



Plan Commission

335 South Broadway

Regular Meeting

De Pere, WI 54115
<http://www.de-pere.org>

Agenda

Monday, April 28, 2014

7:00 PM

De Pere City Hall Council Chambers

Pursuant to Wisconsin Statutes 19.84, Notice is hereby given to the public that a Regular Meeting of the **Plan Commission** of the City of De Pere will be held on **April 28, 2014** at **7:00 PM** in the **De Pere City Hall Council Chambers**, 335 S. Broadway Street, De Pere, WI 54115.

This meeting can be viewed LIVE at www.depere.tv. This meeting is also rebroadcast on TW Cable Channel 4 and AT&T U-verse Channel 99 throughout the week and available on demand at www.depere.tv.

Call to Order

1. Roll Call
2. Approval of the minutes of the February 24, 2014 Plan Commission meeting.
3. Review the Precise Implementation Plan for Unison Credit Union at 900 Main Ave. Applicant: Mach IV.*
4. Review the Site Plan for a mixed use development at 115 N Erie St. Applicant: Mach IV.
5. Review the minor amendment to the Precise Implementation Plan for the row housing at 453 N 9th St. Applicant: Tom Berceau.
6. Presentation and recommendation of corridor design for 8th Street between Oak St and Ashland Ave. Presented by WisDOT and City of De Pere.
7. Presentation on the Master Plan for the Unified School District of De Pere sports field usage. Presentation by Rettler Corporation.

Adjournment

*** Items with an asterisk require City Council approval.**

Any person wishing to attend this meeting who, because of disability, requires special accommodations should contact the Clerk-Treasurer's office at 339-4050 by Noon, Monday April 28th 2014, so that arrangements can be made.

AGENDA SENT TO:

Plan Commission Members

Alderpersons
Bulletin Boards
News Media
Aaron C Michiels
Adam N & Briana L Petersen
Alhambra Village De Pere
Allen J & Brenda A Reckelberg
Allen W & Janice R Baeten
Amanda L Martinson
Amber M Conway
Andrew L Duchow
Ann C Karl

Gajeski Family Trust

Garrett Family Trust
Gary J Falk
Gene R & Patti J Fiala
Gerald A & Cynthia R Howard
Gerald Van Den Heuvel
Glen R & Sheila M Strebel
Heather L Baker
Henrigillis Trust
Holly E Arnold
HUD c/o Michaelson Connor & Boul
James & Barbara DeMoulin
James & Carol M Quinnette

Melina M Landess

Michael D MacNabb
Michael J & Elizabeth A Wagner
Michael L Younk
Michael L & Barbara A Eikenberry
Michael S Foster
Nancy L Jansch Blashka
Neighborhood Housing Services of GB
Nicole M Callahan
Patricia L Willems
Paul R Knope
Peter J Rietveld
Peter J & Patsy S Canzoneri

Anthony J & Donna J Leroy
Anthony R & Beth A Trofka
Arleen F Hockers
Arnold J & Nancy L Baugnet
Associated Bank Leasing
Audrey E Blood
Barbara D Baye & Dennis H Baye
Barbara J Younkle
BFE Acquisition LLC
BMG Development LLC
Boardwalk Properties LLC
Brian E Martinson
Brian J Sigmund
Byron J & Mary Kay Bressers
Carlyn H Cooper
Carol A Toonen
Cathy A Olesewski
C&C Investments of De Pere
Christopher L & Karen K Van Lanen
Christopher M & Laura J Spiering
Clarice A Konshak
Craig A & Barbara J Johnson
Craig A & Lisa T Kosbab
Craig S Jerabek & Denise M Golden
Dale D & Bonnie J Johnson
Daniel M & Teresa L Jauquet
Daniel R & Jennifer M Launer
David & Kathy Lemke
David J & Judith M Landwehr
David R Smith
Denis E & Connie J Fink
Dennis J & Kathleen B Stowe
Dennis M & Claudia D Larson
Dennis R Hendricks
Dennis W Horney
DKG Investments LLC
Douglas J & Jean L Meidl
Edmond L & Dianne E Tarrence
Edward & Elizabeth Wacek
Edward Vanden Elzen
Emil O Schultz
Erin M O'Connell
Gail L Severson

James G Fritsche DDS
James M & Cathy A Jordan
James R Thiem
James R & Kathryn L Wochinske
Jamie T Hendricks & Melissa Garski
Jason D & Christine L Miller
Jay M Trewyn
Jeffrey A Doberstein
Jerome & Vera Smet
Jerome C & Kisha N Brunette Jr
Jerry & Joan Zwicky & Joel R Zwicky
Joe A & Barbara L Williams
John & Kim Van Remortel
John B & Mary Clare Janz
John E Martinson
John L & Dorothy G Vanderkelen
John M Phillips
John M & Carolyn L Michkowski
John R Materniak
John W Marrick
Johnson Bank
Joseph H Westcott
Joseph K Henrigillis
Judith M Burdey
Kao Ong Lor & Kou Vang
Karl D Wachholz
Kenneth A & Rita M Delsart
Kenneth W & Barbara A Dequaine
Kent W McMullin
Kim Plaunt
KKB Properties LLC
Lance A Skaleski
Laurence & Kathleen Vander Kelen
Lauretta McKee
Leona L Sausen
Leonard M & Mary C Tarkowski
Lori A Dupuis
Lori L Stang
Lorraine R Albers
Marilyn Ebben & Allen DeGroot
Mark E & Kathleen A Peot
Mary E & James T Jones
Matthew R Schneider

Peter J Johnson
Phyllis J Day
Phyllis R Hendricks
PJS of De Pere LLP
Ralph L Enderby
Randall F Henrigillis
Richard A & Karen M Binkowsky
Robert H Phillips
Robert J Brennan Jr
Roberta C Wright
Roger L Mahler & Tammy M Valley
Roland E & Lydia F Calkins
Ronald W & Christine M Betz
Ronald W Waise
Sean D & Ann M Schroepfer
Sharon L Maki
Steve & Barbara Nohr
Suzette D Franklin
Thomas W & Elizabeth J Rottier
Tim J & Teresa M Geurts
Timothy A & Jill M Dougherty
Timothy J & Joanne M Alberts
Timothy L & Renee F Guzek
Trader Property Resources Inc
Travis J McAvoy
T&S Land Development LLC
Unified School District of De Pere
V-5 Investments LLC ETAL
Vincent Nardi
Walgreen Co Real Estate
Warren L Conard
Wayne G Rasmussen
WB Investments LLC
West De Pere LLC/Auto Zone Inc
William G & Becky M Dorsey Jr
William J Weier
William K Elliott
William R & Brianna N Nowak
Wobin Zhang & Renwen Yu
Wochinske James R & Kathryn L
8th St DP LLC ETAL/TCH Homes

City of De Pere, Wisconsin



Request For Plan Commission Action

MEETING DATE: April 28, 2014

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Approval of the minutes of the February 24, 2014 Plan Commission meeting.

ATTACHMENTS:

- PC_Minutes_Feb2014_draft (PDF)



Plan Commission

335 South Broadway

De Pere, WI 54115

<http://www.de-pere.org>

Regular Meeting

Draft Minutes

Monday, February 24, 2014

7:00 PM

De Pere City Hall Council Chambers

Call to Order

The meeting was called to order at 7:00 PM by Mayor Michael J. Walsh

Attendee Name	Title	Status	Arrived
Derek Beiderwieden	Commissioner	Present	
James Boyd	Alderman	Present	
Jim Kalny	Commissioner	Present	
Larry Lueck	Alderman	Present	
Elizabeth Runge	Commissioner	Present	
Steve Taylor	Commissioner	Absent	
Michael J. Walsh	Mayor	Present	

Also present: City Planning Director Ken Pabich and members of the public.

2. Approval of the minutes of the January 27, 2014 Plan Commission meeting.

RESULT: ADOPTED [UNANIMOUS]
MOVER: Jim Kalny, Commissioner
SECONDER: Derek Beiderwieden, Commissioner
AYES: Beiderwieden, Boyd, Kalny, Lueck, Runge, Walsh
ABSENT: Steve Taylor

3. Review the Site Plan Application for exterior elevation changes at 486 Main Ave.

Applicant: Lingle Design Group.

Ken Pabich reviewed the site plan application and recommendations from city staff. The plan matches the city's downtown design standards. The applicant has been approved for a facade grant by the Redevelopment Authority. The Plan Commission unanimously approved the application with staff items being addressed.

RESULT: ADOPTED [UNANIMOUS]
MOVER: Jim Kalny, Commissioner
SECONDER: James Boyd, Alderman
AYES: Beiderwieden, Boyd, Kalny, Lueck, Runge, Walsh
ABSENT: Steve Taylor

4. Presentation and review of corridor alternatives for WIS HWY 32 (Main Av) by WisDOT.

Bryan Lipke from the Wisconsin DOT, along with Kevin Ruland and Jamie Curtin from MSA Professional Services, provided a presentation of several corridor alternatives for the Highway 32/Main Av project.

The baseline alternative ("do nothing" option), allows for pavement replacement but no other changes.

Alternative #1 would improve the existing configuration within the same general traffic flow. It would include additional turn lanes and convert the intersections at 6th & Main and 3rd and Main into signals or roundabouts. It would also include traffic calming features such as an island median to "funnel" traffic and slow speeds, elongated "speed bumps", and a midblock crossing with bump outs.

Alternative #2B would convert Reid St and Main Av into two-way streets. Reid would be designated as the WIS 32 route. This configuration would be similar to Green Bay's Main St near the KI Center. Main Av would have 2 lanes with parking & bike lanes; Reid St would have 4 lanes plus turn lanes (no parking or bike lanes with this alternative). Reid St would also have limited terrace width. Reid would require medians in certain locations which would make entering/exiting driveways at those points a challenge. This alternative would necessitate acquiring nine additional feet of right of way on Reid. This would require removal of three buildings as well as some off street parking in order to increase the size of the 3rd & Reid intersection.

