as an additional 148.84 sf.

The original Sportsman's Warehouse had two wall signs located on the west and south elevations. Since that approval, the City updated its sign ordinance in 2014 and thus the requirements associated with this request are different from the original business.

This property also has access to the pole sign located at the entrance off of Lawrence Dr. The existing sign copy will be replaced to identify Life Church.



Figure1: Site

Analysis

The applicant's request does not meet the "undue or unnecessary hardship" standards for variance justification. The property has access to two (2) different signs, one wall mounted sign, above the front entrance, as allowed in the Sign Code and with access to the top of the joint Pole sign located along Lawrence

Dr. The pole signs were part of the approval of the original Planned Development District. With the access to these signs, as allowed by code, a case cannot be made that the “hardship” factor can be met. There are no unique topographical circumstances that would cause an obstruction of the view of the allowed signage. Walmart was previously denied a height sign variance request. Denial of this request is consistent with prior actions taken.

Recommendation

City staff has reviewed the requests and believe that they do not meet the undue or unnecessary hardship standards. Staff recommends denial of this sign variance for a second wall sign and for the additional square footage.

	CITY OF DE PERE APPLICATION FOR VARIANCE	Fee: \$ 160.00 Receipt #: Date:
---	--	--

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information			
Applicant Name (Ind., Org. or Entity) Jones Sign Co., Inc.		Authorized Representative Nick Lison	
Title Sales			
Mailing Address 1711 Scheuring Road		City De Pere	State WI
ZIP Code 54115			
Email Address nlison@jonessign.com		Phone Number (incl. area code) 920-425-9856	
Fax Number (incl. area code)			
SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)			
Name (Ind. Org. or Entity) LIFE CHURCH GREEN BAY INC		Contact Person <i>Ken Merrell</i>	
Title			
Mailing Address 1250 MID VALLEY DR		City De Pere	State WI
ZIP Code 54115			
Email Address		Phone Number (incl. area code) <i>471-8103</i>	
Fax Number (incl. area code)			
SECTION 3: Project or Site Location			
Project Address: 1551 Lawrence Drive		Zoned: HWY41-DISTA	
Legal Description: LOT 1 OF 47 CSM 292 BNG PRT OF SE1/4 SW1/4 & BNG PRT OF SW1/4SV		Parcel Number(s): WD-D0020-3	
SECTION 4: Variance Information			
Section of De Pere Code which creates need for Variance:		Sec. 98-15. Signs permitted by zoning districts. (b) Signs permitted in commercial districts	
Ordinance Provision:		1 sign per building street frontage. 1 sq. ft. per linear foot of store frontage or 100 sq. ft., whichever is less.	
Project Description:		Installation of two (2) new "LIFE CHURCH" channel letter wall signs each at 148.84 Sq. Ft. One for the front elevation facing Lawrence Dr and one for the side elevation facing Scheuring Road	
Variance Requested:		1. To allow for 2 wall signs 2. To allow for an additional 150 Sq. Ft of wall signage for property	
Describe the exceptional circumstances or conditions that apply to your property and not to surrounding properties:		Life Church building sits back from Lawrence Dr so does not have building street frontage on that elevation because of the site layout. That is where the main public entrance is located so we would like better visiblty to the public by having a wall sign above the main entrance and then also the wall sign on the side elevation facing Scheuring Rd for better traffic visiblty from that view. The wall signs for Life Church are keeping with what was existing on the building from the previous business that was there. The proposed sizes of the wall signs are in proportion to the building elevation sizes.	
Describe the hardship(s) that would result if the variance is not granted:		Life Church will not have their own freestanding sign for the location but will be part of an existing multi-tenant sign for that area so by being allowed the two (2) wall signs at the proposed square footage will allow for ample visibility to the surrounding public.	
Describe how the variance would not have adverse effects on surrounding properties:		Life Church is going into a location which is located by a highly traveled area so the proposed signs for the location would not have any adverse effects on the surrounding properties but rather well-suited because of the surrounding businesses in the area. The wall signage will be in good taste and be consistent on the building elevations and will not look overbearing or take away from any of the surrounding businesses.	

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Variance Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print)	Title	Phone Number
Nick Nison	Sales Rep	360-2774
Signature of Applicant	Date Signed	
[Signature]	2/29/16	

Maps and scaled drawings which help explain the request are strongly encouraged. Attach additional sheets if necessary.

