



Plan Commission

335 South Broadway

Regular Meeting

De Pere, WI 54115
<http://www.de-pere.org>

Agenda

Monday, April 27, 2015

7:00 PM

De Pere City Hall Council Chambers

Pursuant to Wisconsin Statutes 19.84, Notice is hereby given to the public that a meeting of the **Plan Commission** of the City of De Pere will be held on **April 27, 2015** at **7:00 PM** in the **De Pere City Hall Council Chambers, 335 S. Broadway Street, De Pere, WI 54115.**

This meeting can be viewed LIVE at www.depere.tv. This meeting is also rebroadcast on TW Cable Channel 4 and AT&T U-verse Channel 99 throughout the week and available on demand at www.depere.tv.

Call to Order

1. Roll Call.
2. Approval of the minutes of the March 23, 2015 Plan Commission meeting.
3. Review the Vacation request to remove a trail easement in Trailside Estates. Applicant: City of De Pere.*
4. Review the Sign Variance request for a sign at 1001 N. Broadway for De Pere Family Dentistry. Applicant: Todd Thomas.
5. Review the Site Plan application for a new cell tower located off Suburban Court on parcel WD-364-D-519. Applicant: Verizon.
6. Review the CSM Application for an extraterritorial CSM for 2 lot CSM in the Town of Rockland. Surveyor: American Surveys.*

Adjournment

*** Items with an asterisk require City Council approval.**

Any person wishing to attend this meeting who, because of disability, requires special accommodations should contact the City Planner's office at 339-4043 by Noon on Monday, April 27th, 2015 so that arrangements can be made.

AGENDA SENT TO:

Plan Commission Members
Alderspersons
News Media
Barbara H Birdsall
Colleen S Dantine
Daniel P & Emily K Hooyman
David J & Amy M Bailey
Edward A & Molly A Baldwin
Hugh J & Lindsey Leasum
Irish Construction & Investments LLC
James W & Mandi R Weatherex
Jay A & Kari A Teal
Joshua S & Rachel J Moreau
Kristopher D & Jennifer Boggess
Mark E & Jennifer L Cumicek
Matthew J Behnke

Matthew P & Amber N Vansistine

Peter G Anderson

Richard A & Rosa M Schuh III

Richard C & Monica A Peters

Robert J Vander Kelen

Sidharth Ghai

Tiffany L Laughlin

WI DNR

Creative Sign Co

Verizon Wireless

United Sign

De Pere Cabinet

American Surveys LLC

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: April 27, 2015

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Approval of the minutes of the March 23, 2015 Plan Commission meeting.

ATTACHMENTS:

- PC_Mar2015_Minutes_Draft (PDF)



Plan Commission

335 South Broadway

De Pere, WI 54115

<http://www.de-pere.org>

Regular Meeting

Draft Minutes

Monday, March 23, 2015

7:00 PM

De Pere City Hall Council Chambers

Call to Order

The meeting was called to order at 7:00 PM by Mayor Michael J. Walsh

Attendee Name	Title	Status	Arrived
Derek Beiderwieden	Commissioner	Present	
James Boyd	Alderman	Present	
Jim Kalny	Commissioner	Excused	
Larry Lueck	Alderman	Excused	
Elizabeth Runge	Commissioner	Present	
Steve Taylor	Commissioner	Excused	
Michael J. Walsh	Mayor	Present	

Also present: city Planning Director Ken Pabich and members of the public.

2. Approval of the minutes of the February 23, 2015 Plan Commission meeting.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Boyd, Alderman
SECONDER:	Michael J. Walsh, Mayor
AYES:	Derek Beiderwieden, James Boyd, Elizabeth Runge, Michael J. Walsh
EXCUSED:	Jim Kalny, Larry Lueck, Steve Taylor

3. Review the Site Plan application for an 8,174 sq ft addition to 1001 Main Ave, parcel WD-D0200-2 (Festival Foods). Applicant: Bayland Buildings.

Ken Pabich provided a summary of the project, which includes an addition, remodeling of existing tenant space, and updating the entire front facade of the building. Public Works staff requested some updates to the plan, which Bayland Buildings is already working on. Ken also reported that state plan approval was obtained today. Discussion followed regarding the impact of the addition on emergency vehicle access. The fire department tested the driveway access and determined that it will work. Derek Beiderwieden motioned, seconded by Elizabeth Runge, to approve the site plan application with staff items being addressed. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Derek Beiderwieden, Commissioner
SECONDER:	Elizabeth Runge, Commissioner
AYES:	Derek Beiderwieden, James Boyd, Elizabeth Runge, Michael J. Walsh
EXCUSED:	Jim Kalny, Larry Lueck, Steve Taylor

Adjournment

Mayor Walsh motioned, seconded by Elizabeth Runge, to adjourn the meeting at 7:06 pm. Upon vote, motion carried unanimously.

Respectfully submitted,

Regular Meeting**Monday, March 23, 2015****7:00 PM**

Carey Danen

Attachment: PC_Mar2015_Minutes_Draft (3338 : minutes approval)

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: April 27, 2015

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the Vacation request to remove a trail easement in Trailside Estates. Applicant: City of De Pere.*

ATTACHMENTS:

- PC_Staff__Apr27_Trailside (PDF)
- TrailsideEstates_Ease_Vacate (PDF)

- Item 3: Review the Vacation request to remove a trail easement in Trailside Estates. Applicant: City of De Pere.*



Figure 3-1. Existing trail access easements.

Overview:

When Trailside Estates was originally platted, there were two trail access easements included on both the north and south end of Melcorn Circle. In working with the Parks Department, it was determined that only one access point is required for the subdivision. Since there is access from Rockland Road to the trail, the Parks Department wanted to retain the southern access easement. The southern trail access easement will be paved with asphalt this summer.

Recommendation

Staff would recommend vacating the northern trail access easement and that it be forwarded to the Common Council.

	CITY OF DE PERE APPLICATION FOR ROW VACATION	Fee: \$ 275.00
		Receipt #:
		Date: April 22, 2015

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) City of De Pere	Authorized Representative Ken Pabich	Title Director	
Mailing Address 335 South Broadway	City De Pere	State WI	ZIP Code 54115
Email Address kpabich@mail.de-pere.org	Phone Number (incl. area code) 920-339-4043	Fax Number (incl. area code)	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity)	Contact Person	Title	
Mailing Address	City	State	ZIP Code
Email Address	Phone Number (incl. area code)	Fax Number (incl. area code)	

SECTION 3: Right of Way Requested to be Vacated

Name of ROW:	Trailside Estates. Northern trail access easement for Fox River Trail which is located on Melcorn Circle. (See map)
Legal Description to be Vacated: (Please attach map)	

SECTION 4: Reason of Vacation

Reason for Requesting Vacation of ROW:	There are two access easements provided on Melcorn Circle. The City has determined that only one access point is needed to access the trail.
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SECTION 5: Certification and Permission

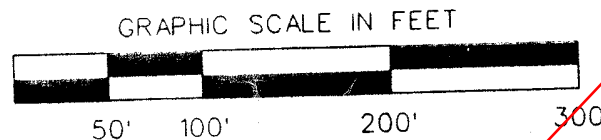
Certification: I hereby certify that I am the owner or authorized representative for this Application. I certify that the information contained in this form and attachments is true and accurate.

Name of Owner/Authorized Representative (please print) Ken Pabich	Title Director	Phone Number 920-339-4043
Signature of Applicant		Date Signed April 22, 2015

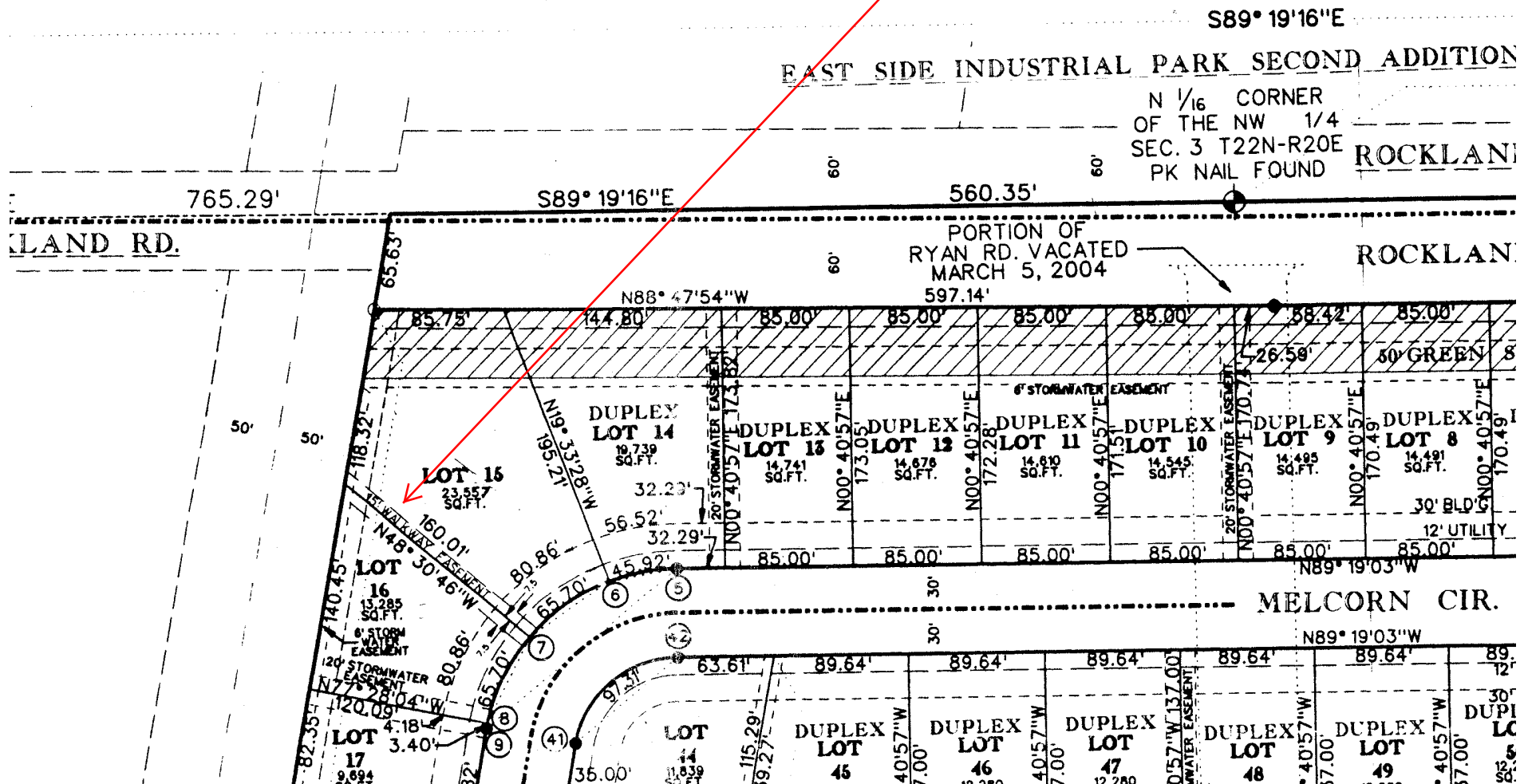
Attachment: TrailsideEstates_Ease_Vacate (3334 : Easement Vacation)

TRAILSIDE ESTATES

PART OF THE NE 1/4 -NW 1/4, PART OF THE NW 1/4 -NW 1/4 AND PART OF
GOVERNMENT LOT 1, SECTION 3, T22N-R20E, CITY OF DE PERE, BROWN COUNTY
WISCONSIN



Easement to be
vacated.



LEGAL DESCRIPTION FOR 15' WALKWAY EASEMENT, TRAILSIDE ESTATES, CITY OF DE PERE

Part of Lot 15 and 16, Trailside Estates, City of De Pere, Brown County, Wisconsin. Recorded in Volume 22 of Plats, Pages 173 – 176, having a Document Number of 2141474. Fifteen foot walkway easement described as:

The southwesterly 7.5 feet of Lot 15 and the northeasterly 7.5 feet of Lot 16.

r/0404misc/survey/trailside.docx

Attachment: TrailsideEstates_Ease_Vacate (3334 : Easement Vacation)

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: April 27, 2015

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the Sign Variance request for a sign at 1001 N. Broadway for De Pere Family Dentistry. Applicant: Todd Thomas.

ATTACHMENTS:

- PC_Staff_Apr27_Sign Variance (PDF)
- De Pere Family Variance (PDF)

- Item #4: Review the Sign Variance request for a sign at 1001 N. Broadway for De Pere Family Dentistry. Applicant: Todd Thomas.

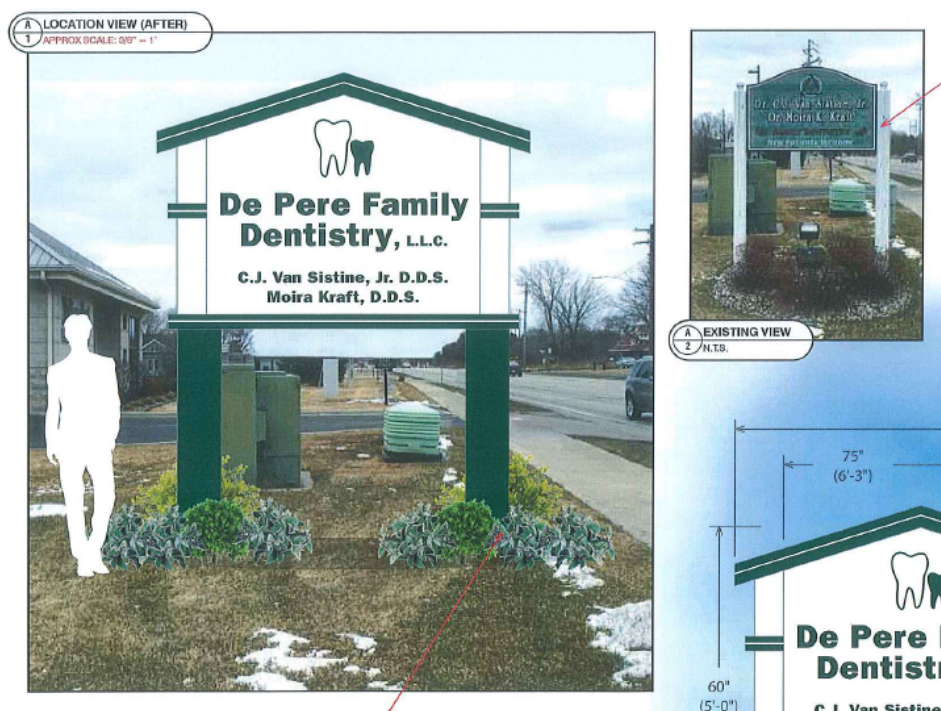


Figure 4- 1. Existing and proposed signage.

Overview:

Creative Sign is requesting a variance from the sign ordinance to construct a new replacement sign for Dr. Van Sistine's dental office (and name change) located at 1001 N. Broadway. The sign does not have a ten (10) foot under clearance and is located within 15' of the right of way. Under the City sign code, a pole sign requires a 10' under clearance and it also requires a 15' foot set back from the property line.

The sign is classified as a pole sign since it is elevated off the ground. The owner would prefer a monument sign, however it would not work due to the utility boxes on the property (see image above). Furthermore, the owner does not feel that a pole sign fits the character of Broadway and would prefer to have a shorter sign. The proposed sign does not present a vision obstruction for motorists and pedestrians and it is an improvement over the old existing sign.

Recommendation

Staff would recommend approval of the variance request for both the setback and the under clearance.



Creative Sign Co., Inc.
505 Lawrence Drive
De Pere, WI 54115
Ph: 920.336.8900
www.greenbaysigns.com

4/13/15

City of De Pere
Attn: Mayor Mike Walsh & Members of the City Planning Commission.
335 S Broadway
De Pere, WI 54115-2593

RE: De Pere Family Dentistry – 1001 N Broadway De Pere WI.