Alternative #3 would convert 3rd & 4th St into one way pairs. This configuration would improve operations and safety within the existing roadway footprint. 3rd St would be one way northbound, and 4th St would be one way southbound. The DOT is focusing on the stretch between Grant & Main, but the City could choose to extend the one way pairs further.

Ken Pabich clarified that the Plan Commission is NOT choosing an alternative tonight; they are attempting to narrow the choices that will be selected for further study. Discussion followed regarding the three alternatives.

Mayor Walsh motioned, seconded by Jim Kalny, to open the meeting for public comments.

Jean Van den Alten expressed concern about alternative #2B.

Lori Jarvis spoke in favor of alternatives #1 or 3 so that green space will not be lost.

Kathy Leonards recommended eliminating alternative #2B.

Jim Kalny motioned, seconded by Derek Beiderwieden, to return to regular order.

Aldersperson Lueck motioned, seconded by Jim Kalny, to eliminate alternative #2B from further study by the DOT. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Larry Lueck, Aldersperson
SECONDER:	Jim Kalny, Commissioner
AYES:	Beiderwieden, Boyd, Kalny, Lueck, Runge, Walsh
ABSENT:	Steve Taylor

5. Review the modifications to Chapter 16 Floodplain Zoning Ordinance.*
Ken Pabich reviewed the proposed changes to the city's floodplain zoning ordinance. The board voted unanimously to approve the modifications and forward the item to City Council.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Derek Beiderwieden, Commissioner
SECONDER:	James Boyd, Alderperson
AYES:	Beiderwieden, Boyd, Kalny, Lueck, Runge, Walsh
ABSENT:	Steve Taylor

Adjournment

Mayor Walsh motioned, seconded by Alderperson Boyd, to adjourn the meeting at 8:05 PM.

Respectfully submitted,
Carey Danen

City of De Pere, Wisconsin



Request For Plan Commission Action

MEETING DATE: April 28, 2014

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the Precise Implementation Plan for Unison Credit Union at 900 Main Ave. Applicant: Mach IV.*

ATTACHMENTS:

- PC_Staff_April_Unison (PDF)
- Unison Site Plan (PDF)

City of De Pere
Staff Comments

Plan Commission
April 28, 2014

Item #3: Review the Precise Implementation Plan for Unison Credit Union at 900 Main Ave.
Applicant: Mach IV.*

Overview	
Unison Credit Union is proposing a new facility located at 900 Main Ave. The site is severely limited by two large utility easements that cut through the property. The basic site statistics for the project are:	
Parcel Area:	37,993 sq ft
Building:	2,955 sq ft (7.8%)
Pavement:	17,683 sq ft (46.5%)
Green Space:	17,355 sq ft (45.7%)
Parking:	22 stalls including 2 ADA
The parcel has a PDD overlay zoning so the project plan is considered the Precise Implementation Plan. If approved by the Plan Commission, it will need to be approved by the City Council.	
Public Works	
<i>Required Actions:</i>	
1. A 4" sanitary sewer lateral is shown. Clarify on the plan if this is an existing connection or a new tap proposed. 2. The plan shows a 1 ½ inch water service near the location of the existing water service connecting to Main Avenue. Clarify on the plan if the water service is an existing connection or a new tap proposed. The size of the existing service is unknown. If this is a new service consider connecting to the 6" PVC water main on Oak Street near the west property line or to Ninth Street. Use polyethylene (PE) tubing conforming to the requirements of AWWA C901, PE 3408, DR 9. The plan specifies DR 18 PVC. 3. Abandon all existing unused connections to the property at the main and under the observation of City personnel. Abandon the existing water service by closing the corporation and removing the water service. 4. Note on the plan that, "All taps to the City water main are to be completed under the observation of City personnel". 5. Storm water discharges to a biofilter on site. Modify the emergency overflow so it is not draining to the City right of way. 6. Section 28-7 specifies a runoff curve number (CN) of 71 to determine the peak pre-development discharge rates. The storm water management plan specifies CN=93 for the existing condition. Revise and resubmit the calculations to show the peak post development discharge rate does not exceed the peak pre-developed discharge rate for the two-year, ten-year, and 100-year design storms. Use CN=71 to determine the peak pre-development discharge rates. Notify the City if there are site constraints for limiting the peak flow. 7. Abandon the storm structure outlet pipe at the connection to the City sewer main. 8. A maintenance agreement for the biofilter is required prior to the City issuing an occupancy permit. The City will provide this agreement to the property owner. Once the City approves the completed agreement, the property owner is to record the agreement with the County and provide the City with a copy of the recorded agreement. 9. Remove the curb opening for the driveway on Main Avenue. The existing concrete pavement has integral curb and gutter. Curb replacements to close the existing driveway will include 24" curb and gutter sections constructed to the nearest pavement joint and tied to the adjacent pavement. Complete new curb cuts to comply with the City curb cut permit requirements. 10. All utility connections to be made within the street right of way will require a street excavation permit. 11. Show and label the right of way and property lines on the plan. 12. Show dimensions of adjacent streets and right of ways. 13. Curb cut permits are required for new driveways.	
Forestry & Parks	
<i>Required Actions:</i>	
1. Planting detail needs to be updated to WDNR standards. 2. Plant material needs to be planted to standards of WDNR. 3. Staff would recommend that the tree placement on Main Ave be moved to not block the signage (i.e., move further to the west).	

Attachment: PC_Staff_April_Unison (2101 : Unison)

Fire

Required Actions:

1. Provide detailed plans for construction review, provide details of use for all areas of structure.
2. Provide exit/emergency lighting throughout the means of egress. Provide detailed egress information with travel distances and arrangements. Aisles at west end must provide for pass through without creating a dead end.
3. No smoking and floor loading signage may be required.
4. Provide fire extinguishers at 75' travel distance throughout facility towards exits.
5. Provide sprinkler system drawings with calcs and cut sheets for approval prior to installation. Show location for fire department connection on plans.
6. Provide fire alarm system drawings for approval prior to installation of this system. Fire alarm system must be monitored by a central station.
7. Install key box for fire department access.

Planning & Building Inspection

Required Actions:

1. The enclosure detail was not provided. The material for the enclosure needs to match the building materials and it must have non metal gates.
2. While pictures of other facilities were provided, final elevations shall be provided to the City for approval. Elevations shall include materials, colors and shingle type.
3. Signage will require a sign permit.

Recommendation:

Staff recommends approval of the project with the items identified above being addressed. The Precise Implementation Plan (PIP) also needs City Council approval.



CITY OF DE PERE

APPLICATION FOR
SITE PLAN REVIEW

Fee: \$ 245.00

Receipt #: #91626

Date: 4-14-14

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: UNISON CREDIT UNIONMailing Address: P.O. Box 260, KAUKAUNA, WI 54130Phone: 920-766-6000Email: mhieta@unisoncu.org

I hereby appoint the following as my agent for purposes of this application:

Agent:

Name: MACH 10 ENGINEERING & SURVEY LLCMailing Address: 211 N BROADWAY STE 114Phone: 920 569 5765Email: 920 569 5767

B. Property Information

Address/Location of Property: 900 MAIN AVE Parcel #: WD-709-3-3Parcel Dimension: ~135' x ~248' Parcel Area: 37,992 SFLegal Description: LOT 1 OF 15CSM 237

A Site Plan Review is requested as authorized by the De Pere Zoning Code, Section(s): Article XIII, Section 14.60.

Owner Signature

Date

Agent Signature

Date

A plan consisting of all applicable information listed on the attached shall be submitted with this application. An AutoCAD drawing matching the state approved plans must be submitted in Brown County Coordinates before permits can be issued.

COVER SHEET



Keller

PLANNERS / ARCHITECTS / BUILDERS
Keller
1000 N. Broadway, Suite 114, Green Bay, WI 54303
P.O. Box 431, 4315
Phone: (920) 762-9717
Fax: (920) 762-9717

UNION CREDIT UNION
1000 N. Broadway, Suite 114, Green Bay, WI 54303
P.O. Box 431, 4315
Phone: (920) 762-9717
Fax: (920) 762-9717
www.unioncreditunion.com

PROPOSED FOR:

UNISON CREDIT UNION

De Pere Wisconsin

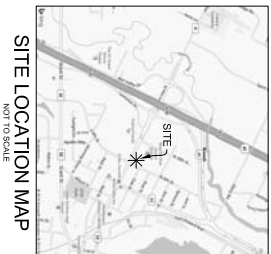
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REVISIONS

NO.	DESCRIPTION	DATE

PROJECT MANAGER	
DESIGNER	
DRAWN BY	
EXPIRED	
SUPERVISOR	
CONTRACT NO.	
IID NO.	
DATE	March 28, 2014
SHEET	C0.0



CIVIL SHEETS INDEX

- C0.0 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS
- C6.1 SITE DETAILS
- L1.0 LANDSCAPE PLAN

GENERAL NOTES:

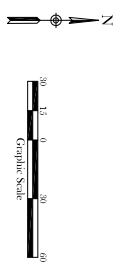
1. FOR EROSION CONTROL, PLAN AND NOTES SEE SHEET C5.0 AND C5.1.
2. FOR NOTES SHOWN THIS, (V) SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.
3. CARE SHALL BE TAKEN TO PROTECT EXISTING IMPROVEMENTS TO REMAIN.
4. LAND DISTURBING ACTIVITIES SHALL NOT TAKE PLACE PRIOR TO INSTALLATION OF EROSION CONTROL MEASURES.
5. NOTIFY THE DE PERE PUBLIC WORKS DEPARTMENT A MINIMUM OF THREE DAYS PRIOR TO WORK IN THE RIGHT-OF-WAY.
6. PROVIDE TRAFFIC CONTROL IN ACCORDANCE WITH THE MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.