CL.1 FACE LIT CHANNEL LETTERS (Qty 2)

SQUARE FOOTAGE: LIFE: 49.21 / CHURCH: 99.63 / TOTAL: 148.84

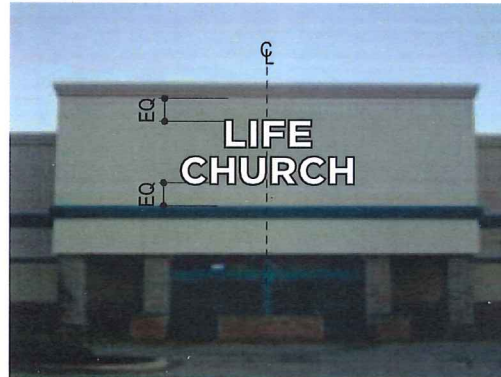
FIELD SURVEY REQUIRED
COLOR MATCH OF BUILDING REQUIRED



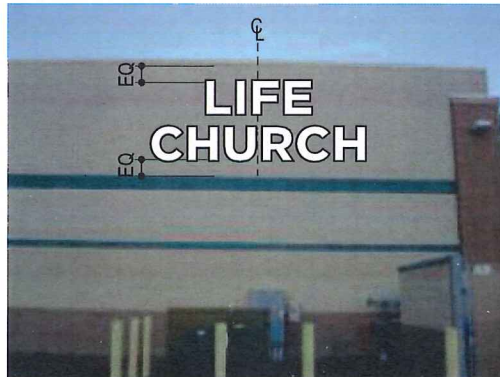
EXISTING STOREFRONT ELEVATION



EXISTING SIDE ELEVATION



PROPOSED STOREFRONT ELEVATION



PROPOSED SIDE ELEVATION

SPECIFICATIONS

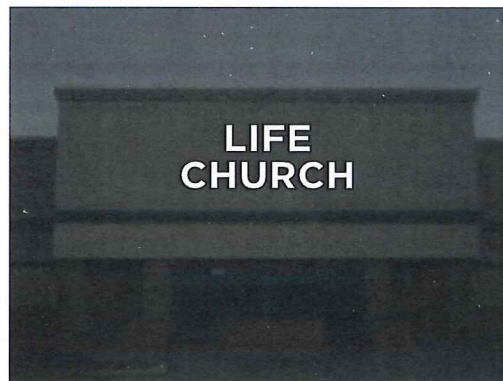
1. SEE "LETTER DETAIL" FOR SPECIFICATIONS
2. 120V / 20 AMP

NOTES

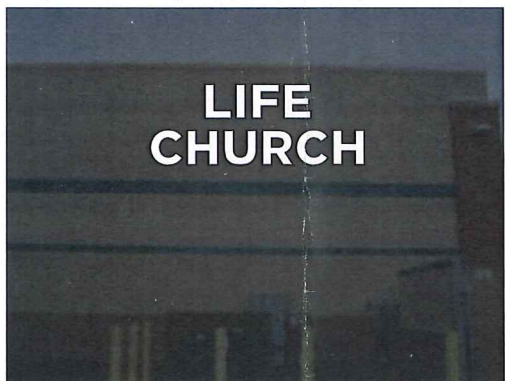
- REMOVE AND SCRAP EXISTING LETTERSET(S)
- PATCH AND PAINT HOLES LEFT FROM EXISTING SIGN