Dear Mr. Walsh & Members of the City Planning Commission.

This letter is to request a variance for the code (Sect 98-15 B). Code requires a 10' under clearance with 15' from right of way. The new sign will be 55" as shown in attached design D8804 page 6. A previous variance was granted many years ago and it is time to update this sign. The design will be more appealing to the roadway and complement the building nicely.

We will be removing the existing sign, at the same time we will be replacing it with a new sign as shown in attached drawings.

Please feel free to contact me should you have any concerns or questions.

Respectfully submitted,

A handwritten signature in black ink, appearing to read "Todd Thomas", is written over a horizontal line.

Todd Thomas
Creative Sign Co., Inc.

Enc.

This is an original, unpublished drawing by Creative Sign Co, Inc. It is for your personal use, in conjunction with a project being planned for you by Creative Sign Co, Inc. It is not to be shown to anyone outside of your organization nor is it to be used, reproduced, copied or exhibited in any fashion. Use of this design or the salient elements of this design in any sign done by any other company, without the expressed written permission of Creative Sign Co, Inc., is forbidden by law and carries a civil forfeiture of up to 25% of the purchase price of the sign. Creative Sign will endeavor to closely match colors, including PMS, where specified. We cannot guarantee exact matches due to varying compatibility of surface materials and paints used. All sizes and dimensions are illustrated for clients conception of the project and are not to be understood as being exact size or exact scale.

City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: April 27, 2015

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the Site Plan application for a new cell tower located off Suburban Court on parcel WD-364-D-519. Applicant: Verizon.

ATTACHMENTS:

- PC_Staff_Apr27_Verizon (PDF)
- PC_SP_App_Verizon (PDF)
- SitePlan (PDF)

- Item 5:** Review the Site Plan application for a new cell tower located off Suburban Court on parcel WD-364-D-519. Applicant: Verizon.



Figure 5-2. Proposed location of cell tower off Suburban Court.

Overview:

Verizon is looking to install a new cell tower and ground facility. The state regulations were revised last year which changed the requirements for siting and requiring co-locations. The proposed site cannot be prohibited; however it still must meet City zoning requirements. The tower would be designed to include additional facilities (co-location). The parcel is owned by the Sulzmann Partnership and this part of the site would be leased to Verizon.

Public Works:

1. The driveway must be an approved hard surface, including concrete apron with a sidewalk section in the right of way.
2. The curb must have profile cut.
3. The site must be graded to ensure storm water drains toward Suburban Court with a side swale.

Fire:

1. No comments.

Forestry:

1. Approved the design.

Building/Planning:

1. Future ground facilities must meet the building code.

Recommendation

At the time of this writing, staff did not have a complete application and does not have a recommendation.



CITY OF DE PERE
APPLICATION FOR
SITE PLAN REVIEW

Fee: \$ 275.00

Receipt #: 101961

Date: 4/17/2015

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) SBA TOWERS / Verizon	Authorized Representative Guy Stewart	Title SITE ACQUISITION	
Mailing Address 3703 NORTH POINT DR	City STEVENS POINT WI	State WI	ZIP Code 54481
Email Address GuyStewart@charter.net	Phone Number (incl. area code) 715 340 - 2123	Fax Number (incl. area code) N/A	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) Sulzmann Family LTD Partnership	Contact Person Bill Sulzmann	Title MANAGER	
Mailing Address 2117 DALPIN RD	City DE PERE	State WI	ZIP Code 54115
Email Address WJSULZMANN@gmail.com	Phone Number (incl. area code) 920-217-0001	Fax Number (incl. area code) N/A	

SECTION 3: Project or Site Location

Project Address/Description 1111 SUBURBAN CT	Parcel No. WD-364-D-519
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SECTION 4: Project Information

Existing Zoning: B-1			
Present Use of Parcel: VACANT			
Proposed Use of Parcel: COMMUNICATION TOWER			
Estimated Start Date: TBD	Estimated Completion Date: TBD		

Please submit 1 hard copy 24x36, 1 hard copy 11x17 and 1 PDF copy of the Site Plan.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Guy Stewart	Title SITE ACQUISITION	Phone Number 715 340 2123
Signature of Applicant 		Date Signed 4/16/2015

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.

Proposed Use and Project Description

Communications Tower Provider

SBA Communications Corporation (SBA) is a leading independent owner and operator of wireless communications towers across North America. Based in Boca Raton, Florida, SBA is listed on the NASDAQ Global Select Market Composite Index under the symbol SBAC. We generate revenues from two primary businesses; site leasing and site development services.

In our site leasing business, we lease antenna space on towers and other structures that SBA owns or manages. The towers we own have either been built by us at the request of a wireless carrier or built or acquired based on our own initiative. We own, operate and or manage towers and building rooftops across North America.

In our site development business, SBA Network Services, Inc. offers wireless service providers and operators assistance in developing their own networks, including identifying and acquiring locations to place their antennas and transmission equipment, obtaining zoning approvals, and cell site audits for the augmentation of existing wireless facilities. Our construction group offers additional development services to continue the development process. We assist wireless service providers in building towers, installing antennas and transmission equipment, setting shelters, installing or enhancing power plants and a full range of civil and electrical construction services. To complete the development process, our technical services group offers a wide array of services including, base station engineering and installation, project management and network optimization.

Wireless Provider

Verizon Wireless operates the nation's largest 4G LTE network and largest, most reliable 3G network.

Headquartered in Basking Ridge, N.J., Verizon Wireless is a joint venture of Verizon Communications (NYSE, NASDAQ:VZ) and Vodafone (NASDAQ and LSE: VOD). A leader in wireless voice and data services, the company:

- Launched the nation's largest 4G LTE network in 38 markets and more than 60 airports in December 2010. The company plans to expand its 4G LTE network to cover 175 markets by the end of 2011 and cover its entire 3G network footprint by the end of 2013.
- Built the nation's first wide-area wireless broadband network
- Delivered the nation's first wireless consumer 3G multimedia service
- Offers global voice and data services in more than 200 destinations around the world

Verizon Communications Inc. (NYSE, Nasdaq: VZ), headquartered in New York,

is a global leader in delivering broadband and other wireless and wireline communications services to consumer, business, government and wholesale customers. Verizon Wireless operates America's most reliable wireless network, with more than 107 million total connections nationwide. Verizon also provides converged communications, information and entertainment services over America's most advanced fiber-optic network, and delivers integrated business solutions to customers in more than 150 countries, including all of the Fortune 500. A Dow 30 company with \$106.6 billion in 2010 revenues, Verizon employs a diverse workforce of more than 195,000. For more information, visit www.verizon.com.

Need for Coverage in the City of De Pere

Currently Verizon Wireless has deployed 4G LTE equipment and plans on installing that same equipment in all of our new builds in Brown County. This service allows for both voice communications through traditional cell phones, and data communications through wireless connected computers and PDA's such as blackberry's and I-Phones. This LTE equipment will greatly increase the speed and abilities of wireless connected computers and the before mention PDA's.

As use of all wireless devises have increased at an exponential rate, Verizon Wireless is actively working increase network coverage for its customers and to improve the overall quality of the nation-wide network.

Location and Description of Property

This application to the city of De Pere Zoning office is for the property located on Suburban Court in the city of De Pere. I have included the site plan with legal descriptions for your review.

The property is zoned B-2.

Proposed Tower

SBA is proposing to erect a one hundred and twenty five foot tower to be able to mount the required antennas at the top of that tower. The tower will be designed to structurally support three (3) additional carriers' antennas. Those antennas would be in addition to the Verizon Wireless antennas.

The self-support tower will be designed in accordance with the Electronic Industries Association Standard EIA-222-F (Structural Standard for Steel Antenna Towers and Antenna Supporting Structures) The State of Wisconsin uses this standard when evaluating towers erected in Wisconsin.

Accessory Equipment

The current proposal is to house all the Verizon Wireless equipment in a 12 x 20 building that will be an aggregate sided brown/tan in color. Verizon Wireless equipment and those of any collocating carriers will be inside the compound that is surrounded by security fencing. We prefer to have a barbed wire top to help with security issue to help prevent tower climbing. The gate will be locked at all times that authorized personnel are not on site.

Typical Process for Site Location

When Verizon Wireless becomes aware of the need to increase coverage or correct a network issue, through customer complaints or network evaluations, RF engineers are asked to do a study of the area to identify what needs to be done to correct the issue. These studies allow the engineers to identify location and heights of the antennas to be able to correct the coverage issues. Once the height and area is identified, the RF engineer creates a search area that can be turned over to an acquisition specialist.

The acquisition specialists then looks at any existing communications towers in that area that would meet the requirements and that Verizon Wireless can co-locate its equipment on. If no co-location opportunities are available, the acquisition specialist then looks for the best option for placing a communications tower that best fits the requirements of the zoning ordinance and also has the least impact on the surrounding area. When a new tower is considered, the design of the tower is done to provide additional co-location possibilities.

The site of the new tower on the Sulzmann Family partnership property meets the needs of Verizon Wireless and has the least amount of impact to the surrounding area.

I have included a signed affidavit by the RF engineer from Verizon.

Typical Activity at a Communications Site

The site of a communications tower is not manned on a regular basis. Most activity occurs at the time of construction. Once the construction has been completed, the site will be visited on a very infrequent basis. Regular maintenance and equipment checks are performed at a rate of approximately 1 – 4 times a month.

Building and Construction Standards

The proposed site will be designed and constructed to meet all applicable local and industry standards. Verizon Wireless does comply with all FCC rules which include technical standards, radio frequency standards and RF standards that the FCC maintains for the public health and safety. SBA also complies with the FAA rules that control the height and lighting of the facilities. This facility will be in compliance with those rules and standards.

Conclusion

Thank you for reviewing this application for a communications tower on the Sulzmann Family Partnership property. I am available to answer any questions you may have. I believe this communications facility does comply with the zoning requirements and it also meets the needs of Verizon Wireless to service its customers within the city of De Pere.

Thank you

Guy Stewart

Real Estate Acquisition & Development, LLC

715.340.2123

guystewart@charter.net

Attachment: PC_SP_App_Verizon (3336 : Cell)



Sabre Industries™

Towers and Poles

April 22, 2015

Mr. Victor M. Rivera
SBA Network Services, Inc.
8051 Congress Avenue
Boca Raton, FL 33487-1307

RE: Proposed 120' Sabre Monopole for De Pere 2, WI

Dear Mr. Rivera,

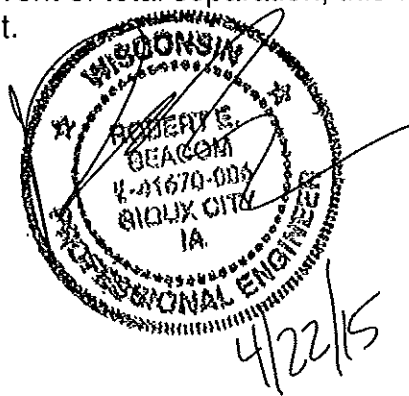
Upon receipt of order, we propose to design and supply the above referenced Sabre monopole for a Basic Wind Speed of 90 mph with no ice and 40 mph with 1/2" radial ice, Structure Class II, Exposure Category C and Topographic Category 1 in accordance with the Telecommunications Industry Association Standard ANSI/TIA-222-G, "Structural Standard for Antenna Supporting Structures and Antennas".

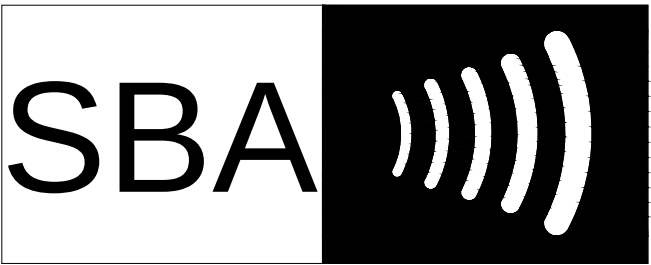
When designed according to this standard, the wind pressures and steel strength capacities include several safety factors, resulting in an overall minimum safety factor of 25%. Therefore, it is highly unlikely that the monopole will fail structurally in a wind event where the design wind speed is exceeded within the range of the built-in safety factors.

Should the wind speed increase beyond the capacity of the built-in safety factors, to the point of failure of one or more structural elements, the most likely location of the failure would be within the upper portion of the monopole shaft. Assuming that the wind pressure profile is similar to that used to design the monopole, the monopole will buckle at the location of the highest combined stress ratio within the upper portion of the monopole shaft. This is likely to result in the portion of the monopole above "folding over" onto the portion below, essentially collapsing on itself. ***Please note that this letter only applies to the above referenced monopole designed and manufactured by Sabre Towers & Poles.*** In the unlikely event of total separation, this would result in the portion above collapsing within a radius of 60 feet.

Sincerely,

Robert E. Beacom, P.E.
Design Engineer II





SBA TOWERS VI LLC
5900 BROKEN SOUND PKWY NW
BOCA RATON, FL 33487
PHONE: 1-800-487-7483

*VERIZON WIRELESS
PERSONAL
COMMUNICATION LP
d/b/a VERIZON WIRELESS*

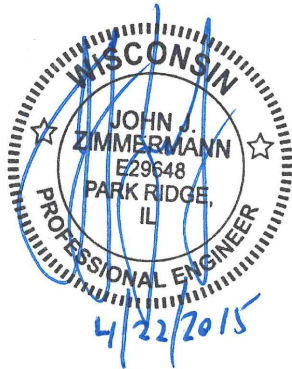
LOCATION NUMBER: 269150
SITE NAME: WESTWOOD & DEPERE

SITE NUMBER: WI16624-B

SITE NAME: DEPERE 2

E911 ADDRESS: 1711 SUBURBAN DR, DE PERE, WI 54115

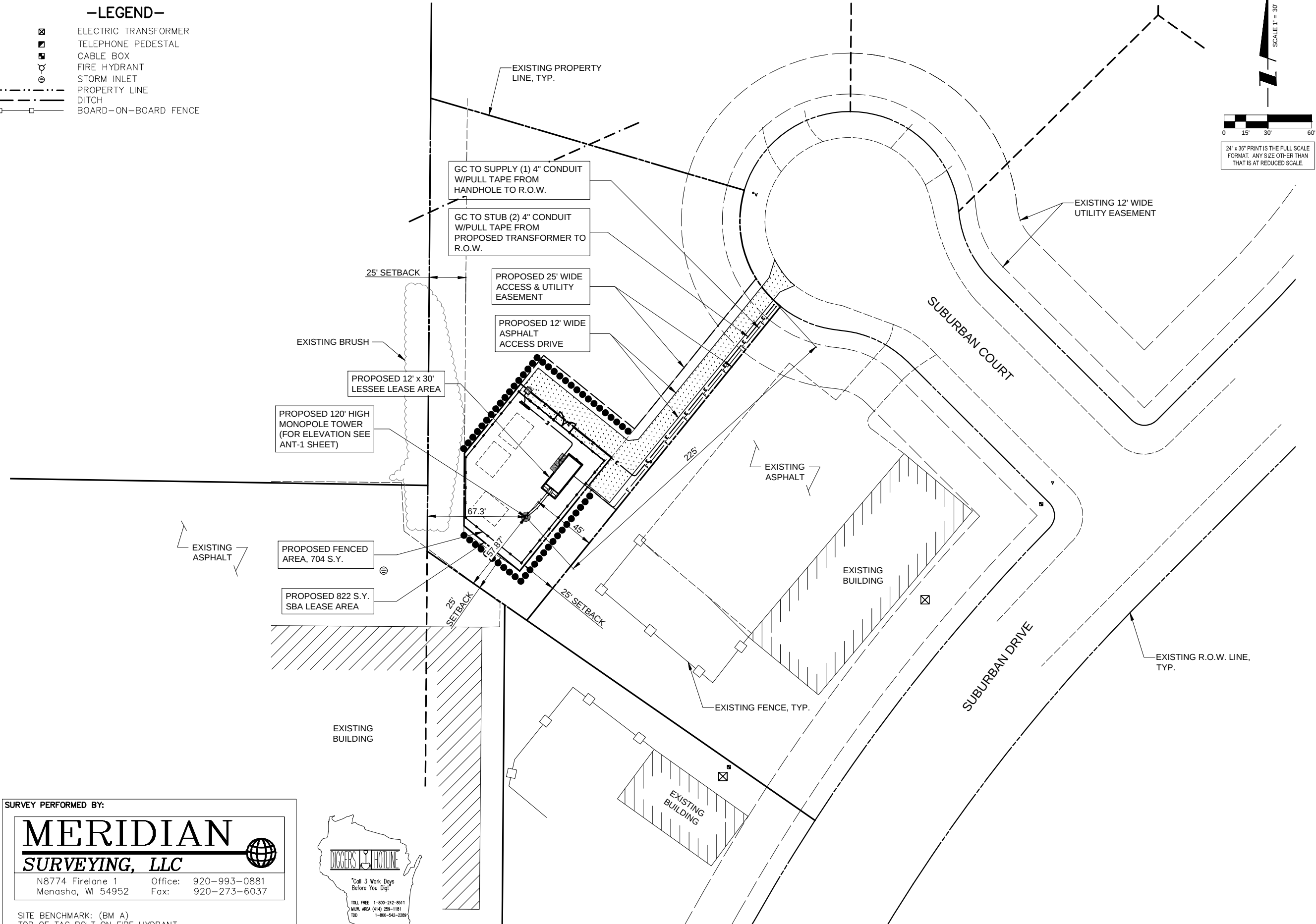
PROPOSED 120' MONOPOLE TOWER WITH COMMUNICATION EQUIPMENT