CIVIL LEGEND

Existing	Proposed	Existing	Proposed
1" Iron Pipe Found	Underground Cable	ASPH	ASPH
2" Iron Pipe Found	Overhead Wires	C	C
Cable Pedestal	Underground Electric	CM	CM
Electric Manhole	Gas	CON	CON
Electric Meter	Landscaping	DOT	DOT
Electric Pedestal	Landscaping	E	E
Light Pole	Power Pole	EL	EL
Manholeless Utility Pole	Sanitary Sewer	FO	FO
Gas Valve	Watermain	GR	GR
Gas Line Marker	Contour Major	IN	IN
Rock	Contour Minor	MA	MA
Handicap Parking	Salt Pile	MIN	MIN
Sanitary Manhole	Building	N	N
Back	Asphalt		
Sign	Concrete		
Traffic Signal			
Evergreen Tree			
Tree Hydrant			
Water Valve			

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CALL DIGGERS HOTLINE
TOLL FREE
1-800-242-3511

WISCONSINATIVE RESIDENTS REQUESTING INFO, 3
WORKING DAYS BEFORE BEGINNING OF WORKING,
AS SHOWN ON THE PLAN AND EROSION CONTROL, THESE
LAW ENFORCERS, UNDERGROUND UTILITIES, AND
WATER MAINS, SHOULD BE NOTIFIED BY PHONE.



DEMOLITION PLAN



Keller

PLANNERS ARCHITECTS ENGINEERS
1000 N. KALAMAZOO
PO BOX 4410
MUSKEGON, MI 49644
PHONE (269) 762-9797
FAX (269) 762-9797

MANAGER
1000 N. KALAMAZOO
PO BOX 4410
MUSKEGON, MI 49644
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PROPOSED FOR:

UNISON CREDIT UNION

De Pere

Wisconsin

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REVISIONS

PROJECT MANAGER	
DESIGNER	
DRAWN BY	RFH
EXPLORER	
SUPERVISOR	
CONTRACT NO.	
IID NO.	
DATE	March 28, 2014
SHEET	C10

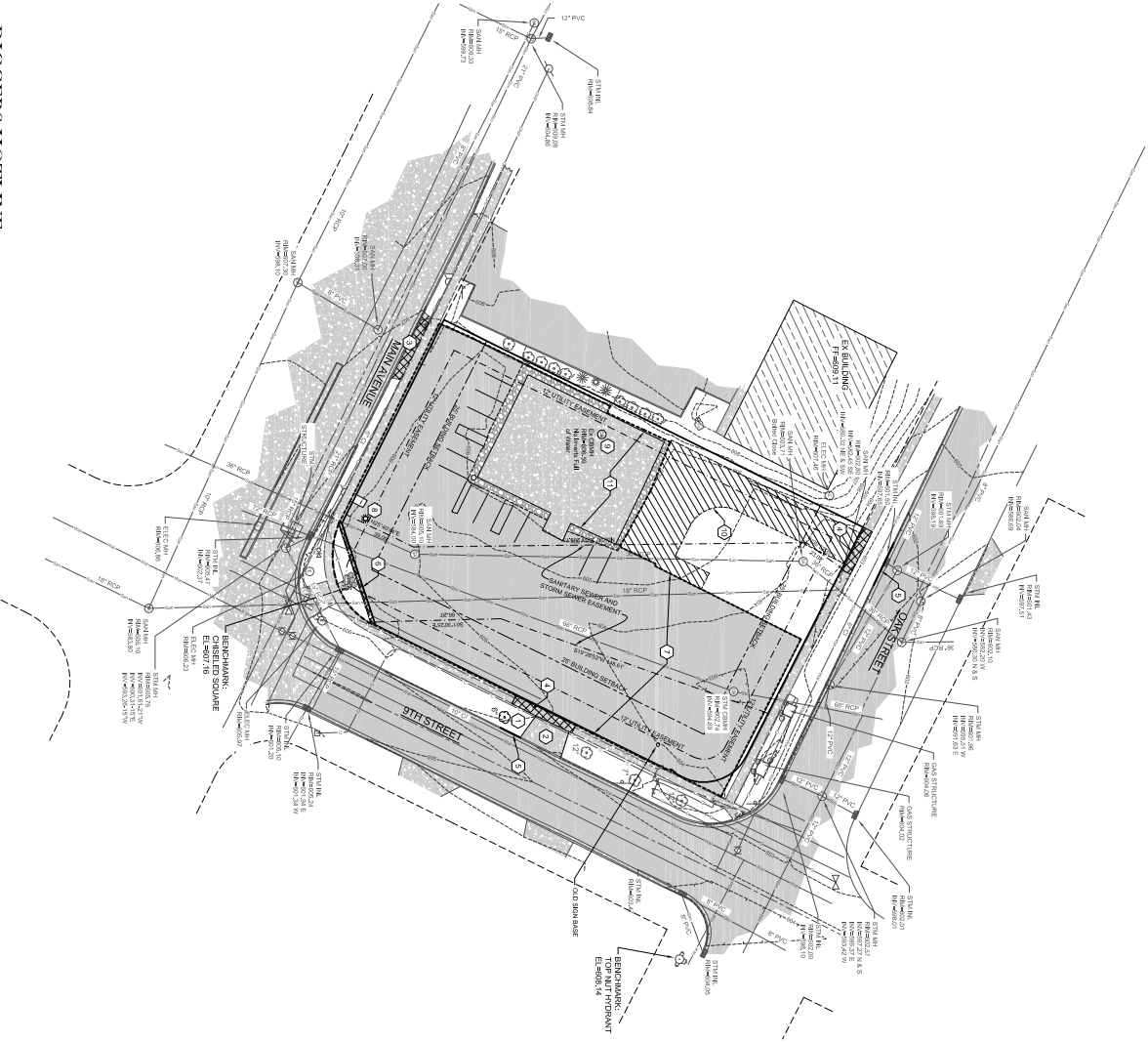
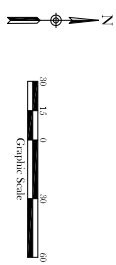
Mach IV

Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
Project Number: 072541-14 Drawing Number: 229

SHEET KEY NOTES:

- 1 REMOVE TREE
- 2 REMOVE CONCRETE APRON
- 3 REMOVE CONCRETE APRON AND REPLACE CURB WITH LIVE AND PEIR CITY OF DEFENSE STANDARDS
- 4 REMOVE EXISTING REMAINT TO FACILITATE CONSTRUCTION OF NEW CONCRETE APRON
- 5 SAWCUT CURB HEAD WITH NAIL MOUNTED HYDRAULIC CONTROLLED CONCRETE SAW TO FACILITATE CONSTRUCTION OF NEW CONCRETE APRON
- 6 REMOVE CONCRETE CURB AND OUTLET
- 7 REMOVE ASPHALT CONCRETE PAVEMENT GRAVEL, AND LANDSCAPE TIMBERS WITHIN SHOWN LIMITS
- 8 REMOVE TEMPORARY POWER POLE, COORDINATE WITH LOCAL UTILITY
- 9 REMOVE STORM STRUCTURE AND OUTLET PIPE, LOCATION OF OUTLET PIPE UNKNOWN A TIME OF SURVEY, FIELD VERIFY
- 10 STRIP AND STOOPPILE TOPSOIL IN AREA OF PROPOSED PAVEMENT
- 11 REMOVE CONCRETE SLAB AND FOOTING

DIGGERS HOTLINE
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TOLL FREE
1-800-242-8511
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SITE PLAN



Keller

PLANNERS / ARCHITECTS / ENGINEERS
Keller
1000 N. Broadway, Suite 114, Green Bay, WI 54303
P.O. Box 431435
Green Bay, WI 54303
PHONE (920) 762-2975 / FAX (920) 762-2976
WWW.KELLER-TH.COM

UNISON CREDIT UNION
1000 N. Broadway, Suite 114, Green Bay, WI 54303
P.O. Box 431435
Green Bay, WI 54303
PHONE (920) 762-2975 / FAX (920) 762-2976
WWW.UNISONCREDITUNION.COM

PROPOSED FOR:

UNISON CREDIT UNION

De Pere Wisconsin

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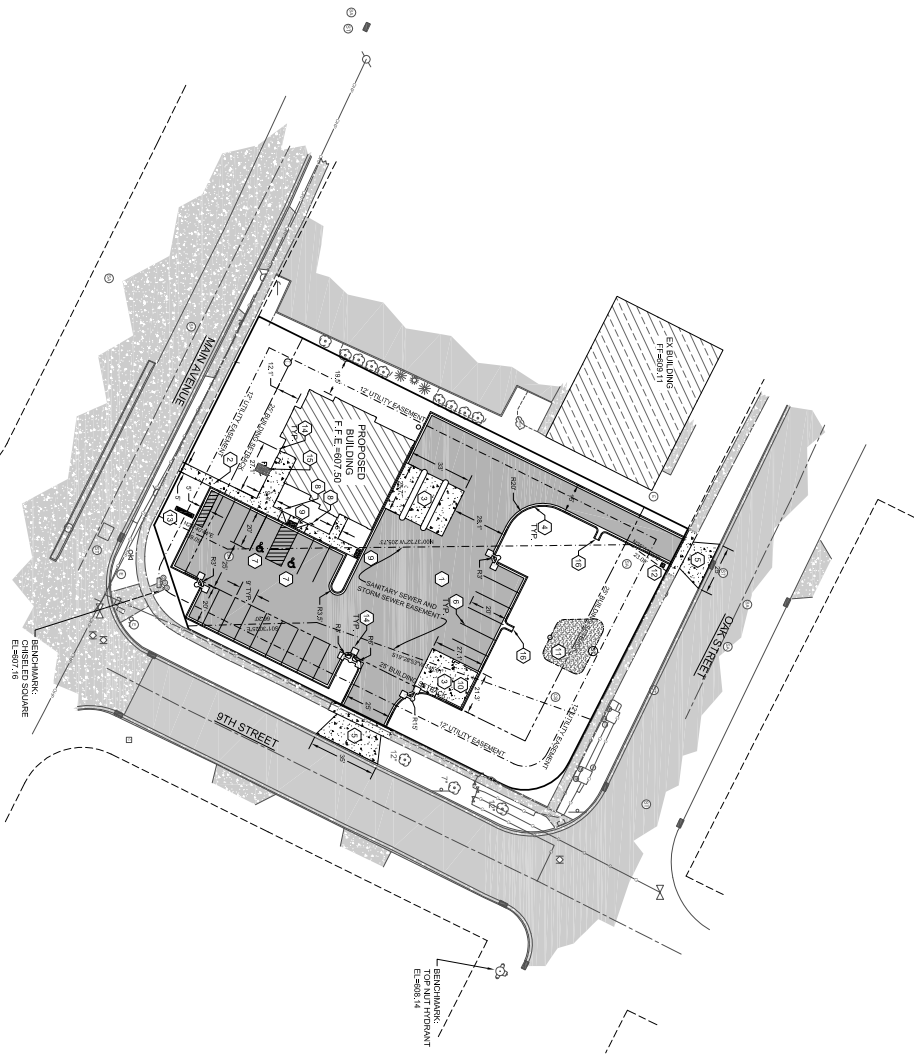
PROJECT MANAGER	_____
DESIGNER	_____
DRAWN BY	_____
EXPLODED	_____
SUPERVISOR	_____
CONTRACT NO.	_____
DATE	March 28, 2014
SHEET	C2.0

- SHEET KEY NOTES:**
- 1 ASPHALT PAVEMENT, SEE DETAIL A SHEET C2.0
 - 2 CONCRETE SIDEWALK, SEE DETAIL B SHEET C2.0
 - 3 CONCRETE PAVEMENT, REFER TO STRUCTURAL PLANS, SEE DETAIL C SHEET C2.0
 - 4 CONCRETE CURB AND GUTTER, SEE DETAIL D SHEET C2.0
 - 5 CONCRETE APRON, SEE DETAIL E SHEET C2.0
 - 6 4" WIDE WHITE PAINT STRIPE
 - 7 PAINTED HANDCAP SYMBOL
 - 8 POLE MOUNTED HANDCAP SIGN, SEE DETAIL F SHEET C2.0
 - 9 ADA DETECTABLE WARNING, SEE DETAIL G SHEET C2.0
 - 10 DUMPTER ENCLOSURE AND SHED, SEE ARCHITECTURAL PLANS FOR DETAILS
 - 11 BIOPLET, SEE DETAILS F & G SHEET C2.1
 - 12 EXIT ONLY SIGN
 - 13 HANDICAP SIGN, ZNYV
 - 14 LIGHTING, SEE ARCHITECTURAL PLANS FOR DETAILS
 - 15 FLAG POLE
 - 16 CURB & GUTTER FLOW, SEE DETAIL H SHEET C2.0
- SITE STATISTICS**
- PARCEL NUMBER = WD-709-2-31
PARCEL ADDRESS= 800 MAIN AVENUE
PARCEL AREA = 27,893 SF (0.63 AC)
EXISTING
PAVEMENT = 30,206 SF (0.69 AC) = 79.5%
GREENSPACE = 7,787 SF (0.18 AC) = 20.5%
PROPOSED
BUILDING = 2,955 SF (0.07 AC) = 7.4%- 2 CONCRETE SIDEWALK, SEE DETAIL B SHEET C2.0
- 3 CONCRETE PAVEMENT, REFER TO STRUCTURAL PLANS, SEE DETAIL C SHEET C2.0
- 4 CONCRETE CURB AND GUTTER, SEE DETAIL D SHEET C2.0
- 5 CONCRETE APRON, SEE DETAIL E SHEET C2.0
- 6 4" WIDE WHITE PAINT STRIPE
- 7 PAINTED HANDCAP SYMBOL
- 8 POLE MOUNTED HANDCAP SIGN, SEE DETAIL F SHEET C2.0
- 9 ADA DETECTABLE WARNING, SEE DETAIL G SHEET C2.0
- 10 DUMPTER ENCLOSURE AND SHED, SEE ARCHITECTURAL PLANS FOR DETAILS
- 11 BIOPLET, SEE DETAILS F & G SHEET C2.1
- 12 EXIT ONLY SIGN
- 13 HANDICAP SIGN, ZNYV
- 14 LIGHTING, SEE ARCHITECTURAL PLANS FOR DETAILS
- 15 FLAG POLE
- 16 CURB & GUTTER FLOW, SEE DETAIL H SHEET C2.0

SITE STATISTICS

PARCEL NUMBER = WD-709-2-31
PARCEL ADDRESS= 800 MAIN AVENUE
PARCEL AREA = 27,893 SF (0.63 AC)
EXISTING
PAVEMENT = 30,206 SF (0.69 AC) = 79.5%
GREENSPACE = 7,787 SF (0.18 AC) = 20.5%
PROPOSED
BUILDING = 2,955 SF (0.07 AC) = 7.4%
CONCRETE SIDEWALK, SEE DETAIL B SHEET C2.0
CONCRETE PAVEMENT, REFER TO STRUCTURAL PLANS, SEE DETAIL C SHEET C2.0
CONCRETE CURB AND GUTTER, SEE DETAIL D SHEET C2.0
CONCRETE APRON, SEE DETAIL E SHEET C2.0
4" WIDE WHITE PAINT STRIPE
PAINTED HANDCAP SYMBOL
POLE MOUNTED HANDCAP SIGN, SEE DETAIL F SHEET C2.0
ADA DETECTABLE WARNING, SEE DETAIL G SHEET C2.0
DUMPTER ENCLOSURE AND SHED, SEE ARCHITECTURAL PLANS FOR DETAILS
BIOPLET, SEE DETAILS F & G SHEET C2.1
EXIT ONLY SIGN
HANDICAP SIGN, ZNYV
LIGHTING, SEE ARCHITECTURAL PLANS FOR DETAILS
FLAG POLE
CURB & GUTTER FLOW, SEE DETAIL H SHEET C2.0

PARKING
PROPOSED STALLS = 22 INCLUDING 2 ADA ACCESSIBLE



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Graphic Scale
30 15 0 30 60

GRADING PLAN



Keller

PLANNERS / ARCHITECTS / ENGINEERS
OXFORD
1000 N. WISCONSIN AVE.
P.O. BOX 4410
MILWAUKEE, WI 53201
PHONE (414) 762-7972
FAX (414) 762-7973

MILWAUKEE
1000 N. WISCONSIN AVE.
P.O. BOX 4410
MILWAUKEE, WI 53201
PHONE (414) 762-7972
FAX (414) 762-7973
www.kellerinc.com

PROPOSED FOR:

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De Pere Wisconsin

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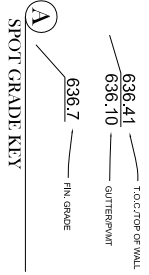
PROJECT MANAGER	DESIGNER	DRAWN BY	EXPLODER	SUPERVISOR	CONTRACT NO.	IID NO.	DATE	SHEET
		RFH					March 28, 2014	C4.0

Mach IV

Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
Project Number: 072541-14 Drawing Number: 229

SHEET KEY NOTES:

- 1. SPOT GRADE. SEE DETAIL A THIS SHEET
- 2. BIPARTER 600 SQUARE FEET OF FILTER PAPER. SEE DETAILS AND P SHEET C4.1
- 3. EMERGENCY OVERFLOW AREA. SEE DETAIL C SHEET C4.1
- 4. CARB BOND TRANSITION. SEE DETAIL D SHEET C4.0
- 5. REVERSE PAV CURB. SEE DETAIL D SHEET C4.0



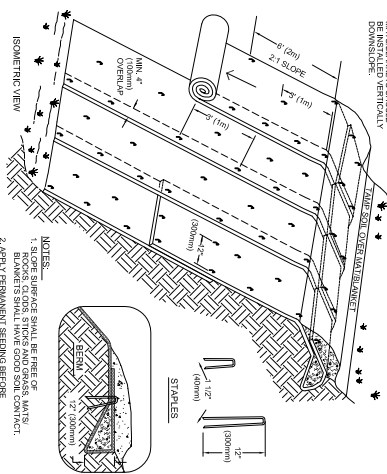
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Graphic Scale: 0 15 30 60



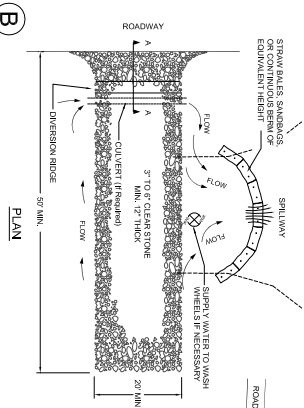
MANHOLETS SHOULD
BE PLACED VERTICALLY
DOWN SLOPE



- NOTES:**
1. SLOPE SURFACE SHALL BE FREE OF ROCKS, COBLES, STUMPS AND GRASS. MATS SHALL BE PLACED OVER THE ENTIRE SLOPE SURFACE.
 2. APPLY REQUIREMENT BEING BEFORE PLACING BLANKETS.
 3. STATE TO AVOID DIRECT CONTACT WITH THE SOIL, DO NOT STRETCH.