FONTS

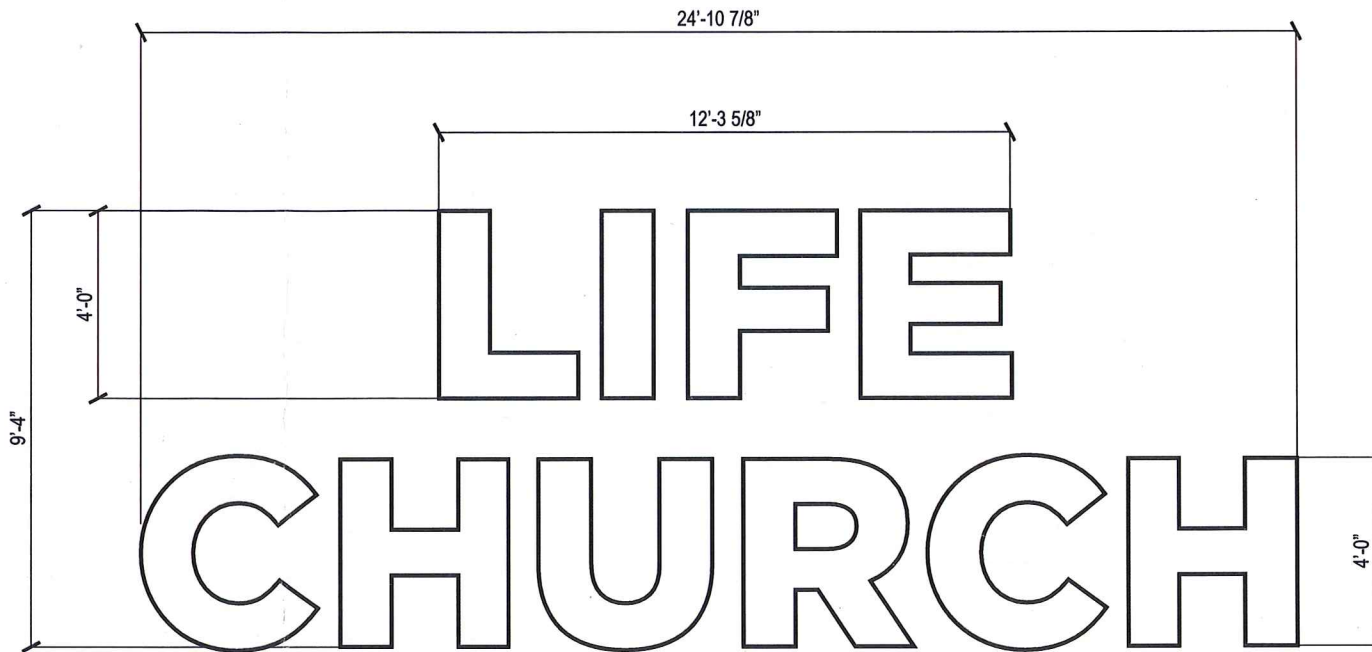
GOTHAM BLACK



NIGHT VIEW



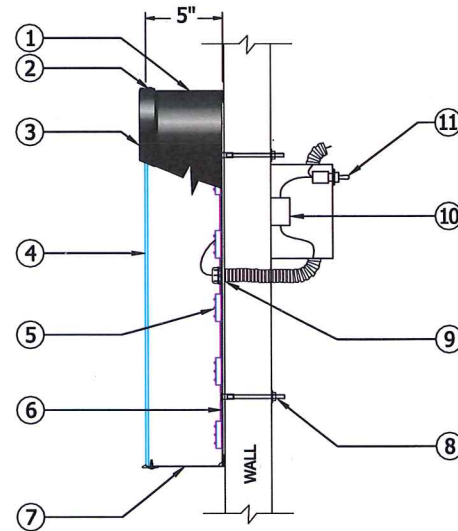
NIGHT VIEW



FRONT VIEW
SCALE: 1/4"=1'-0"



SIDE VIEW
SCALE: 1/4"=1'-0"



REMOTE WIRED FACE LIT CHANNEL LETTER DETAIL
SCALE: NTS

- ① .040" x 5" PRE-FINISHED BLACK/WHITE ALUMINUM COIL (WHITE INSIDE)
- ② #8 - 1/2" PAN HEAD SCREWS
- ③ 1" PRE-FINISHED BLACK JEWELITE CHEMICALLY BONDED TO FACES
- ④ 3/16" #7328 WHITE ACRYLIC
- ⑤ WHITE LEDs / SECURED TO BACK OF LETTER
- ⑥ .063" PRE-FINISHED BLK/WHT ALUMINUM BACK
- ⑦ 1/4" DIA. WEEP HOLES
- ⑧ MOUNTING HARDWARE (TBD BY WALL CONSTRUCTION)
- ⑨ 7/8" ELECTRICAL HOLE / 3/4" COUPLER w/ FLEXIBLE CONDUIT TO POWER SUPPLY BOX
- ⑩ LED POWER SUPPLY INSIDE POWER SUPPLY BOX
- ⑪ TOGGLE SWITCH MOUNTED TO POWER SUPPLY BOX

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JOB #: 214108-R4
DATE: 01.15.2016
DESIGNER: J Sotka
SALES REP: N Lison
PROJ MGR: —