Packet Pg. 24

—LEGEND—

- | | |
|---|----------------------|
|  | ELECTRIC TRANSFORMER |
|  | TELEPHONE PEDESTAL |
|  | CABLE BOX |
|  | FIRE HYDRANT |
|  | STORM INLET |
|  | PROPERTY LINE |
|  | DITCH |
|  | BOARD-ON-BOARD FENCE |

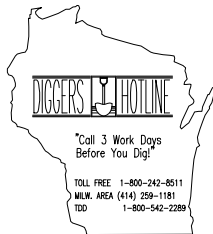


SURVEY PERFORMED BY:

MERIDIAN
SURVEYING, LLC

N8774 Firelane 1 Office: 920-993-0881
Menasha, WI 54952 Fax: 920-273-6037

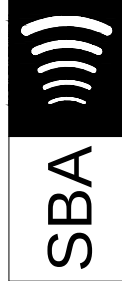
SITE BENCHMARK: (BM A)
TOP OF TAG BOLT ON FIRE HYDRANT
ELEVATION: 612.19'



OTHER UTILITIES NOT INCLUDED IN DIGGERS HOTLINE AND LOCAL UTILITY
DISTRICTS AND COMPANIES SHALL ALSO BE NOTIFIED

Diagram illustrating the scale for the drawing. The vertical scale bar is labeled "SCALE 1" = 30'". The horizontal scale bar is labeled "0 15' 30' 60'".

24" x 36" PRINT IS THE FULL SCALE FORMAT. ANY SIZE OTHER THAN THAT IS AT REDUCED SCALE.



SBA TOWERS VI, LLC
5900 BROKEN SOUND PKWY NW
BOCA RATON, FL 33487
PHONE: 1-800-487-7483



600 Busse Highway
Park Ridge, IL 60068
Ph: 847/698-6400
Fax: 847/698-6401

REVISIONS		
NO.	DESCRIPTION	DATE
-	ISSUED FOR ZONING	04/22/15

SITE 269150
SBA # WI16624-B

DEPERE 2

1711 SUBURBAN DR
DE PERE, WI 54115

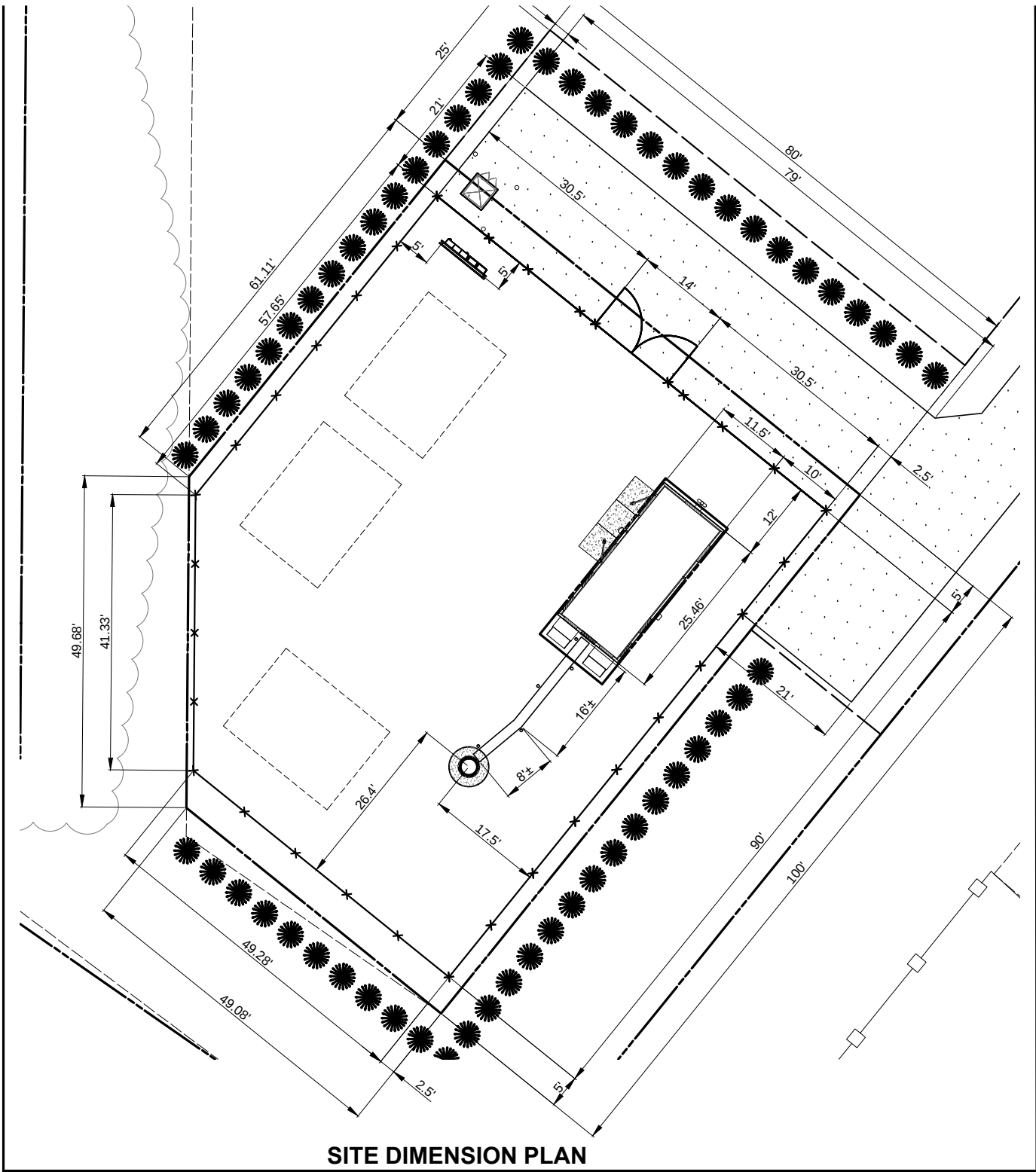
DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	01/06/15
PROJECT #:	7588

SHEET TITLE

LOCATION PLAN

SHEET NUMBER

LP



PAVEMENT MATERIALS AND QUANTITIES	
ACCESS ROAD	485 S.Y.
1 1/2" BITUMINOUS SURFACE COURSE, TYPE LV, GRADE 3	
3" BITUMINOUS BASE COURSE, WISDOT GRADATION # 2	
4" GRANULAR SUBBASE, GRADE A OR 9, TYPE B	
MIRAFI 500X SUBGRADE GEOTEXTILE FABRIC OR APPROVED EQUAL	
LEASE SITE	704 S.Y.
5" AGGREGATE BASE COURSE (CRUSHED RUN) (TOP)	
3" #57 WASHED STONE (BOTTOM)	
6 MIL. MIRAFI 500 WEED CONTROL FABRIC	
313 L.F. OF FENCING	
THE CONTRACTOR ALSO SHALL INCLUDE A SEPARATE UNIT PRICE PER CUBIC YARD TO REMOVE UNSTABLE OR UNSUITABLE MATERIAL AND HAUL-IN GRANULAR BACKFILL UNDER THE ACCESS DRIVE AND/OR APRON.	

SURVEY PERFORMED BY:

MERIDIAN SURVEYING, LLC

N8774 Firelane 1 Office: 920-993-0881
Menasha, WI 54952 Fax: 920-273-6037

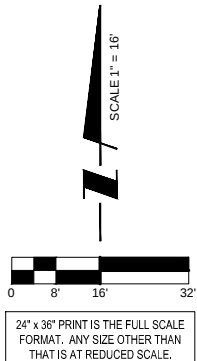
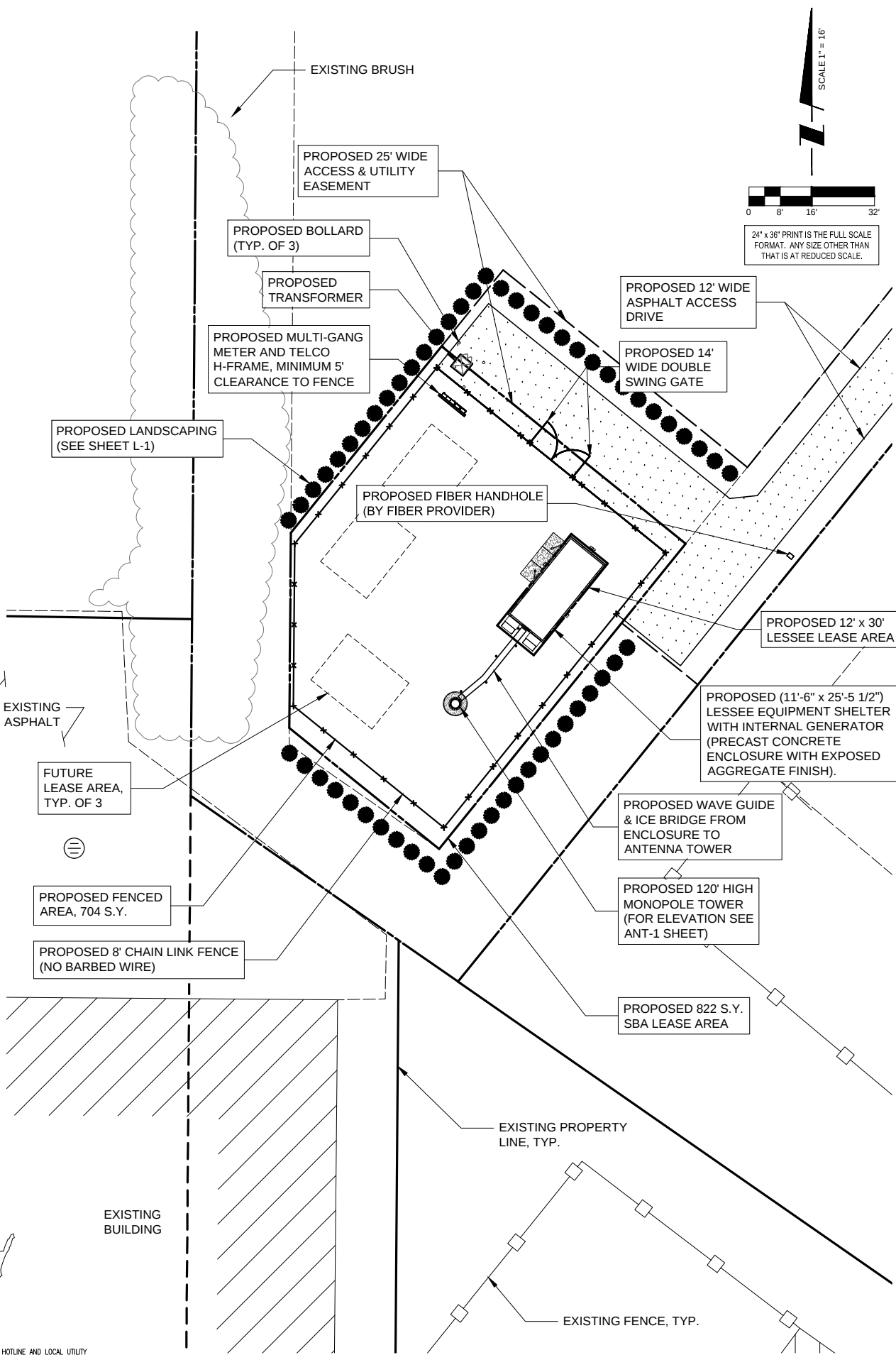
SITE BENCHMARK: (BM A)
TOP OF TAG BOLT ON FIRE HYDRANT
ELEVATION: 612.19'

DIGGERS & HOTLINE

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OTHER UTILITIES NOT INCLUDED IN DIGGERS & HOTLINE AND LOCAL UTILITY DISTRICTS AND COMPANIES SHALL ALSO BE NOTIFIED



SBA

SBA TOWERS VI, LLC
5900 BROKEN SOUND PKWY NW
BOCA RATON, FL 33487
PHONE: 1-800-487-7483

TERRA CONSULTING GROUP, LTD.