A

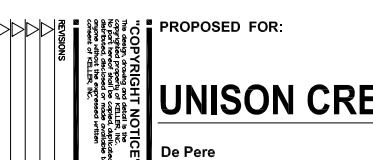
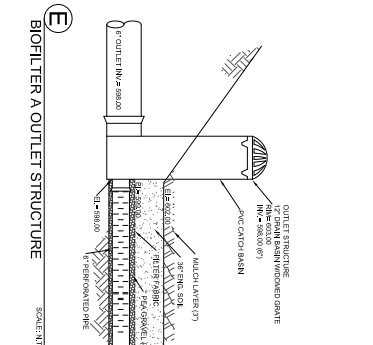
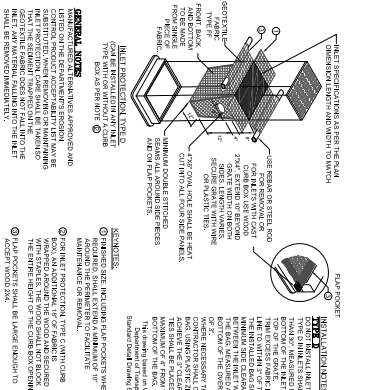
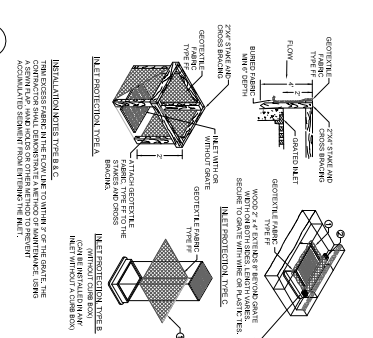
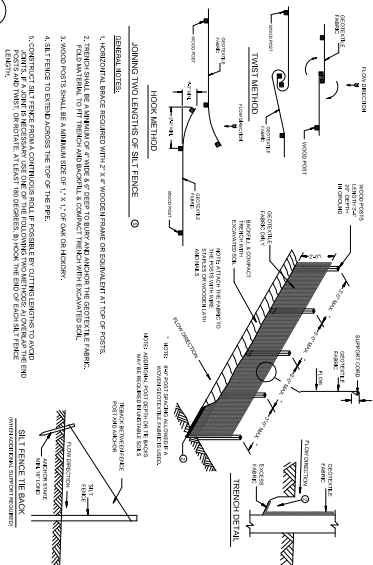
EROSION CONTROL MAT FOR SLOPE INSTALLATION



- NOTES:**
1. The entrance shall be maintained in a condition that will prevent logging or blocking of sediment into public right-of-ways. This may require the use of a sediment trap or other device to prevent sediment from entering the pad.
 2. When necessary, wheelbarrows shall be placed prior to entrance onto pad.
 3. Repairs shall be made as needed. If required, it shall be done on an area smaller than when created.
 4. Stone that traps into an approved Erosion Control Blanket (ECB) shall be removed.

B

STONE TRACKING PAD



EROSION CONTROL DETAILS



Keller

PLANNERS ARCHITECTS ENGINEERS

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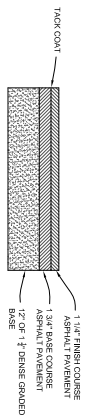
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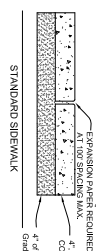
1000 N. BROADWAY, SUITE 114, GREEN BAY, WI 54303
PHONE: (920) 765-2975
FAX: (920) 765-2975

SITE DETAILS



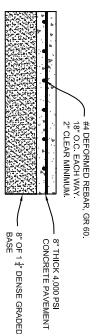
- A**
- NOTES:
1. ASPHALT PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH MINNESOTA DOT 107.

ASPHALT PAVEMENT SECTION



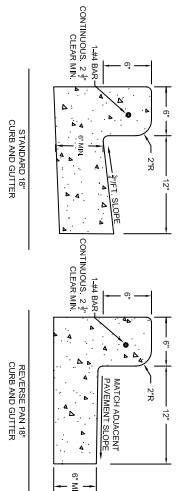
- B**
- NOTES:
1. CONCRETE SHALL RECEIVE A BROOKEO FINISH.
 2. JOINTS SHALL BE 4\"/>

CONCRETE SIDEWALK



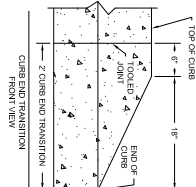
- C**
- NOTES:
1. CONCRETE PAVEMENT CONSTRUCTION SHALL BE IN ACCORDANCE WITH MINNESOTA DOT 107.
 2. CONCRETE SHALL RECEIVE A BROOKEO FINISH.

CONCRETE PAVEMENT/SLAB SECTION

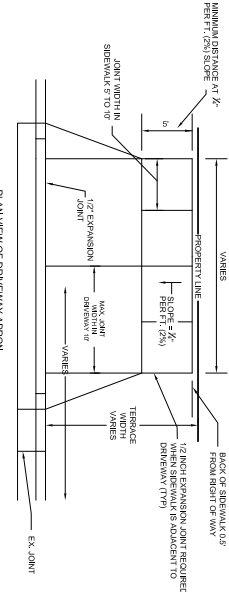


- D**
- NOTES:
1. THE BOTTOM OF THE CURB AND GUTTER MAY EITHER BE LEVEL OR PARALLEL TO THE SLOPE OF THE SURFACE.
 2. DRAWINGS SHOWING AND REVERSE PAN CURB AND GUTTER IS INDICATED ON THE DRAWING.
 3. CURB SHALL BE PLACED ON A MINIMUM OF 6\"/>

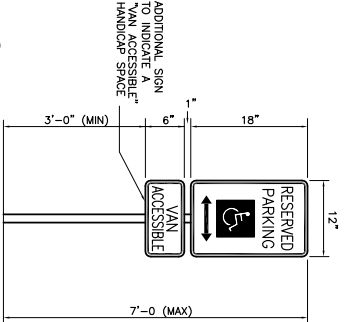
18\"/>



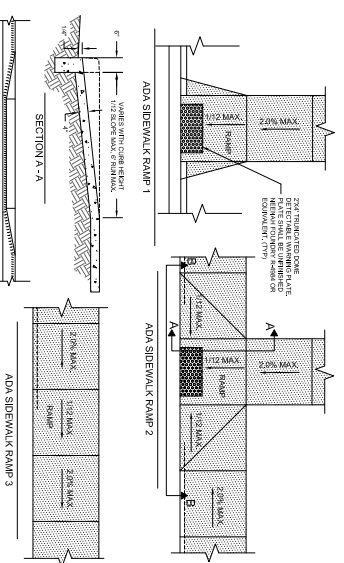
CONCRETE DRIVEWAY APRON



- F**
- NOTES:
1. CURB AND GUTTER SHALL BE CONSTRUCTED IN ACCORDANCE WITH MINNESOTA DOT 107.
 2. CURB AND GUTTER SHALL BE PLACED ON A MINIMUM OF 6\"/>



ADA SIDEWALK RAMPS



CURB & GUTTER WITH FLUME

Mach IV
Engineering & Surveying, LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
Project Number: 072541-04 Drawing Number: 029

PROPOSED FOR:

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De Pere Wisconsin

Keller
PLANNERS ARCHITECTS ENGINEERS
1000 N. KANAWHA DRIVE
SUITE 100
GREEN BAY, WI 54303
PHONE: (920) 762-7973
FAX: (920) 762-7973
WWW.KELLERARCHITECTS.COM

PROJECT MANAGER
DESIGNER
DRAWN BY
EXPERIOR
SUPERVISOR
CONTRACT NO.
DATE: March 28, 2014
SHEET: C60

SITE DETAILS



Keller

PLANNERS / ARCHITECTS / BUILDERS

OXFORD
1000 N. WISCONSIN AVE
MILWAUKEE, WI 53233
PHONE (414) 342-1515 / FAX (414) 342-1516

MILWAUKEE
1000 N. WISCONSIN AVE
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PHONE (414) 342-1515 / FAX (414) 342-1516

WISCONSIN
1000 N. WISCONSIN AVE
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REVISIONS

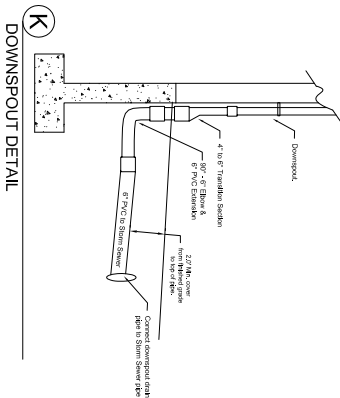
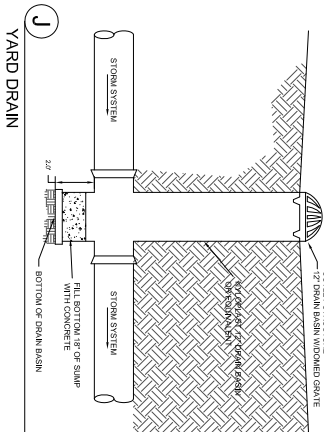
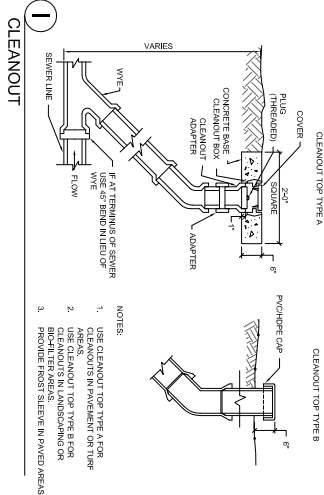
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5	

PROJECT MANAGER:	
DESIGNER:	
DRAWN BY:	RFH
EXPLAINED:	
SUPERVISOR:	
CONTRACT NO.:	
IID NO.:	
DATE:	March 28, 2014
SHEET:	C6.1

Mach IV

Engineering & Surveying, LLC

211 N. Broadway, Suite 114, Green Bay, WI 54303
Phone: (920) 865-1111 Fax: (920) 865-1112
Project Number: 072541-14 Drawing Number: 229





Little Chute Branch





Kaukauna North Branch



City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: April 28, 2014

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the Site Plan for a mixed use development at 115 N Erie St.
Applicant: Mach IV.