REV.	DATE	BY	DESCRIPTION
1	02.11.16	MD	INCREASE LETTERSET TO 48", REVERSE COLORS / REVERSE PYLON COLORS / REMOVE LOGO
2	02.15.16	RS	INCREASE TENANT PANEL HEIGHT TO 48"
3	00.00.00	XX	XXXX
4	02.19.16	ER	Box sq ft by word - city to file variance
5	00.00.00	XX	XXXX
6	00.00.00	XX	XXXX
7	00.00.00	XX	XXXX
8	00.00.00	XX	XXXX
9	00.00.00	XX	XXXX
10	00.00.00	XX	XXXX

CLIENT APPROVAL	DATE
LANDLORD APPROVAL	DATE
QC	QC APPROVED By Rhoda Schley at 2:55 pm, Feb 19, 2016

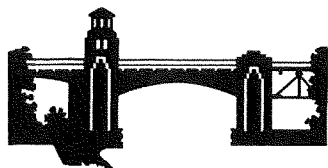


LIFE CHURCH
1551 Lawrence Drive
De Pere, WI 54115

DESIGN PHASE: CONCEPTUAL

SHEET NUMBER

1.0



Building Inspection Department

City of De Pere

335 S. Broadway, De Pere, WI 54115

Phone: (920) 339-4053 FAX: (920) 330-9491

E-Mail: dhongisto@mail.de-pere.org

SIGN PERMIT APPLICATION

Fee: _____

Date: _____

Property Owner: LIFE CHURCH

Address: 1551 LAURENCE DR

DE PERE WI 54115

920-632-4343 KEN@THEMERRELLS.COM

Phone _____ E-Mail _____

920-471-8163*

Setbacks:

Front: _____

Right: _____

Left: _____

Business Owner/Lessee: LIFE CHURCH

Address: 1551 LAURENCE DR

DE PERE WI 54115

Phone _____ E-Mail _____

920-632-4343 KEN@THEMERRELLS.COM

Type of Sign:

- ☒ Erect
- ☐ Remodel
- ☐ Repair
- ☐ Relocate
- ☐ Enlarge
- ☐ Other:

Contractor: JONES SIGN

Address: 1711 SCHEURING RD

DE PERE, WI 54115

Phone _____ E-Mail _____

800-536-7446

Illumination:

- ☒ Internally Illuminated
- ☐ Externally Illuminated
- ☐ Non-illuminated
- ☐ Halo lit/back lit

Address of Sign Location:

1551 LAURENCE DR. DE PERE

Sign Copy:

LIFE CHURCH

Location of Sign:

- ☒ Fascia/Wall
- ☐ Ground
- ☐ Projecting
- ☐ Off-Premise
- ☐ Temporary
- ☐ Banner
- ☐ Downtown Sign District
- ☐ Right-of-Way Encroachment
- ☐ Awning

Square Footage of Sign: 232

Height Above Grade: _____

Height of Sign: _____

Width of Sign: 24' 10 7/8"

Number of Faces: 2

Sign Voltage: 120

Amps: _____

U.L. #: _____

(required)

Sign Manufacturer & Address:

JONES SIGN

1711 SCHEURING RD

DE PERE, WI 54115

Insurance Company Name & Address:

Electrician Name & Address:

TBO

ESTIMATED COST OF SIGN:

\$12,500.00

Approval Conditions:

Signage does not meet the requirements in Chapter 98-4(i)(1) and Table 98-15(b)(1). Application is denied.

Daniel R. Hongisto
Chief Building Inspector
2-29-16

Permit Application Conditions:

The undersigned hereby applies for a permit to do work according to the above description and the plans and specifications submitted herewith. The undersigned agrees that such work will be done as described and that they will comply with all applicable statutes of the State of Wisconsin and Ordinances of the City of De Pere, Wisconsin.

Signs Encroaching on Right-of-Way:

1. Property owner/lessee agrees to save and hold the City of De Pere harmless from any and all injury that may occur to any party as the result of the requested sign encroachment upon the right-of-way referenced hereunder. This provision is intended to indemnify and hold harmless the City of De Pere to the fullest extent permitted by law and includes the payment of reasonable attorney fees for the defense of any claims brought which can fairly be said to be under the intent and purpose of this hold harmless agreement. To secure such hold harmless agreement, property owner/lessee shall maintain a general liability insurance policy on its business operations in an amount of not less than One Million Dollars per occurrence and has produced a Certificate of Insurance that the City is named as an additional insured and is entitled to coverage thereunder under the terms and conditions of this permit.
2. If the City right-of-way is required for another use deemed by the City of De Pere to be inconsistent with continued encroachment under this permit or if the City determines that the sign installation creates conditions adverse to the best interests of right-of-way users, the general public, or presents a threat to street safety, then property owner/lessee, upon notification by the Building Inspector, shall promptly remove the encroaching sign from the right-of-way upon ten (10) day written notice to property owner/lessee. The sign shall be removed by property owner/lessee at property owner/lessee's sole cost and in accordance with all rules and regulations then applicable.
3. The authority to encroach upon right-of-way shall not transfer to any new business or property owner. A new permit is required.