600 Busse Highway
Park Ridge, IL 60068
Ph: 847/698-6400
Fax: 847/698-6401

NO.	DESCRIPTION	DATE
1	ISSUED FOR ZONING	04/22/15

SITE 269150
SBA # WI16624-B

DEPERE 2

1711 SUBURBAN DR
DE PERE, WI 54115

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	01/06/15
PROJECT #:	7588

SHEET TITLE
ENGINEERING SITE PLAN

SHEET NUMBER
C-1

GENERAL NOTES AND CONDITIONS

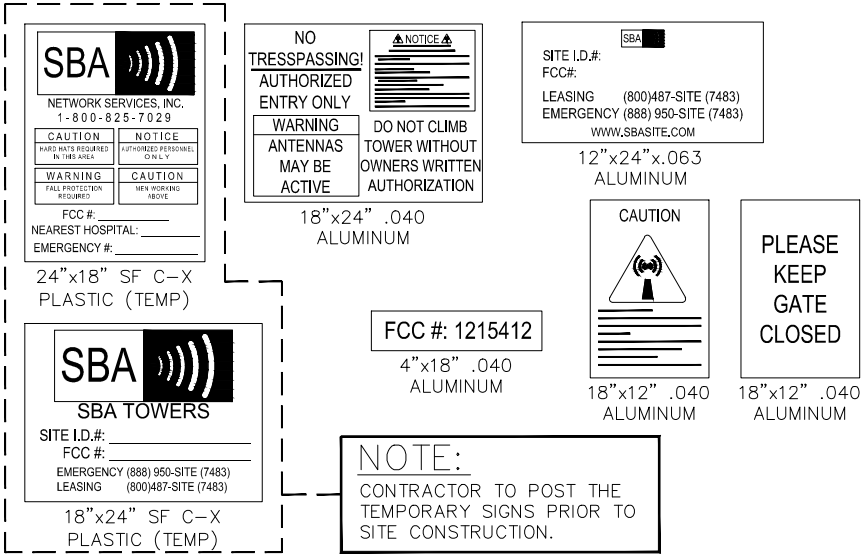
1. ALL EARTHWORK, GRADING AND PAVING SHALL BE PERFORMED IN ACCORDANCE WITH THE CURRENT STATE DEPARTMENT OF TRANSPORTATION STANDARDS FOR ROAD AND BRIDGE CONSTRUCTION.
2. THE CONTRACTOR SHALL KEEP CAREFUL MEASUREMENTS AND RECORDS OF ALL CONSTRUCTION AND SHALL FURNISH THE ENGINEER AND THE MUNICIPALITY WITH RECORD DRAWINGS UPON COMPLETION OF HIS WORK. ONE SET OF MYLAR-REPRODUCIBLE RECORD DRAWINGS AND COPIES MUST BE FURNISHED TO THE OWNER BY THE CONTRACTOR.
3. ALL WORK PERFORMED BY THE CONTRACTOR SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF TWELVE (12) MONTHS FROM THE DATE OF FINAL ACCEPTANCE. THIS GUARANTEE SHALL INCLUDE ALL DEFECTS IN MATERIALS AND WORKMANSHIP.
4. ALL DIRT WILL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR.
5. ALL STRUCTURES, INLETS, PIPES, SWALES AND ROADS MUST BE KEPT CLEAN AND FREE OF DIRT AND DEBRIS AT ALL TIMES.
6. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ADEQUATE SIGNS, BARRICADES, FENCING, TRAFFIC CONTROL DEVICES AND MEASURES, AND ALL OTHER MEASURES THAT ARE NECESSARY TO PROTECT THE SAFETY OF THE SITE AT ALL TIMES.
7. THE CONTRACTOR, BY AGREEING TO PERFORM THE WORK, AGREES TO INDEMNIFY AND HOLD HARMLESS THE OWNER, THE ENGINEER, THE VILLAGE, AND ALL AGENTS AND ASSIGNS OF THOSE PARTIES, FROM ALL SUITS AND CLAIMS ARISING OUT OF THE PERFORMANCE OF SAID WORK, AND FURTHER AGREES TO DEFEND OR OTHERWISE PAY ALL LEGAL FEES ARISING OUT OF THE DEFENSE OF SAID PARTIES.
8. WORK MUST COMMENCE AND BE COMPLETED BY THE TIME INDICATED IN THE PROJECT SPECIFICATIONS.
9. EXISTING UTILITIES, IF ANY, ARE SHOWN AS A GUIDE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATION OF EXISTING UTILITIES PRIOR TO EXCAVATING ANYWHERE ON THE SITE.
10. ALL ADDENDA, IF ANY, MUST BE ACKNOWLEDGED WITH THE BID.

EARTHWORK, GRADING, AND PAVING

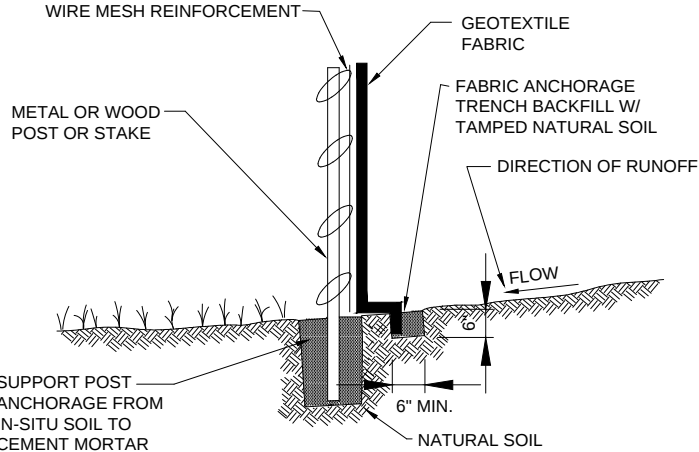
1. ALL PROPOSED PAVEMENT AREAS SHALL BE STRIPPED OF ALL TOPSOIL AND UNSUITABLE MATERIAL AND EXCAVATED OR FILLED TO WITHIN 0.10 FEET OF DESIGN SUBGRADE.
2. THE SUBGRADE SHALL BE FREE OF ALL UNSUITABLE MATERIAL AND SHALL BE COMPACTED TO A MINIMUM 95 PER CENT OF MODIFIED PROCTOR DENSITY.
3. THE QUANTITIES CONTAINED IN THESE DOCUMENTS ARE APPROXIMATE AND ESTIMATED, AND ARE PRESENTED AS A GUIDE TO THE CONTRACTOR IN DETERMINING ALL QUANTITIES AND TO BECOME FAMILIAR WITH THE SITE AND SOIL CONDITIONS.
4. THE EARTHWORK CONTRACTOR IS RESPONSIBLE FOR MAINTAINING POSITIVE DRAINAGE AT THE CONCLUSION OF EACH WORKING DAY.
5. THE PAVING CONTRACTOR IS RESPONSIBLE FOR THE FINAL SUBGRADE PREPARATION, THE PAVEMENT BASE, BINDER, AND SURFACE, AND ALL FINAL CLEAN-UP AND RELATED WORK ASSOCIATED WITH THE PAVING OPERATION.
6. UPON COMPLETION OF THE PAVING, THE CONTRACTOR WILL ENSURE THAT POSITIVE DRAINAGE EXISTS ADJACENT TO ALL CONSTRUCTED IMPROVEMENTS.

SOIL EROSION AND SEDIMENT CONTROL

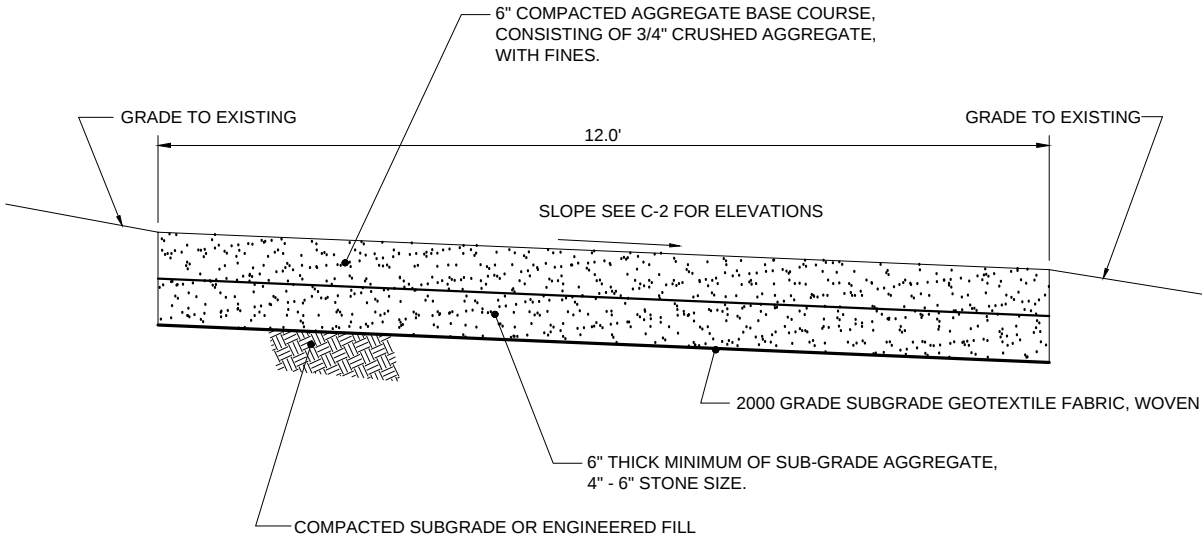
1. REASONABLE CARE MUST BE TAKEN TO MINIMIZE SOIL EROSION. REFER TO PROCEDURES AND STANDARDS FOR URBAN SOIL EROSION AND SEDIMENTATION CONTROL PREPARED BY THE U.S. SOIL AND CONSERVATION SERVICE.
2. ALL INLETS, STRUCTURES, PIPES, SWALES, AND ROADS SHALL BE KEPT CLEAN AND FREE OF DIRT AND SILT.
3. STOCKPILES SHALL HAVE A BERM OR TRENCH AROUND THE CIRCUMFERENCE TO CONTROL SILT IF NEEDED. IF THE STOCKPILE IS TO REMAIN FOR MORE THAN NINE MONTHS, IT MUST HAVE SUFFICIENT VEGETATION TO CONTROL BOTH WATER AND WIND EROSION.
4. STRAW BALES FIRMLY ANCHORED SHALL BE PLACED AROUND ALL INLETS, CATCHBASINS, AND SWALES THAT RECEIVE SILTY RUNOFF DURING THE COURSE OF CONSTRUCTION.
5. SILT FENCE TO BE CONSTRUCTED ALONG THE DOWN SLOPE OF THE CONSTRUCTION AREA.
6. MAINTAIN SOIL EROSION CONTROL DEVICES THROUGH THE DURATION OF THIS PROJECT.
7. REPLACE SOIL EROSION CONTROL DEVICES WITH SOD AND TOPSOIL AT THE COMPLETION OF THE PROJECT.
8. ALL ADJACENT ROADWAYS SHALL BE KEPT CLEAN AT ALL TIMES.
9. ADDITIONAL SOIL EROSION CONTROL MEASURES SHALL BE UNDERTAKEN IF DEEMED NECESSARY BY THE ENGINEERING INSPECTOR DURING THE COURSE OF CONSTRUCTION.



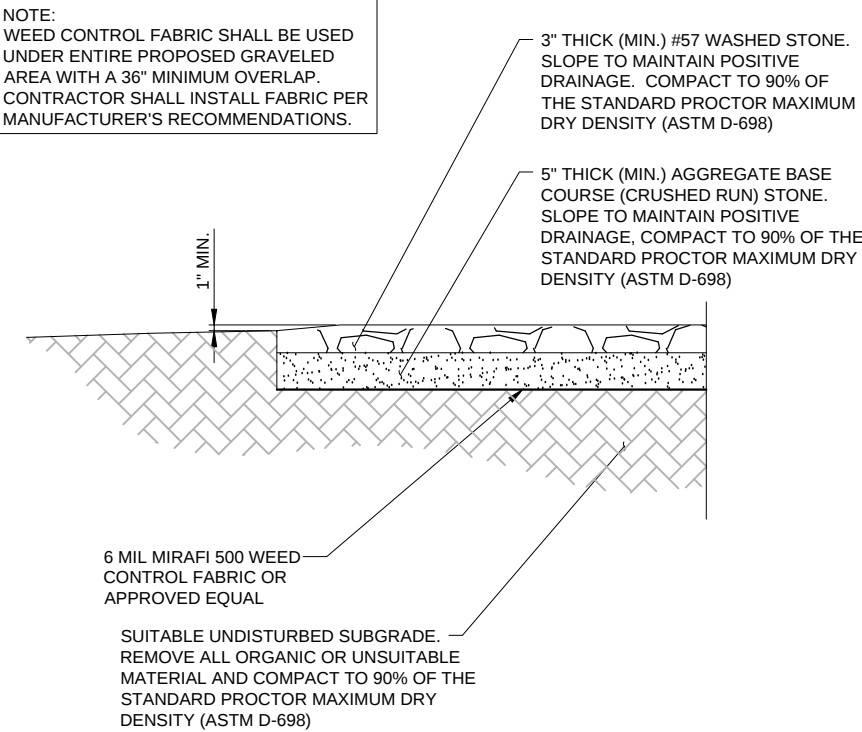
1 SIGN DETAIL
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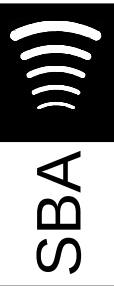
2 TYPICAL SILT FENCE DETAIL
N.T.S.



3 AGGREGATE ROAD SECTION
N.T.S.



4 COMPOUND FINISH DETAIL
N.T.S.



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SITE 269150
SBA # W16624-B

DEPERE 2

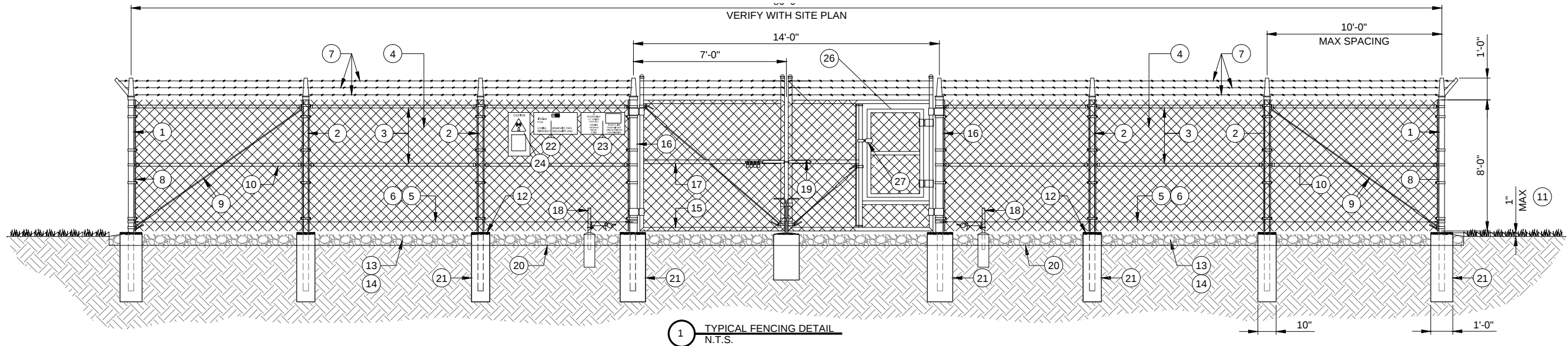
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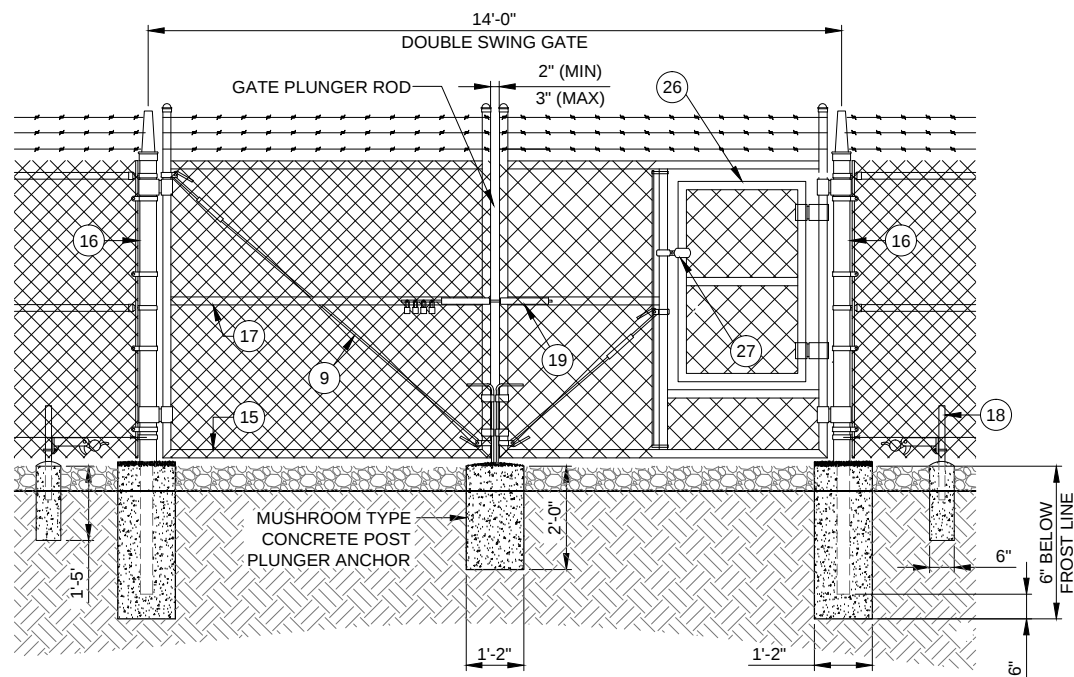
SHEET TITLE
SITE DETAILS
& SPECIFICATIONS

SHEET NUMBER

C-3



1 TYPICAL FENCING DETAIL
N.T.S.



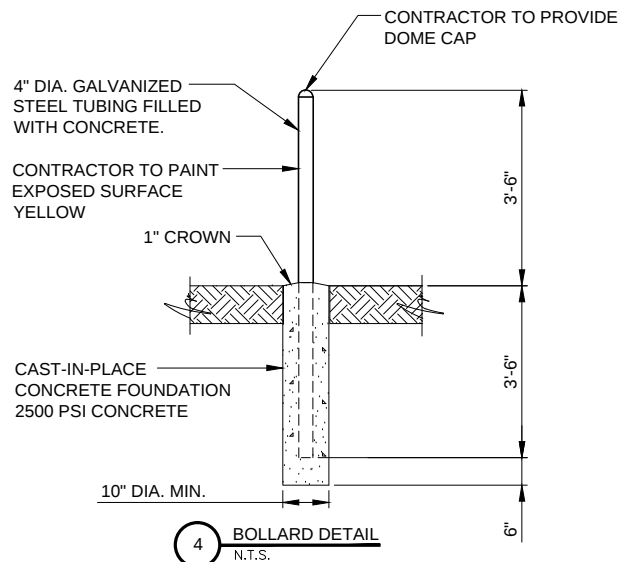
2 DOUBLE-SWING GATE DETAIL
N.T.S.