ATTACHMENTS:

- PC_Staff_April_N Erie (PDF)
- Erie_SitePlan (PDF)

City of De Pere
Staff Comments

Plan Commission
April 28, 2014

Item #4: Review the Site Plan for a mixed use development at 115 N Erie St. Applicant: Mach IV.

Overview

PEDS LLC is proposing a new mixed use commercial building located at 115 N. Erie St. The first floor will be commercial and the second floor will be an apartment and also possible additional commercial space. The basic site statistics for the project are:

Parcel Area: 7,226 sq ft
Building: 3,684 sq ft (footprint: 2,144 sq ft)
Pavement: 3,595 sq ft
Green Space: 1,481 sq ft (20.6.7%)
Parking: 9 stalls including 1 ADA

Public Works

Required Actions:

1. A sanitary sewer lateral is shown connecting to an 8" pipe. It appears the existing pipe is 6" concrete. Clarify on the plan if this is an existing connection or a new tap proposed.
2. Water main to serve this property is located on Erie Street. Show this water main on the plan.
3. The plan shows a 1 ½ inch water service near the location of the existing water service. Clarify on the plan if the water service is an existing connection or a new tap proposed. The existing service is likely ¾".
4. Abandon all existing unused connections to the property at the main and under the observation of City personnel. Abandon the existing water service by closing the corporation and removing the water service.
5. Note on the plan that, "All taps to the City water main are to be completed under the observation of City personnel".
6. Storm water discharges to proposed 6" lateral connecting to an inlet near George Street. Direct all site drainage to this pipe.
7. It appears storm water will be ponding on the south side of the site. Review how this will drain and re-submit the grading plan.
8. Provide calculations to verify the increase in storm water discharge with this development.
9. Provide a plan showing locations where water will be detained on site for runoff exceeding the capacity of the 6" lateral connection to CB 4.
10. CB 4 and 82 LF of 6" PVC constructed in the Erie Street right of way will be owned and maintained by the City of De Pere. The City may require a larger pipe once we review the calculations. Extend the pipe from CB 4 to the north property line and install a bulkhead. Construction of this storm sewer will conform to the City of De Pere 2014 Standard Specifications and will be performed under the observation of City personnel.
11. Abandon the yard drain (14) at the connection to the City sewer main. This pipe may be connected to the sanitary sewer. Notify the City when this work is to be done. The City will assist with a dye test to verify the location of the bulkhead.
12. All utility connections to be made within the street or alley right of way will require a street excavation permit.
13. Show and label the right of way and property lines on the plan.
14. Show dimensions of adjacent streets and right of ways.

Forestry & Parks

Required Actions:

1. Planting detail needs to be updated to WDNR standards.
2. Plant material needs to be planted to standards of WDNR.
3. Need to know what variety of 'flowering crab' and 'daylily' are listed in "General Notes".
4. (2) Flowering crab (or similar species) could be added to the north side of the building to soften the elevation (recommended).

Fire

Required Actions:

1. Provide detailed plans for construction review; provide details of use for all areas of structure. Provide MSDS sheets for hazards present with quantities stored and locations. M704 marking on hazards on the structure may be required.
2. Separation of hazards/use may be required in accordance with NFPA Fire Code.
3. Provide exit/emergency lighting throughout the means of egress. Provide detailed egress information with travel distances and arrangements. Aisles at west end must provide for pass through without creating a dead end.
4. No smoking and floor loading signage may be required.
5. Provide fire extinguishers at 75' travel distance throughout facility towards exits.
6. Provide sprinkler system. drawings with calcs and cut sheets for approval prior to installation. Show location for fire department connection on plans.
7. Provide fire alarm system drawings for approval prior to installation of this system. Fire alarm system must be monitored by a central station.
8. Install key box for fire department access.

Attachment: PC_Staff_April_N Erie (2102 : Erie)

Planning & Building Inspection*Required Actions:*

1. Since the primary use is commercial, a garbage enclosure is required. It should match the design of the building.
2. The Plan Commission needs to approve the materials used for the west and north elevation. Siding is proposed on these two elevations to blend in with the residential neighborhood.
3. The fence on the north property line by the front parking lot shall have a solid design.
4. Signage for the commercial uses shall require a sign permit.

Recommendation:

Staff recommends approval of the project with the items identified above being addressed.



CITY OF DE PERE

APPLICATION FOR
SITE PLAN REVIEW

Fee: \$ 245.00

Receipt #: _____

Date: _____

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: PEDS, LLCMailing Address: PO Box 5512 DePere WI 54135Phone: 920 655-8457Email: sadie5141@gmail.com

I hereby appoint the following as my agent for purposes of this application:

Agent:

Name: MACH IV ENGINEERING & SURVEYING LLCMailing Address: 211 N. BROADWAY STE 114 GREEN BAY WI 54303Phone: 920 569 5765Email: jchr.furth@mach-iv.com

B. Property Information

Address/Location of Property: 115 ERIE ST Parcel #: ED-1064Parcel Dimension: 60' x 120' Parcel Area: 0.165 acreLegal Description: ORIGINAL PLAT OF DEPERE LOT 4 BLOCK 44

A Site Plan Review is requested as authorized by the De Pere Zoning Code, Section(s): Article XIII, Section 14.60.

Owner Signature

Date

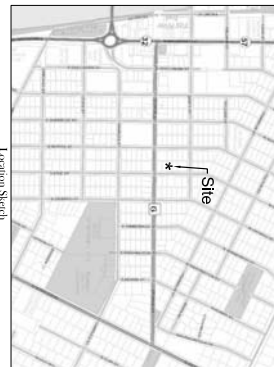
Agent Signature

Date

A plan consisting of all applicable information listed on the attached shall be submitted with this application. An AutoCAD drawing matching the state approved plans must be submitted in Brown County Coordinates before permits can be issued.

Attachment: Erie_SitePlan (2102 : Erie)

Location

[illegible]

- C0.0 COVER SHEET
- C1.0 EXISTING / DEMOLITION PLAN
- C2.0 SITE / UTILITY PLAN
- C3.0 GRADING / EROSION CONTROL PLAN
- C4.0 DETAILS
- C4.1 DETAILS

1. FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.0.
2. FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C3.0.
3. FOR NOTES SHOWN THUS, (X), SEE SHEET KEY NOTES. THIS SHEET
4. CAR SHALL BE TAKEN TO PROTECT EXISTING IMPROVEMENTS TO
5. REMAIN.
6. LAND DISTURBING ACTIVITIES SHALL NOT TAKE PLACE PRIOR TO
7. INSTALLATION OF EROSION CONTROL MEASURES.

	Existing	Proposed
Gray Wire		
Power Pole		
Handicap Parking		
Sanitary Manhole		
Catch Basin		
Inlet		
Storm Manhole		
Storm Sewer		
Sanitary Sewer		
Storm Water		
Water Main		
Water Valve		
Evergreen Tree		
Fire Hydrant		
Vertical Wires		
Gas		
Fence		
Centrifugal		
Curb		
Gravel		
Paving Slope		
Sanitary Sewer		
Storm Sewer		
Water Main		
Storm Water		
Water Valve		
Conduit Major		
Conduit Minor		
Drainage		
Asphalt		
Concrete		
Gravel		

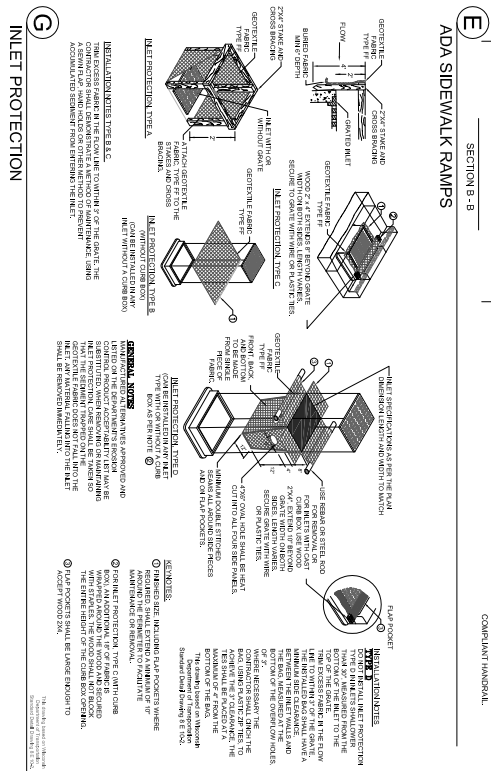
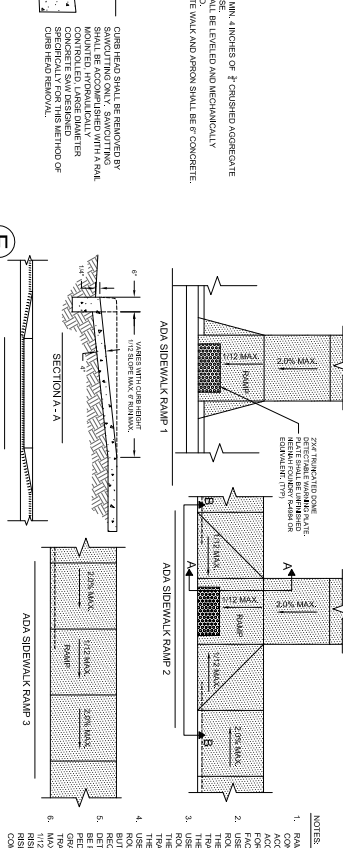
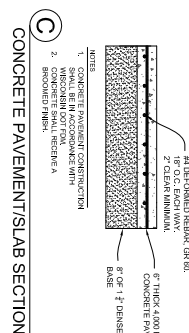
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