KZM 2-16-16
Signature of Property Owner Date

Signature of Lessee Date

Contractor:

De Pere License Number: _____

Application Date: _____

Building Inspector:

Approval Date: _____

Sec. 98-4. - Licensing; indemnification; insurance; permits; applications; fees; issuance and denial; appeals.

(i) Sign permit variance.

- (1) In the event of a sign permit denial due to the requirements in this section contained causing undue or unnecessary hardship on any person, firm or corporation, a variance from requirements may be applied for to the plan commission under subsection 14-27(6) of this code, accompanied with such fee as determined by resolution of the common council. Such fee may include late fees or fees for expedited process. The plan commission shall take action on any variance request within 60 days of receipt of the variance application or the same shall be deemed denied. The sign inspector shall comply with and enforce the plan commission's decision.
- (2) The sign inspector's failure to either formally grant or deny a properly completed sign permit application within seven days of the date of application meeting the requirements of this chapter shall be cause for appeal to the plan commission.

(Ord. No. 14-04, § 1, 3-4-2014)

Sec. 98-15. - Signs permitted by zoning districts.

- (b) Signs permitted in commercial districts. The following signs types shall be permitted in the General Business (B-2), Motor Vehicle Dependent Business (B-3), Highway 41 Business A (HWY 41-A), and Highway 41 Business B (HWY 41-B) districts:
 - (1) All exempt signs as listed in section 98-9. Sign authorization is required for all other signs.
 - (2) Temporary signs as specified in section 98-13.

Signs Permitted in Commercial Districts								
	Awning/Canopy/Marquee	Business Center	Electronic Message Center	Monument	Pole	Projecting	Wall	Window
Districts								
B-2	Yes	Yes	Yes	Yes	Yes	Yes	Yes	Yes
B-3								
HWY 41-A								
HWY 41-B								
Standards								
Restrictions	See Section 98-14(a)	See Section 98-14(b)	See Section 98-14(c)	See Section 98-14(d)	See Section 98-14(e)	See Section 98-14(f)	See Section 98-14(g)	See Section 98-14(h)
Max # of Signs	1 sign per building street frontage. Multi-tenant building allowed 1 sign per business.	1 per business center.	1 sign	1 per street frontage.	1 sign	1 sign per building street frontage. Multi-tenant building allowed 1 sign	1 sign per building street frontage. Multi-tenant building allowed 1 sign per business.	1 sign per building street frontage. Multi-tenant building allowed 1 sign per business.

						per business.		
Max Area	1 sq. ft. per linear foot of store frontage or 200 sq. ft., whichever is less.	200 sq. ft. under 10 stores/320 sq. ft. over 10 stores.**	Shall not exceed 50% of the allowable area of a ground or wall sign.	1 sq. ft. per linear foot of store frontage or 50 sq. ft., whichever is less.	100 sq. ft., 150 HWY 41-A, B	8 sq. ft	1 sq. ft. per linear foot of store frontage or 100 sq. ft., whichever is less.	No more than 30% of the gross first floor window area.
Lighting	External	Yes	Yes	Yes	Yes	External lighting only	Yes	No
Max height	Below 2nd floor windows or 20', whichever is less.	20'	20'	8'	20', 35' HWY 41-A, B	Below 2nd floor windows or 20', whichever is less.	Below 2nd floor windows or 20', whichever is less. Or as approved by Plan Commission.	na
Min. Clearance	7'	10' under clearance if within 15' of ROW line.	10' under clearance if within 15' of ROW line.	na	10' under clearance if within 15' of row line.	7'	na	na
Set Back	na	0'	0'	15'	0'	na	na	na

City of De Pere, Wisconsin



Request For Plan Commission Action

MEETING DATE: March 28, 2016

DEPARTMENT: Planning

FROM: Sarah Wallace

SUBJECT: Future Agenda Items