GENERAL NOTES:

1. INSTALL FENCING PER ASTM F-567
2. INSTALL SWING GATES PER ASTM F- 900
3. LOCAL ORDINANCE OF BARBED WIRE PERMIT REQUIREMENT SHALL BE COMPLIED IF REQUIRED.
4. POST & GATE PIPE SIZES ARE INDUSTRY STANDARDS. ALL PIPE TO BE GALVANIZED (HOT DIP, ASTM A120 GRADE "A" STEEL). ALL GATE FRAMES SHALL BE WELDED. ALL WELDING SHALL BE COATED WITH (3) COATS OF COLD GALV. (OR EQUAL).
5. ALL OPEN POSTS SHALL HAVE END-CAPS.
6. USE GALVANIZED HOG-RING WIRE TO MOUNT ALL SIGNS.
7. ALL SIGNS MUST BE MOUNTED ON INSIDE OF FENCE FABRIC.
8. MUSHROOM ANCHOR & PLUNGER REQUIRED FOR GATE.
9. G.C. RESPONSIBLE FOR SBA GATE LOCK

BALLOON REFERENCE NOTES:

- 1 CORNER, END OR PULL POST: 3" O.D. SCHEDULE 40 PIPE.
- 2 LINE POST: 2 1/2" NOMINAL SCHEDULE 40 PIPE, PER ASTM-F1083. LINE POSTS SHALL BE EQUALLY SPACED AT MAXIMUM 10'-0" O.C.
- 3 TOP RAIL & BRACE RAIL: 1-5/8" O.D. STANDARD ROUND PIPE, PER ASTM-F1083.
- 4 FABRIC: 9 GA CORE WIRE SIZE 2" MESH, CONFORMING TO ASTM-A392.
- 5 TIE WIRE: 9 GA ALUMINUM. A SINGLE WRAP OF FABRIC TIE AND AT TENSION WIRE BY HOG RINGS SPACED 12" O.C. POSTS/GATES AND 24" RAILS/WIRE.
- 6 TENSION WIRE: 9 GA ALUMINUM.
- 7 BARBED WIRE: DOUBLE STRAND 12-1/2" O.D. TWISTED WIRE TO MATCH WITH FABRIC. 14 GA, 4 PT. BARBS SPACED ON APPROXIMATELY 5" CENTERS.
- 8 3/16" x 3/4" (MIN) FULL HEIGHT STRETCHER BAR.
- 9 3/8" DIAGONAL ROD WITH GALVANIZED STEEL TURNBUCKLE OR DIAGONAL THREADED ROD.
- 10 FENCE CORNER POST BRACE: 1 5/8" NOMINAL PIPE.
- 11 1" MAXIMUM CLEARANCE FROM FINISH GRADE.
- 12 FENCE POST FOUNDATION TO BE 1" FINISH ABOVE FINISHED GRADE.
- 13 6" COMPACTED BASE MATERIAL.
- 14 FINISH GRADE SHALL BE UNIFORM AND LEVEL.
- 15 WELDED GATE FRAME: 2" O.D., SCHEDULE 40 PIPE, PER ASTM-F1083.
- 16 GATE POST 4" O.D., SCHEDULE 40 PIPE, PER ASTM-F1083.
- 17 GATE FRAME BRACE RAIL: 1 1/2" NOMINAL PIPE, PER ASTM-F1083.
- 18 DUCK BILL OPEN GATE HOLDER. VERIFY LOCATION IN FIELD PRIOR TO INSTALLATION.
- 19 STYMIE LOCK MULTI-TENANT LOCKING DEVICE.
- 20 GEO-TEXTILE FABRIC.
- 21 CONCRETE FOUNDATION (MIN 3000 PSI). MINIMUM DEPTH: 6" BELOW FROST LINE
- 22 12" x 24" SBA SITE INFORMATION SIGN.
- 23 12" x 24" NO TRESPASSING SIGN.
- 24 12" x 24" RF CAUTION SIGN.
- 25 18" x 12" KEEP GATE CLOSED SIGN.
- 26 4' WIDE SNOW GATE WITHIN DOUBLE SWING GATE FRAME
- 27 FORK LATCH WITH COMBINATION LOCK



4 BOLLARD DETAIL
N.T.S.



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SITE 269150
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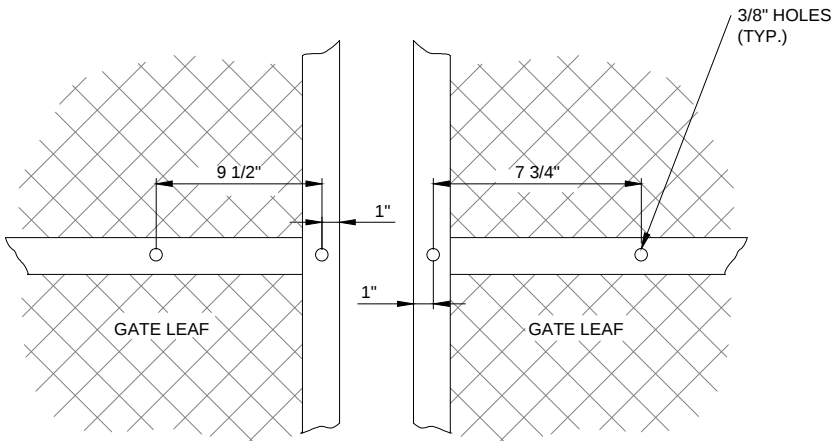
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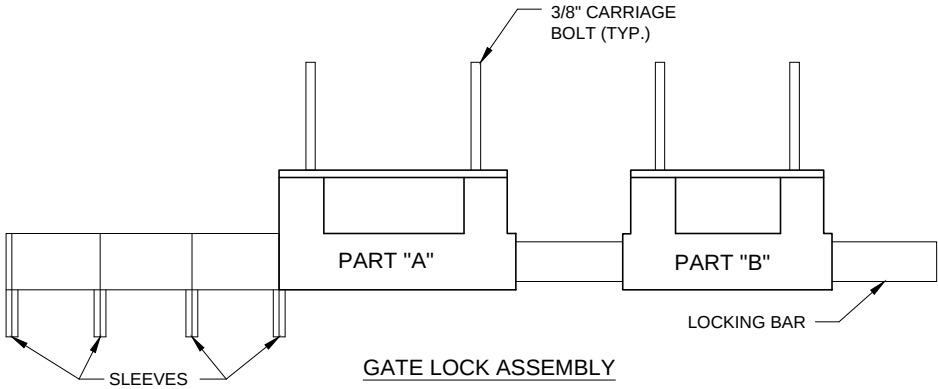
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FENCE DETAILS

SHEET NUMBER

C-4



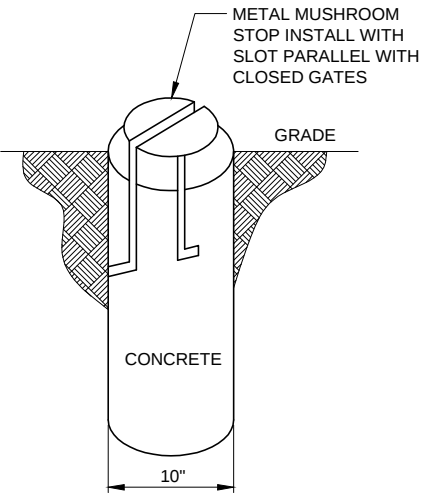
1 GATE FACE - ACCOMODATING STYMIELOCK
N.T.S.



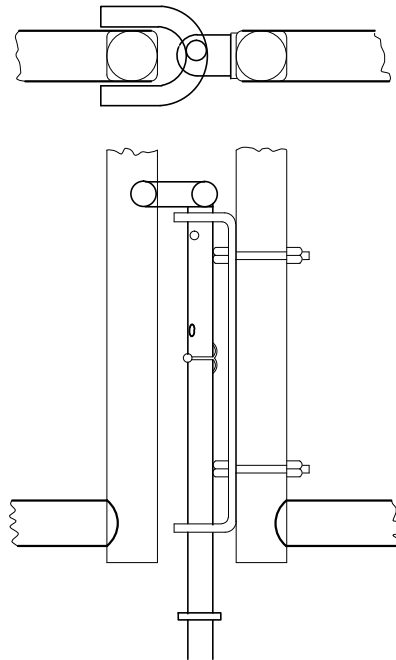
2 GATELOCK ASSEMBLY DETAIL
N.T.S.

STYMIELOCK INSTALLATION

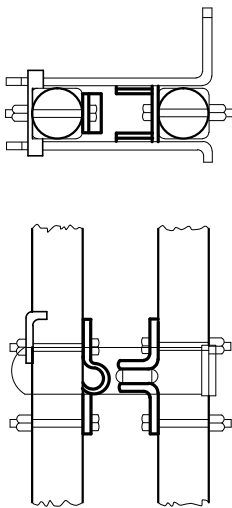
1. DRILL 3/8" HOLES IN THE GATE LEAF USING THE GATE DIMENSIONS PROVIDED.
2. SLIDE THE CARRIAGE BOLTS IN THE SLOTS ON THE BACK OF PART "B" AND PUSH THE BOLTS THROUGH THE HOLES DRILLED IN THE GATE FIGURE. PUT THE NUT AND THE LOCKNUT ON AND TIGHTEN AND CUT THE EXCESS BOLT OFF. DO THE SAME WITH PART "A".
3. ADD THE NUMBER OF SLEEVES NEEDED FOR THE NUMBER OF LOCKS AND SLIDE THE LOCKING BAR INTO PLACE THROUGH BOTH PART "A" AND PART "B". NOW INSTALL THE LOCKS.
4. IF THE GATE HAS NO CENTER BAR IN THE GATE LEAF YOU MAY NEED TO MOUNT THE STYMIELOCK VERTICALLY USING THE SAME DIMENSIONS GIVEN ON THE GATE FACE.
5. VERTICAL APPLICATION MAY ALSO BE USED ON SLIDING GATES WITH MULTIPLE LOCKS.



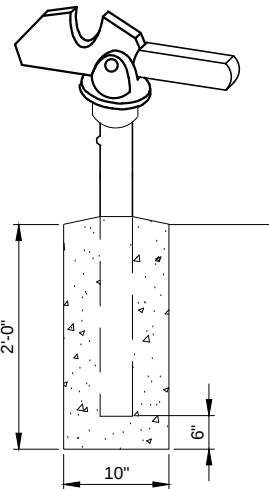
3 MUSHROOM STOP DETAIL
N.T.S.



4 DROP ROD ASSEMBLY DETAIL
N.T.S.

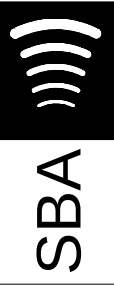


5 LATCH ASSEMBLY DETAIL
N.T.S.



6 GATE KEEPER DETAIL
N.T.S.

Attachment: SitePlan (3336 : Cell)



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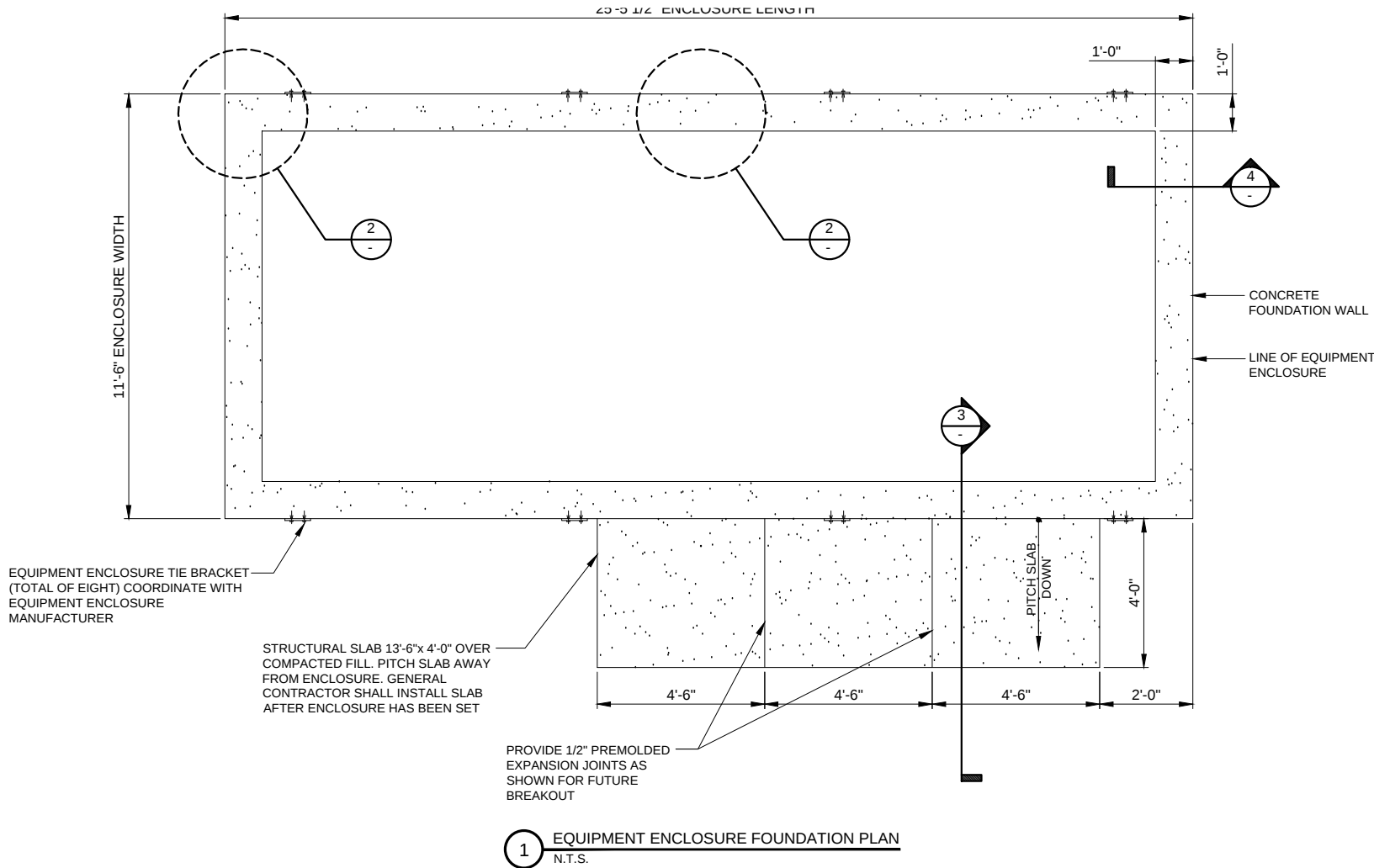
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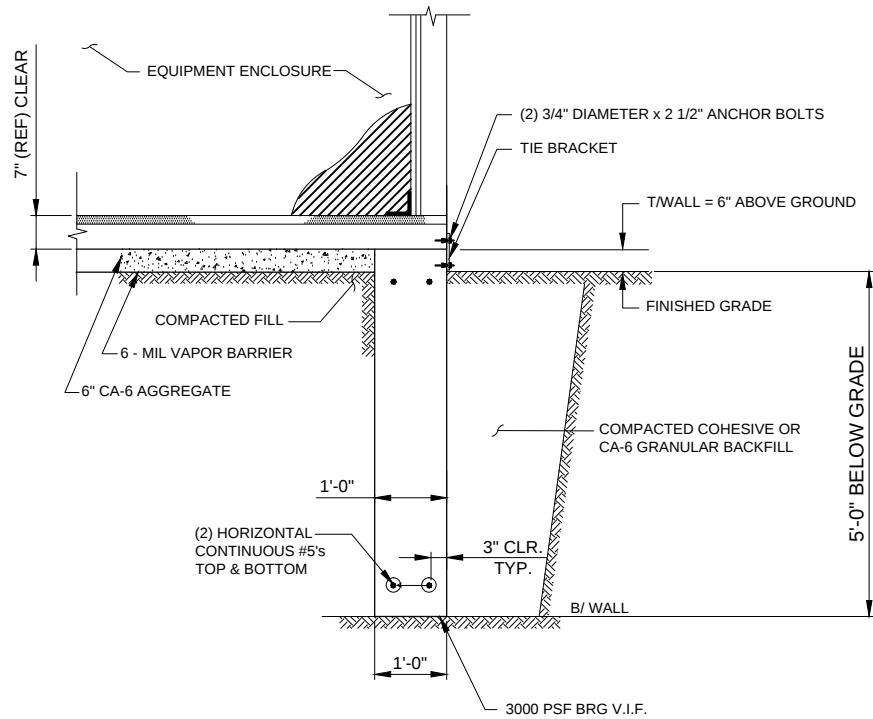
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FENCE DETAILS