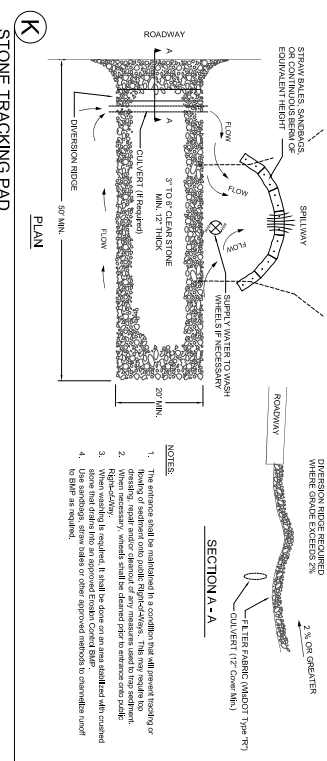
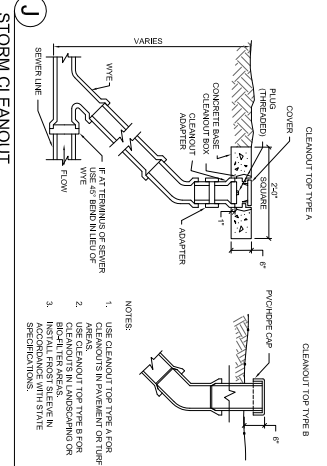
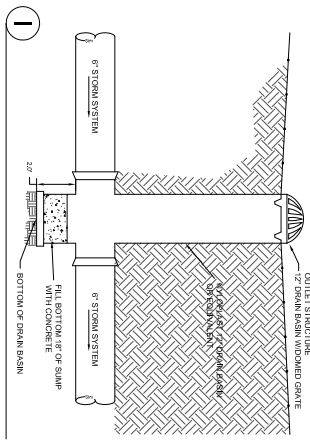
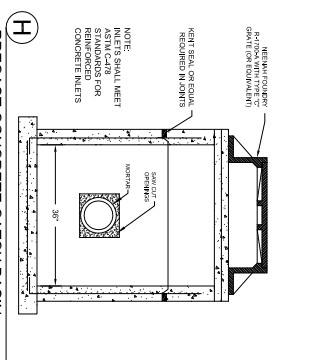
WISCONSIN STATUTE 182.0175 (1974) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

[illegible]

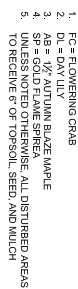


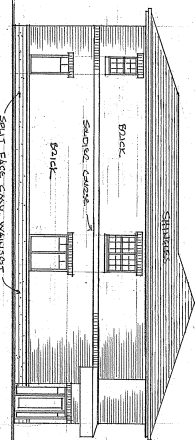


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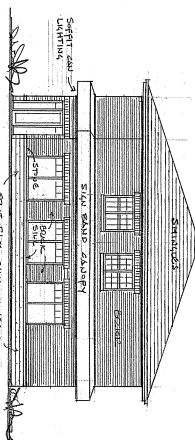


PEDS, LLC		Mach IV Engineering & Surveying LLC 211 N. Broadway, Suite 114, Green Bay, WI 54303 PH: 920-569-5765 Fax: 920-569-5767
115 ERIE STREET		
Details		
NO.		PROFESSIONAL SEAL
REVISION DESCRIPTION		
DATE: APRIL 11, 2014		
DRAWN BY: JME		
CHECKED BY: JME		
PROJECT NO.: 0719-01-14		
DRAWING NUMBER: 931		
SHEET NUMBER		
C4.1		

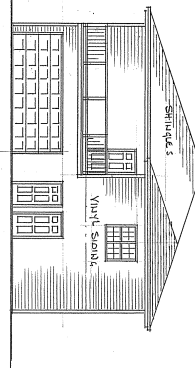
**Packet Pg.**



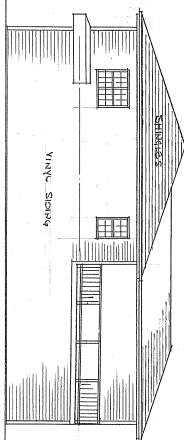
SOUTH ELEVATION SCALE: 1/8" = 1'-0"



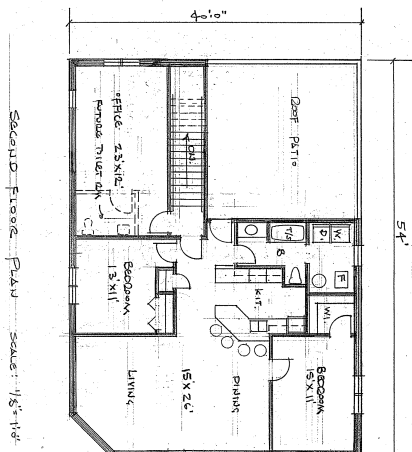
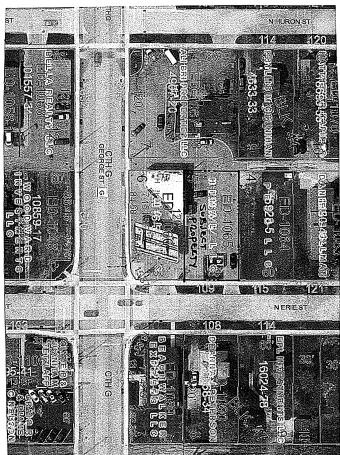
EAST ELEVATION SCALE: 1/8" = 1'-0"



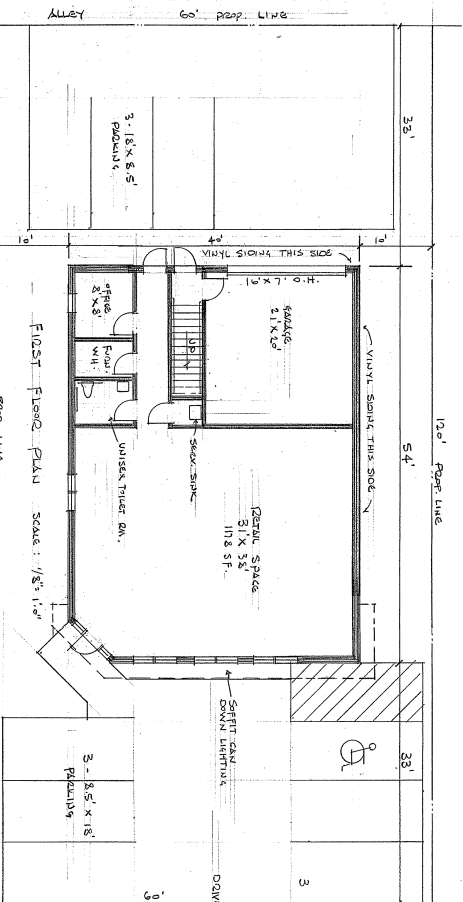
WEST ELEVATION



NORTH ELEVATION



SECOND FLOOR PLAN SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN SCALE: 1/8" = 1'-0"

NOTE

CONTRACTOR OF THIS BUILDING SHALL NOT BE RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED IN THESE PLANS AND CHECKING CONTRACTOR MUST CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.

PROPOSED BUILDING:
 FIRST FLOOR: 2,124 SF.
 SECOND FLOOR: 1,124 SF. (TOTAL: 3,248 SF.)
 TYPE OF CONSTRUCTION: "V" 8" SHINGLES
 2 STORIES

SITE ADDRESS
 109 N. 64TH ST.
 DEERFIELD, WI 54115

NOTE: ALL DIMENSIONS ARE IN FEET AND INCHES. THESE PLANS AND CHECKING CONTRACTOR MUST CHECK ALL DIMENSIONS AND REPORT ANY DISCREPANCIES TO THE ARCHITECT PRIOR TO CONSTRUCTION.	LOYD CARPENTER ARCHITECT LLC 2663 Maple Hill Dr., Green Bay, WI 54313 Office: (920) 334-0735 Cell: (920) 655-3829 Fax: (920) 334-0735 PEO'S BLDG INC. De Pere, WI.	DATE: 04/15/14 TITLE: _____ JOB NO.: _____ 1 of 2
--	--	---

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: April 28, 2014

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the minor amendment to the Precise Implementation Plan
for the row housing at 453 N 9th St. Applicant: Tom Berceau.

ATTACHMENTS:

- PC_Staff_April_N Ninth (PDF)
- Ninth St letter (PDF)

Item #5: Review the minor amendment to the Precise Implementation Plan for the row housing at 453 N 9th St. Applicant: Tom Berceau.

In August of 2013, the Plan Commission recommended approval of the Precise Implementation Plan (PIP) for 453 N 9th St. The project proposed to construct 6 attached units that could be used as rentals or eventually sold as individual units. In the plan for the north side yard setback, the project had a 10' foot setback from the easement and then another 5 feet from the property line for a total of a 15' side yard setback.

It was determined that the easement was not properly mapped and the owner would like to amend the side yard setback to 10 feet. Please note, the site foundations have been framed with a 10' side yard setback to the north. Since the project was approved as part of a PIP, it requires Plan Commission approval as a minor amendment.

The amendment would still comply with our existing code for R-3 development which requires a 10' side yard setback. In addition, the owner has met with the property owner to the north to get consensus on how the side can be landscaped. Please see the attached letter from the builder and also the neighbor.

Recommendation:

Staff recommends approval of the minor amendment with the updated landscape plan being required as part of the amendment approval.