SHEET NUMBER

C-5

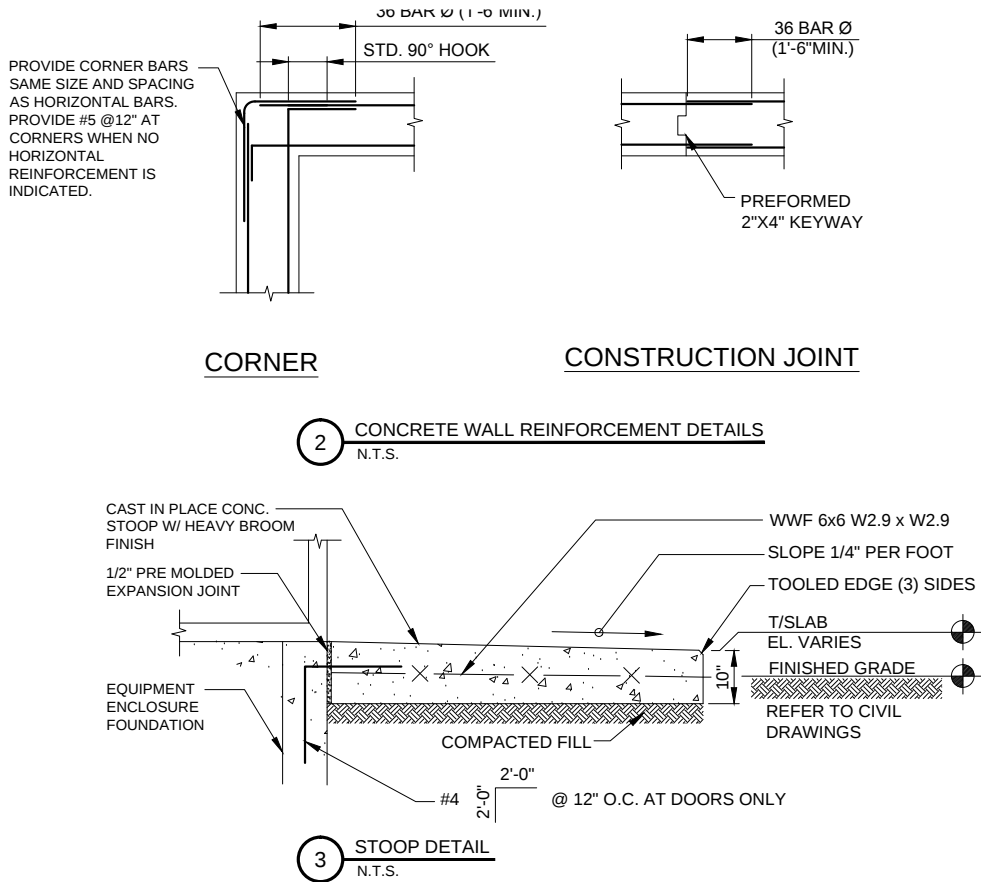


1 EQUIPMENT ENCLOSURE FOUNDATION PLAN
N.T.S.



4 FOUNDATION WALL SECTION
N.T.S.

NOTE:
LOCALIZED AREAS OF SOFT OR LOOSE MATERIALS MAY BE ENCOUNTERED AT THE PROPOSED BEARING ELEVATION. THE SOILS MAY REQUIRE COMPACTION USING A PLATE COMPACTOR IN THE FOOTING TRENCH IF FIELD CONDITIONS INDICATE LOOSE GRANULAR SOILS. THE SOILS MAY REQUIRE REMOVAL AND REPLACEMENT WITH AN APPROVED ENGINEERED FILL. FOUNDATION DEPTH AND OVER DIG REQUIREMENTS SHALL BE VERIFIED WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT AND INCLUDED IN THE BID BEFORE CONSTRUCTION. THE EVALUATION OF THE SUB GRADE AND SELECTION OF FILL MATERIALS SHALL BE MONITORED AND TESTED BY A QUALIFIED REPRESENTATIVE OF THE SOILS ENGINEER.



A. EQUIPMENT ENCLOSURE FOUNDATION

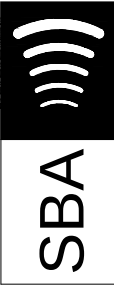
- REFER TO CIVIL DRAWINGS FOR ORIENTATION OF THE FOUNDATIONS.
- EQUIPMENT ENCLOSURE FOUNDATION IS DESIGNED FOR THE FOLLOWING LOADS:
ENCLOSURE DEAD LOAD: 70,000 LBS.
ROOF LIVE LOAD: 30 PSF
FLOOR LIVE LOAD: 125 PSF
- THE CONTRACTOR SHALL NOTIFY THE CLIENT'S GEOTECHNICAL ENGINEER TO COORDINATE HAVING A FIELD REPRESENTATIVE ON SITE FOR TESTING AND INSPECTION.
- FOOTINGS SHALL BEAR ON VIRGIN SOIL OR COMPACTED FILL MATERIAL CAPABLE OF SUPPORTING A MINIMUM SOIL BEARING PRESSURE OF 3000 PSF.
- SUBGRADE PREPARATION:
A. REMOVE ALL SOILS CONTAINING TOPSOIL: ORGANIC MATERIALS, AND/OR FILL MATERIALS FROM WITHIN AREA OF ENCLOSURE FOUNDATION.
B. PROOF ROLL RESULTING SUBGRADE WITH A HEAVILY LOADED SINGLE AXLE ROLLER OR SIMILAR VEHICLE. (20 TON LOAD). CONTRACTOR SHALL UNDERCUT AND REPLACE WITH ENGINEERED FILL. ALL LOOSE SOFT OR UNSTABLE AREAS REVEALED DURING PROOFROLLING AS DIRECTED BY THE TESTING AGENCY. CONTRACTOR SHALL INCLUDE ANTICIPATED UNDERCUT AND REPLACEMENT AS INDICATED IN THE GEOTECHNICAL REPORT AS PART OF THE BID.
C. BACKFILL AND COMPACT THE AREA WITHIN THE BUILDING FOUNDATION. BETWEEN RESULTANT SUBGRADE AND FOUNDATION WALL WITH APPROVED GRANULAR MATERIAL.
- FOUNDATION WALLS SHALL BE BACKFILLED EVENLY ON EACH SIDE OF THE WALL OR WALLS SHALL BE ADEQUATELY BRACED BY THE CONTRACTOR UNTIL FLOOR SLAB HAS BEEN PLACED AND CURED FOR 72 HOURS MINIMUM.
- ENCLOSURE SHALL NOT BE SET UNTIL FLOOR SLAB HAS BEEN CURED FOR 72 HOURS MINIMUM.
- CONTRACTOR TO ENSURE FOUNDATION / SLAB ARE POURED TO MEET FLATNESS LEVEL TOLERANCES AS INDICATED IN ACI 4.5.6 AND 4.5.7.

B. EQUIPMENT ENCLOSURE

THE EQUIPMENT ENCLOSURE IS A PRE-FABRICATED BUILDING MANUFACTURED BY FIBREBOND, MINDEN, LOUISIANA.
THE EQUIPMENT ENCLOSURE BUILDING SHALL BE FURNISHED AND INSTALLED BY THE OWNER UNDER SEPARATE CONTRACT PER THE OWNER AND MANUFACTURER SPECIFICATIONS.

C. CONCRETE NOTES

- ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 318 AND ACI 301, LATEST EDITION. THESE DOCUMENTS SHALL BE AVAILABLE IN THE FIELD OFFICE.
- EXCEPT WHERE OTHERWISE INDICATED, CONCRETE SHALL BE NORMAL WEIGHT AND WITH MINIMUM 28-DAY COMPRESSIVE STRENGTHS OF $F_c=4000$ PSI. ALL EXTERIOR EXPOSED CONCRETE SHALL BE AIR ENTRAINED.
- REINFORCING BARS SHALL CONFORM TO ASTM A615, GRADE 60. ALL WELDED WIRE FABRIC SHALL CONFORM TO ASTM A185.



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SITE 269150
SBA # W16624-B

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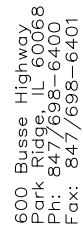
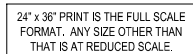
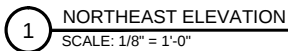
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DE PERE, WI 54115

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SHEET TITLE
EQUIPMENT
ENCLOSURE
FOUNDATION PLAN

SHEET NUMBER

C-6

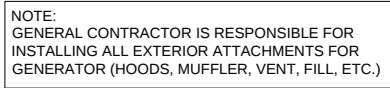


SITE 269150
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1711 SUBURBAN DR
DE PERE, WI 54115

SHEET TITLE
ANTENNA
ELEVATION

ANT-1

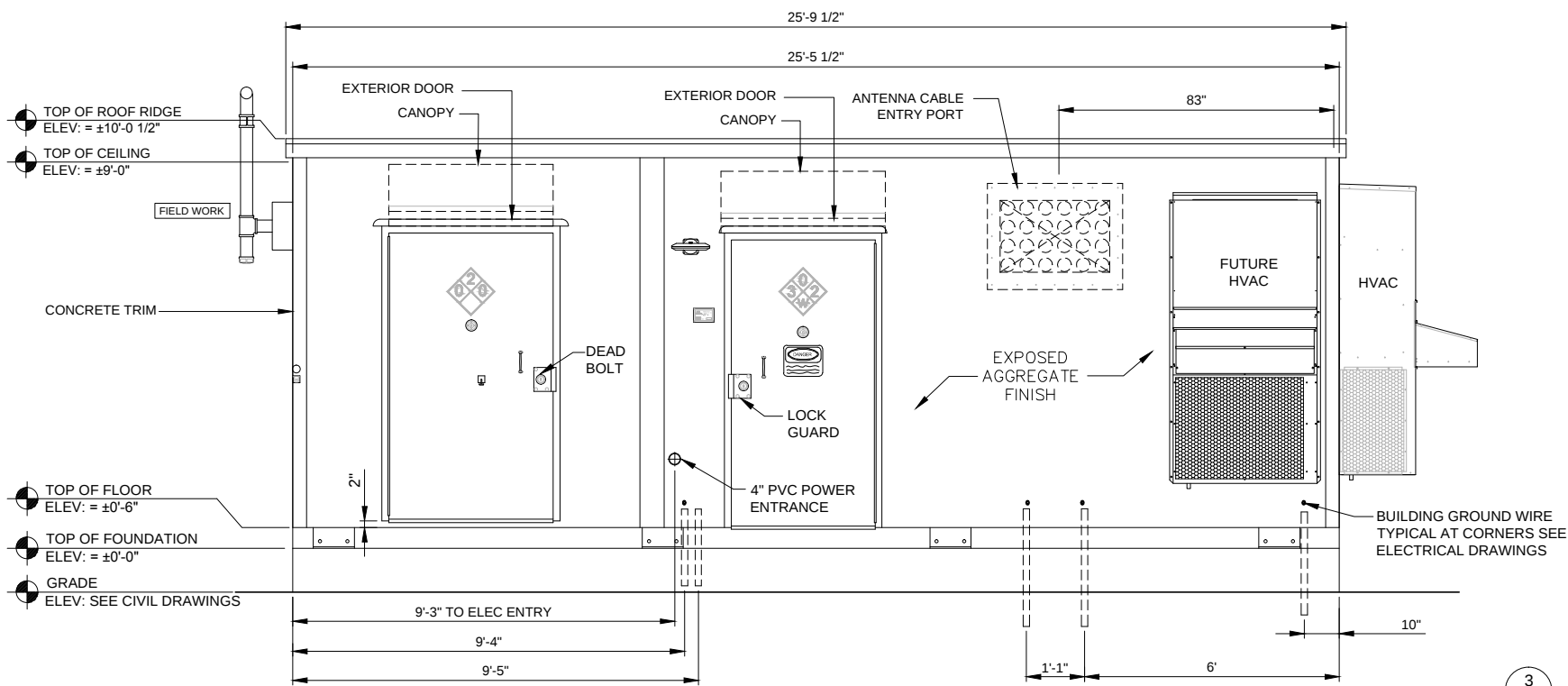


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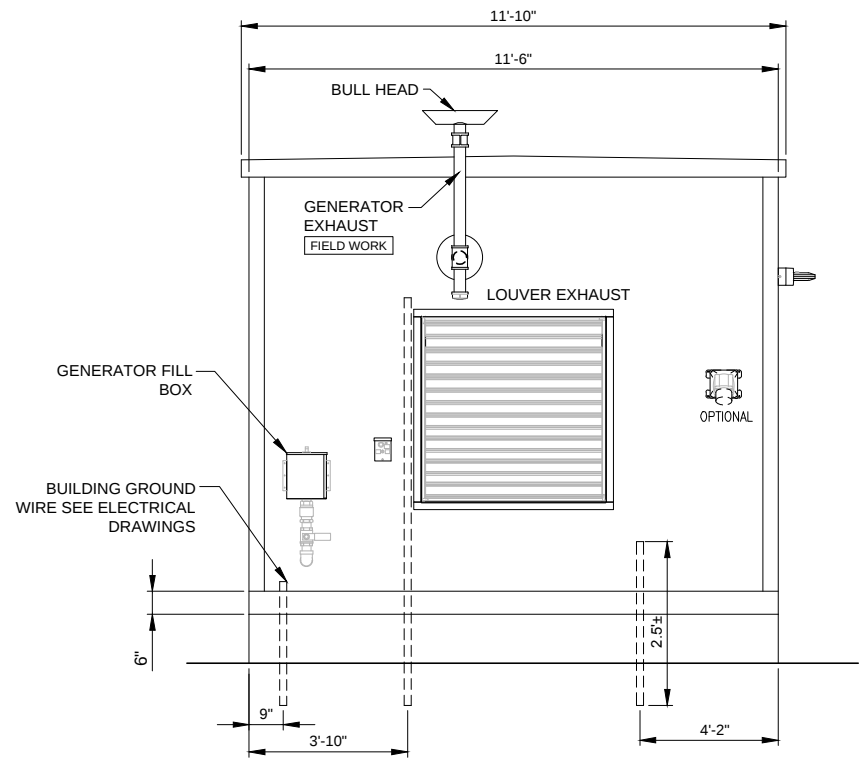
1. EQUIPMENT ENCLOSURE IS PRE MANUFACTURED. THIS SHEET IS PROVIDED AS GUIDE ONLY. REFER TO ACTUAL DRAWINGS BY SHELTER MANUFACTURE FOR FULL BUILDING PLANS.
2. EPS BOARD INSULATION IS LISTED TO HAVE A FLAME SPREAD OF 25 OR LESS AND SMOKE DEVELOPED OF 450 OR LESS WITH A MAXIMUM THICKNESS OF 2 INCHES AT 1 PCF DENSITY. POLYISOCYANURATE FOAM INSULATION HAS BEEN TESTED TO A MAXIMUM THICKNESS OF 3 INCHES AT 1.9 PCF AND HAS A FLAME SPREAD OF 25 AND A SMOKE PRODUCT OF 395.
3. INTERIOR PANELING IS LISTED TO HAVE A FLAMESPREAD OF 200 OR LESS.
4. THIS ENCLOSURE IS CLASSIFIED AS USE GROUP B, TYPE 5B CONSTRUCTION; PER 1999 BOCA AND IS IN COMPLIANCE WITH 1999 BOCA BUILDING CODE, 1996 INTERNATIONAL MECHANICAL CODE, 2002 NEC AND ILLINOIS ASHRAE 90.1.
5. DESIGN CRITERIA
WIND LOAD = 125 MPH
ROOF LIVE LOAD = 100 PSF
FLOOR LIVE LOAD = 135 PSF
ROOF DEAD LOAD = 45 PSF
FLOOR DEAD LOAD = 35 PSF
WALL DEAD LOAD = 35 PSF
SNOW LOAD = 80 PSF
SEISMIC EXPOSURE GROUP = III
6. $F_p = 5000 \text{ PSI @ 28 DAYS (EQUIPMENT ENCLOSURE)}$
7. ENCLOSURE AND ASSOCIATED EQUIPMENT IS PROVIDED BY OWNER UNDER SEPARATE CONTRACT. EQUIPMENT ENCLOSURE INFORMATION INDICATED HEREIN IS PROVIDED FOR REFERENCE ONLY AND IS TAKEN FROM MANUFACTURER'S AVAILABLE DATA. REFER TO CIVIL, STRUCTURAL AND ELECTRICAL DRAWINGS FOR WORK TO BE PERFORMED UNDER THIS CONTRACT.
8. PRIOR TO PROJECT CLOSE OUT AND SHELTER INSTALLATION, THE GENERAL CONTRACTOR IS TO CLEAN THE SHELTER FLOOR AND APPLY A STATIC- FREE WAX TO THE FLOORS.



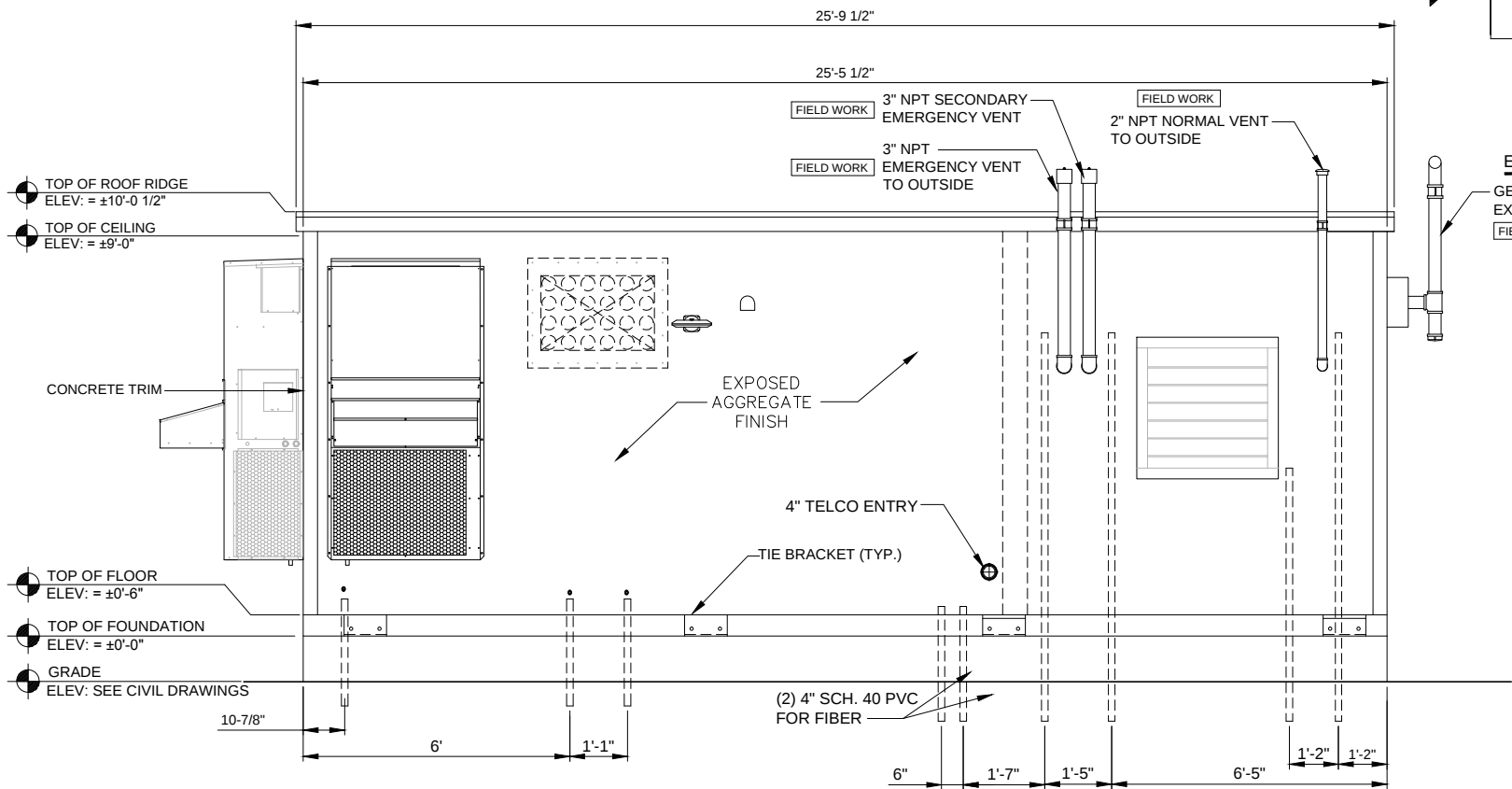
SITE 269150
SBA # WI16624-B



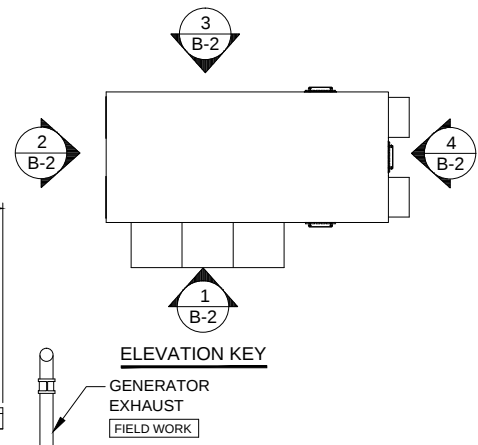
1 ELEVATION-EQUIPMENT ENCLOSURE
SCALE: 1/2" = 1'-0"



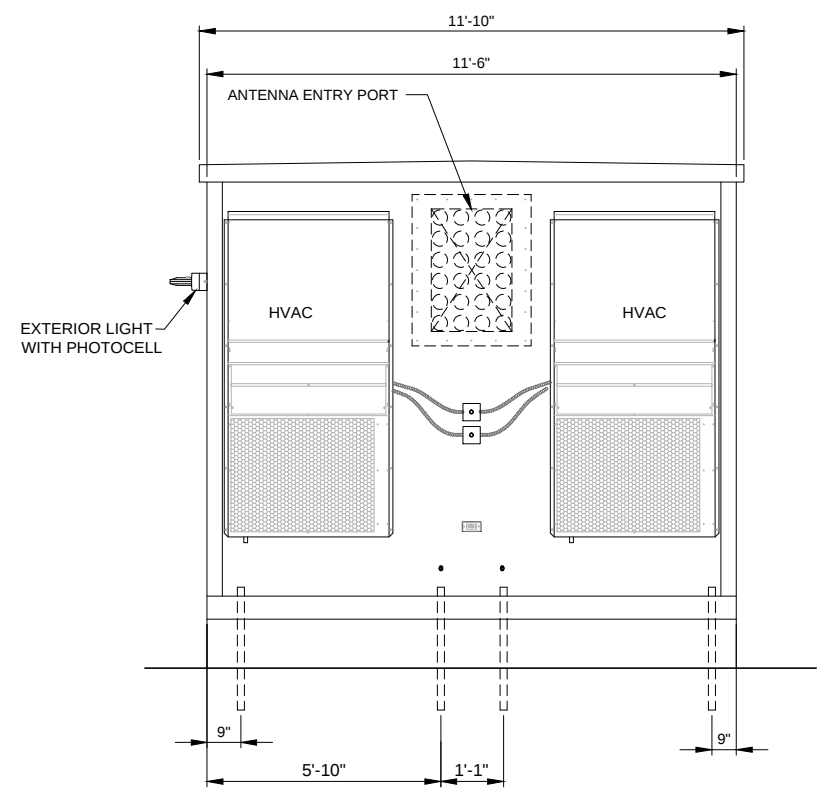
2 ELEVATION-EQUIPMENT ENCLOSURE
SCALE: 1/2" = 1'-0"



3 ELEVATION-EQUIPMENT ENCLOSURE
SCALE: 1/2" = 1'-0"



ELEVATION KEY
GENERATOR EXHAUST
FIELD WORK



4 ELEVATION-EQUIPMENT ENCLOSURE
SCALE: 1/2" = 1'-0"



SBA

SBA TOWERS VI, LLC
5900 BROKEN SOUND PKWY NW
BOCA RATON, FL 33487
PHONE: 1-800-487-7483



TERRA
CONSULTING GROUP, LTD.

600 Busse Highway
Park Ridge, IL 60068
Ph: 847/698-6400
Fax: 847/698-6401

REVISIONS		DATE							
NO.	DESCRIPTION	DATE							
1	ISSUED FOR ZONING	04/22/15							

SITE 269150
SBA # W16624-B

DEPERE 2

1711 SUBURBAN DR
DE PERE, WI 54115

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	01/06/15
PROJECT #:	7588

SHEET TITLE
EQUIPMENT ENCLOSURE ELEVATIONS

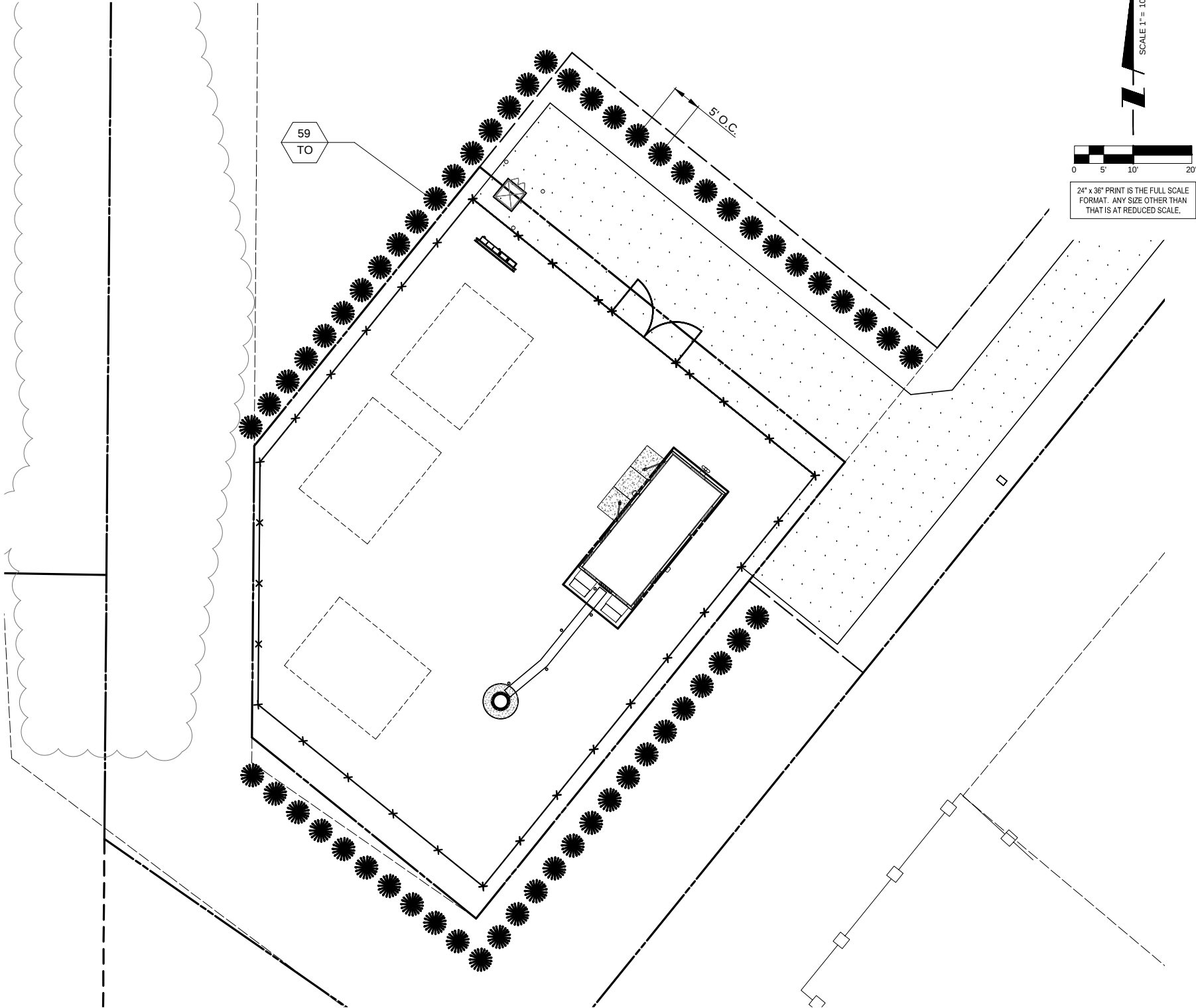
SHEET NUMBER
B-2

GENERAL LANDSCAPE NOTES

1. PRUNE NEWLY INSTALLED SHRUBS. WORK SHALL BE DONE BY EXPERIENCED PERSONNEL TO THE ACCEPTED HORTICULTURAL AND ARBORICULTURAL STANDARDS. PRUNING SHALL RESULT IN A LOOSE OUTLINE CONFORMING TO THE GENERAL SHAPE OF THE SHRUB TYPE. DO NOT USE HEDGE SHEARS.
2. ALL PLANTING STOCK SHALL BE NURSERY-GROWN IN ACCORDANCE WITH GOOD HORTICULTURAL PRACTICE. PLANTS SHALL BE FREE OF DISEASE, INSECTS EGGS, LARVAE AND DEFECTS SUCH AS KNOTS, SUN-SCALD, INJURIES, ABRASIONS OR DISFIGUREMENT. THEY SHALL HAVE SOUND, HEALTHY VIGOROUS AND UNIFORM GROWTH TYPICAL OF THE SPECIES AND VARIETY, WELL-FORMED, FREE FROM IRREGULARITIES, WITH THE MINIMUM QUALITY AND SIZE CONFORMING TO AMERICAN STANDARD FOR NURSERY STOCK.
3. GUARENTEE: WARRANT ALL PLANT MATERIAL TO BE TRUE TO BOTANICAL NAME AND SPECIFIED SIZE. AFTER COMPLETION OF PLANTING, ALL PLANT MATERIALS SHALL BE WARRANTED AGAINST DEFECTS, INCLUDING DEATH AND UNSATISFACTORY GROWTH FOR A WARRANTY PERIOD OF ONE YEAR. THE CONTRACTOR WILL NOT BE RESPONSIBLE FOR DEFECTS RESULTING FROM NEGLECT ABUSE, DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS BEYOND THE CONTRACTORS CONTROL WHICH RESULT FROM NATURAL CAUSES SUCH AS FLOODS STORMS, FIRES OR VANDALISM. REPLACEMENTS: DURING THE WARANTY PERIOD, REPLACE ONE TIME, AT NO ADDITIONAL COST TO THE OWNER, PLANT MATERIALS THAT ARE DEAD, OR IN THE OPINION OF THE LANDSCAPE ARCHITECT, IN AN UNHEALTHY OR UNSIGHTLY CONDITION. REJECTED PLANT MATERIALS SHALL BE REMOVED FROM THE SITE AT CONTRACTOR'S EXPENSE. REPLACEMENTS ARE TO BE MADE NO LATER THAN THE SUBSEQUENT PLANTING SEASON. RESTORE AREAS DISTURBED BY REPLACEMENT OPERATIONS.
4. MULCHING SHALL BE DONE WITHIN 48 HOURS AFTER PLANTING. MULCH SHRUB BEDS TO A UNIFORM DEPTH OF THREE INCHES. MULCH SHALL BE CLEAN COMPOSTED PINE BARK MULCH FREE OF FOREIGN MATERIAL AND LARGE PIECES OVER THREE INCHES LONG. DO NOT MULCH TREE AND SHRUB PLANTING PITS.
5. TOPSOIL SHALL CONSIST OF FERTILE FRIABLE NATURAL LOAM, CONTAINING A LIBERAL AMOUNT OF HUMUS AND SHALL BE SUBJECT TO INSPECTION AND APPROVAL. IT SHALL BE FREE OF ADMIXTURES OF SUBSOIL AND FREE OF CRAB GRASS, ROOTS, STICKS AND OTHER EXTRANEIOUS MATTER, AND SHALL NOT BE USED FOR PLANTING OPERATIONS WHILE IN A FROZEN OR MUDDY CONDITIONS.
6. REPAIR ALL TURF AREAS BY SEEDING. SEEDING INSTALLATION SHALL BE EXECUTED ONLY AFTER ALL FINISH GRADING HAS BEEN COMPLETED. NO SEEDING WORK SHALL BE DONE PAST SEPTEMBER 15, UNLESS APPROVED BY THE OWNER'S REPRESENTATIVE. SEED: SEDD MIX SHALL MATCH EXISTING TURF, OR BE A 50/50 MIX OF CERTIFIED IMPROVED BLEND OF BLUEGRASS AND CERTIFIED IMPROVED PERENNIAL RYE. MIX SHALL BE APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO PLANTING. SEEDING SHALL BE APPLIED AT A MINIMUM RATE OF 120 POUNDS PER ACRE. FUTERRA BLANKET, OR EQUAL, SHALL BE USED FOR EROSION CONTROL MULCH WHERE NECESSARY IN LIEU OF HYDRO MULCH.
7. PLANT MATERIAL SHALL CONFORM WITH THE CURRENT AMERICAN STANDARDS FOR NURSERY STOCK, PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN FOR THAT TYPE OF TREE OR SHRUB AT THE TIME OF INSTALLATION.
8. ALL TREES SHALL BE GROWN IN A NURSERY LOCATED IN THE NORTHERN HALF OF THE STATE OF ILLINOIS AND LICENSED BY THE STATE OF ILLINOIS.
9. THE PLANTING SEASON SHALL BE APPROXIMATELY OCTOBER 15 TO DECEMBER 1, AND MARCH 15 TO MAY 1.



OTHER UTILITIES NOT INCLUDED IN DIGGERS HOTLINE AND LOCAL UTILITY DISTRICTS AND COMPANIES SHALL ALSO BE NOTIFIED



PLANT LIST

SYMBOL	BOTANICAL NAME	COMMON NAME	QUANTITY	SIZE	COMMENTS
TREES					
TO	THUJA OCCIDENTALIS	AMERICAN ARBORVITAE	59	5 FT. HT. MIN.	B & B (BALLED & BURLAPPED)

3	PLANT QUANTITY
PG	PLANT SYMBOL

SBA TOWERS VI, LLC
5900 BROKEN SOUND PKWY NW
BOCA RATON, FL 33487
PHONE: 1-800-487-7483

600 Busse Highway
Park Ridge, IL 60068
Ph: 847/698-6400
Fax: 847/698-6401

REVISIONS		DATE
NO.	DESCRIPTION	
1	ISSUED FOR ZONING	04/22/15

SITE 269150
SBA # W116624-B

DEPERE 2

1711 SUBURBAN DR
DE PERE, WI 54115

DRAWN BY:	BTE
CHECKED BY:	TAZ
DATE:	01/06/15
PROJECT #:	7588

SHEET TITLE
LANDSCAPE PLAN

SHEET NUMBER
L-1

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: April 27, 2015

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the CSM Application for an extraterritorial CSM for 2 lot CSM in the Town of Rockland. Surveyor: American Surveys.*

ATTACHMENTS:

- PC_Staff_Apr27_Extra CSM (PDF)
- CSM_Extra_Rockland(PDF)

Item #6: Review the CSM Application for an extraterritorial CSM for 2 lot CSM in the Town of Rockland. Surveyor: American Surveys.*

American Surveys has completed a CSM with two lots on the corner of CTH PP and CTH W. Lot 1 is 10.02 acres and Lot 2 is 20.18 acres. The CSM does show all of the proper ESA's and setbacks. As a note in the Town of Rockland, the City land subdivision ordinance requires that lots that are created are a minimum of 10 acres.



Figure 1. Location of proposed CSM.

Recommendation

Staff would recommend approval of the CSM, and that the CSM be forwarded to the Common Council for approval. The CSM needs the following corrections:

1. CSM must meet the requirements specified by Brown County Planning.

	CITY OF DE PERE APPLICATION FOR CSM REVIEW	Fee: \$ 330.00
		Receipt #: 101117
	Date: 3-24-15	

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) DAVID MARX	Authorized Representative	Title	
Mailing Address 218 GOMTREE CORNER RD	City BRIDGETON	State N.J.	ZIP Code 08302
Email Address	Phone Number (incl. area code)	Fax Number (incl. area code)	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) American Surveys LLC	Contact Person STEVEN ZEITZER	Title Surveyor	
Mailing Address 7410 HIDDEN VALLEY RD	City MARIBEL	State WI	ZIP Code 54227
Email Address zeitze99@aol.com	Phone Number (incl. area code) 920-863-8411	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description CORNER OF CTH "PP" & CTH "W"	Parcel No. R-140
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SECTION 4: CSM Information

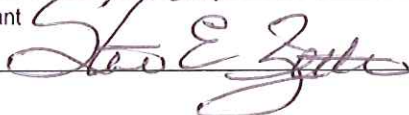
Existing Zoning: AG	
Present Use of Parcel: AG	
Proposed Use of Lots: AG	& ESTATE RESIDENTIAL (10 AC)

Please submit 1 hard copy and 1 PDF copy of the CSM if the property is located within the City or if the property is located within the extraterritorial jurisdiction.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Steven E Zeitzer	Title Surveyor	Phone Number 863-8411
Signature of Applicant 		Date Signed 3/24/15

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.

CERTIFIED SURVEY MAP

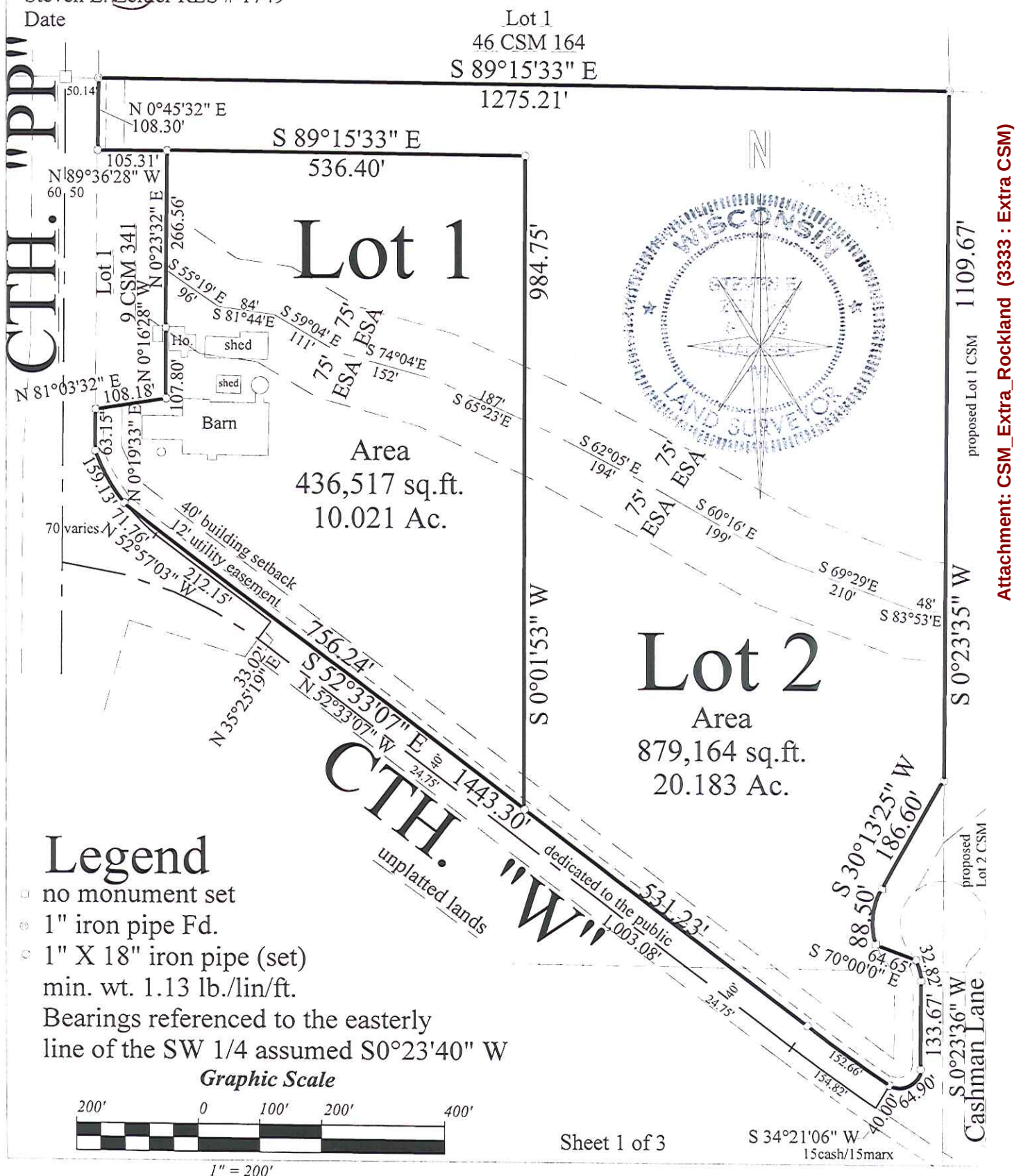
PART OF THE NW 1/4 -SW 1/4 AND SW 1/4 - SW 1/4, SECTION 11,
T.22 N. - R. 20 E., TOWN OF ROCKLAND, BROWN COUNTY, WISCONSIN

Surveyors Certificate:

I, Steven E. Zeitler, Registered Land Surveyor, do hereby certify that I have surveyed, divided, and mapped the land described hereon; that I have made such survey and map by the direction of the owners listed hereon; and that I have complied with the provisions of Chapter 236 Section 236.34 of the Wisconsin Statutes, the Town of Rockland, City of De Pere and the Brown County Planning Commission in surveying, dividing and mapping the hereon described parcel of land and that the map hereon is a true and correct representation of the surveyed division thereof..

Steven E. Zeitler 3/24/15
Steven E. Zeitler RLS #1749

Date



CERTIFIED SURVEY MAP

PART OF THE NW 1/4 -SW 1/4 AND SW 1/4 - SW 1/4, SECTION 11,
T.22 N. - R. 20 E., TOWN OF ROCKLAND, BROWN COUNTY, WISCONSIN

RESTRICTIVE COVENANTS

1. A. Shoreland permit from the Brown County Zoning Administrator's Office is required for Lot 1 or Lot 2 prior to any construction, fill or grading activity within 300 feet of a stream.
2. The property owners, at the time of construction, shall implement the appropriate soil erosion control methods outlined in "Wisconsin Construction Site Best Management Practice Handbook" (Available from the Wisconsin Department of Natural Resources) to prevent soil erosion. However, if at the time of construction the Town has an adopted soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction or installation related activities.
3. No development shall occur on Lot 1 or Lot 2 until such time that public sewer and water is available OR the construction of structures which rely upon onsite sewage disposal systems for sanitary waste disposal shall be prohibited on Lot 1 and Lot 2 until all state, county, and municipal regulations have been met and a sanitary permit has been issued by the Brown County Zoning Administrator's Office.
4. The land on all side and rear lot lines of all lots shall be graded by the owner and maintained by abutting property owners to provide for adequate drainage of surface water.
5. Lots 1 and 2 contain an Environmentally Sensitive Area (ESA) as defined in the Brown County Sewage Plan. The ESA includes the wetlands, all land within 35 feet of the wetlands 2 acres or greater, floodway, all land within 35 feet of the floodway or 75 feet beyond the ordinary high water mark - whichever is greater, navigable waterways, and all land within 75 feet of the ordinary high water mark of navigable waterways. Development and land disturbing activities are restricted in the ESA unless amendments are approved by the Brown County Planning Commission and the Wisconsin Department of Natural Resources.

Attachment: CSM_Extra_Rockland (3333 : Extra CSM)

CERTIFIED SURVEY MAP

PART OF THE NW 1/4 -SW 1/4 AND SW 1/4 - SW 1/4, SECTION 11,
T.22 N. - R. 20 E., TOWN OF ROCKLAND, BROWN COUNTY, WISCONSIN

OWNERS CERTIFICATE:

As owners, we hereby certify that we caused the land described on this map to be surveyed, divided, mapped and dedicated as represented hereon; we also certify that this Certified Survey Map is required to be submitted to the Town of Rockland, City of De Pere, and the Brown County Planning Commission, for approval or objection in accordance with current Land Subdivision Ordinances

David E. Marx

Susan Marx Moriarey

Tammy Marx Eckart

STATE OF WISCONSIN)

BROWN COUNTY)SS

Personally came before me this ____ day of _____, 2015 the above named owners, to me known to be the persons who executed the foregoing instrument and acknowledge the same.

Notary Public

Steven E. Zeitler

My commission expires 1/15/17

BROWN COUNTY TREASURER'S CERTIFICATE:

As duly elected Brown County Treasurer, I here by certify that the records in our office shown no unredeemed taxes and no unpaid or special assessments affecting any of the lands included in this Certified Survey Map as of the date listed below.

Paul D. Zeller

Date

Brown County Treasurer

TOWN OF ROCKLAND APPROVAL:

Approved by the Town of Rockland, Brown County
Wisconsin, on the ____ day of _____, 2015.

Jann Charette

Town Clerk

BROWN COUNTY PLAN COMMISSION APPROVAL:

Approved by the Brown County Planning Commission
this ____ day of _____, 2015.

for recording

Peter Schleinz

Senior Planner

CITY OF DE PERE APPROVAL

Approved for the City of De Pere, Wisconsin on the
____ day of _____, 2015

Shana Defnet

City Clerk

sheet 3 of 3

Attachment: CSM_Extra_Rockland (3333 : Extra CSM)