Tom Berceau
803 Wind Chime Way
De Pere, WI 5411
April 20, 2014

Mayor Mike Walsh
City of De Pere Plan Commission
335 S. Broadway St.
De Pere, WI 54115

RE: 453-493 S. Ninth Street

Dear Mayor/Plan Commission,

I am constructing a 6 unit apartment complex on Ninth Street just north of the intersection of Ninth and Cedar Streets. This project which was approved by the Plan Commission and City Council is zoned P.D.D., Planned Development District with an underlying zoning classification of R-3, General Residence District.

The project has been excavated, footings poured and foundation forms set in place. The architect's plan indicated that there were 2 – 5' utility easements on the north end of the property. Research by the City of De Pere has discovered that the easements shown on the site plan do not exist. This created confusion and caused the building to be 10' from the property line instead of 15'. The footings and north foundation wall are in compliance with the setback requirements of the underlying R-3, General Residence District. On behalf of the property owner I am requesting that the Plan Commission approve this minor variation.

In addition and for your information, after reviewing the layout of the lot I am going to add the following features to the development to enhance the view for southbound traffic and the neighbor immediately to the north:

- Construct a 2'-2 ½' high berm with arbor vitae to screen the north end of the parking lot.
- Field stone will be placed between the berm and the north property line for visual purposes.
- The concrete driveway approach for the north unit will be pitched away from the berm to direct water away from the neighbor's property.
- I am also going to pitch the gutter on the back of the building to the south to help divert storm water away from the neighbor's property.
- To improve the aesthetics of the north end of the building I am going to drop the brick ledge in the foundation which will allow me to add additional brick.
- I am also going to place fill on the neighbor's property to level off their property. This will help transition and blend the two properties together.

I can be contacted at 655-3327 if you have any questions. Thank you in advance for your consideration.

Attachment: Ninth St letter (2103 : 9th)

Respectfully,

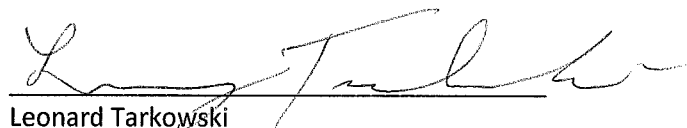

Tom Berceau

Attachment: Ninth St letter (2103 : 9th)

April 22, 2014

RE: 453-493 N. Ninth Street (Cedar Crossing Development)

I have reviewed Tom Berceau's proposal for the minor variation and site improvements on the letter dated April 20, 2014 and have no objections.


Leonard Tarkowski
509 N. Ninth Street
De Pere, WI 54115

Attachment: Ninth St letter (2103 : 9th)

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: April 28, 2014

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Presentation and recommendation of corridor design for 8th Street between Oak St and Ashland Ave. Presented by WisDOT and City of De Pere.

ATTACHMENTS:

- PC_Staff_April_WisDOT (PDF)
- 8th St - Design Options (PDF)
- Preference_Survey (PDF)

Item #6: Presentation and recommendation of corridor design for 8th Street between Oak St and Ashland Ave. Presented by WisDOT and City of De Pere.

Currently 8th Street between Oak St and Ashland Ave is scheduled for complete reconstruction for 2017. A complete reconstruction means the underground utilities will be replaced and the entire corridor from sidewalk to sidewalk will be reconstructed. With this type of project, the City has an opportunity to work with WisDOT to redesign the configuration of the corridor. There are four options for this segment of 8th Street. The first option is the “Do Nothing” option, while the other three involve reconstruction at various widths. The three reconstruction options will meet the long term transportation needs of this segment of street.

The City has worked with WisDOT over the past several months refining the designs and also gathering public input. At our Plan Commission meeting, WisDOT will provide an overview of each option and City staff is recommending a preferred alternative. Staff is seeking concurrence from the Plan Commission so WisDOT can move forward with the project design.

Design Alternative 1 – Two- Lane Roadway with Bicycle Lane and a Two-Way Left Turn Lane (TWTL)

- Description:** Corridor would be designed with a single north and south bound lane and it would also have a single center lane to accommodate left turn lanes (TWTL) into driveways and at intersections. This option would include bike lanes.
- Pros:** Center left turn lane eliminates delay for through vehicles behind a left turning vehicle.
 Meets the long term traffic needs of the corridor.
 Improved safety for pedestrians and bike traffic.
 Minimal costs to the City due to no parking.
 Proper lane marking should help to address speed concerns.
- Cons:** TWTL is not necessary for a project with this volume of traffic and small amount of left turns.
 This option creates a wider cross section. The terrace will be reduced approximately three feet on each side.
 No parking is provided under this option.

Design Alternative 2 - Two-Lane Roadway with Bicycle Lanes and Parking Lanes

- Description:** Corridor would be designed with a single north and south bound lane. Parking lanes would be added to both sides (making it resemble the design of option 1). Parking lanes would be striped. This option would also include bike lanes.
- Pros:** Meets the long term traffic needs of the corridor.
 Provides parking for properties along 8th Street.
- Cons:** If the parking lanes are not utilized, vehicles may still use the parking areas as traffic lanes.
 High speed could be an issue if the parking lanes are not utilized.
 City would be responsible for the cost of constructing the parking lanes. This is estimated to cost \$120,000.
 This option creates a wider cross section. The terrace will be reduced approximately two feet on each side.

Design Alternative 3 - Two-Lane Roadway with Bicycle Lanes

Description: Corridor would be designed with a single north and south bound lane and bike lanes. Turning lanes would be added at Cedar Street and potentially at Oak Street.

Pros:

- Meets the long term traffic needs of the corridor.
- Provides the safest design for pedestrians and bike traffic.
- Provides the most green space. The existing terrace will increase approximately three feet on each side.
- Minimal costs to the City due to no parking.
- Anticipated to have the greatest impact for reducing speeds due to the narrower cross section.

Cons:

- Through traffic would be delayed by left turning vehicles (excluding Cedar Street and potentially Oak Street).
- No parking is provided under this option.

Summary Chart

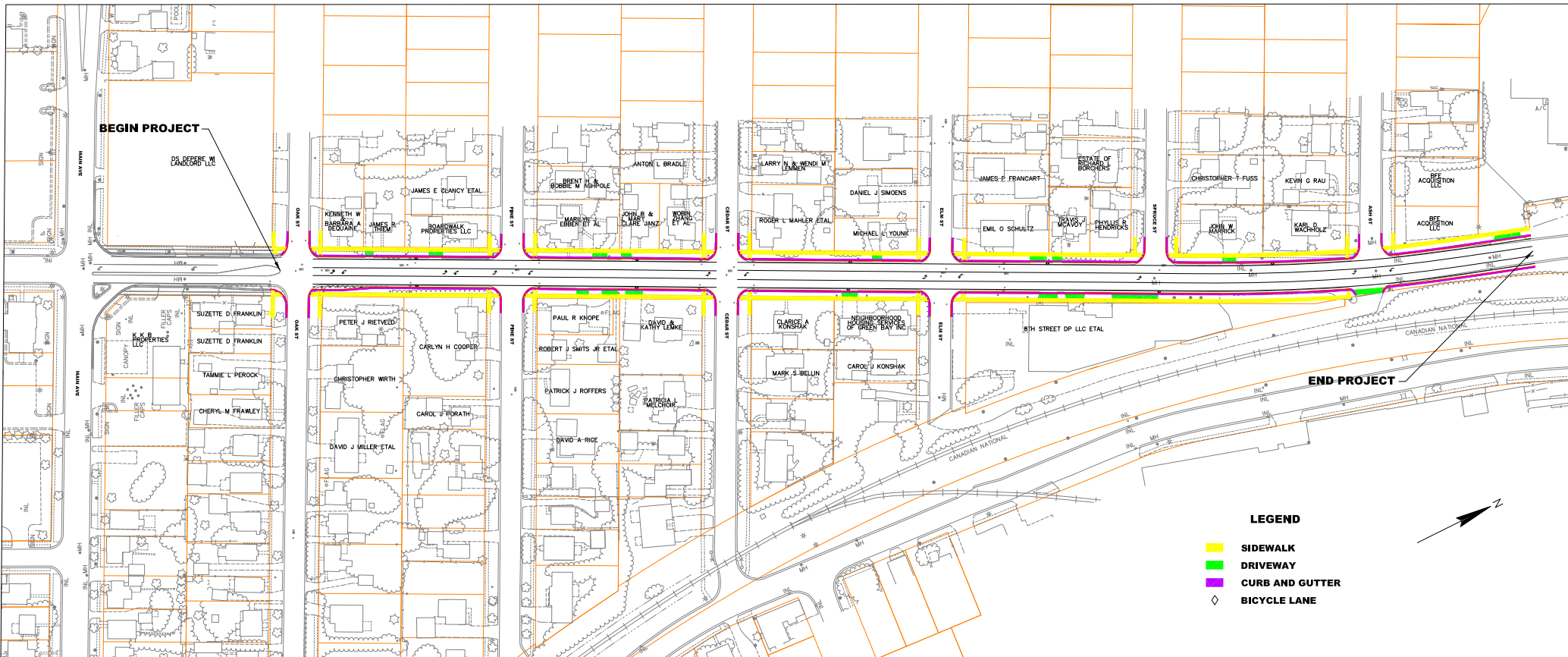
Improvement	Worst	Average	Best
Bicycle Safety		Alternative 2	Alternative 1 and 3
Pedestrian Safety	Alternative 1	Alternative 2	Alternative 3
Speed Control	Alternative 2	Alternative 1	Alternative 3
Parking	Alternative 1 and 3		Alternative 2
Traffic Flow	Alternative 3	Alternative 2	Alternative 1
City Cost	Alternative 2		Alternative 1 and 3
Improved Green Space	Alternative 1	Alternative 2	Alternative 3

Recommendation

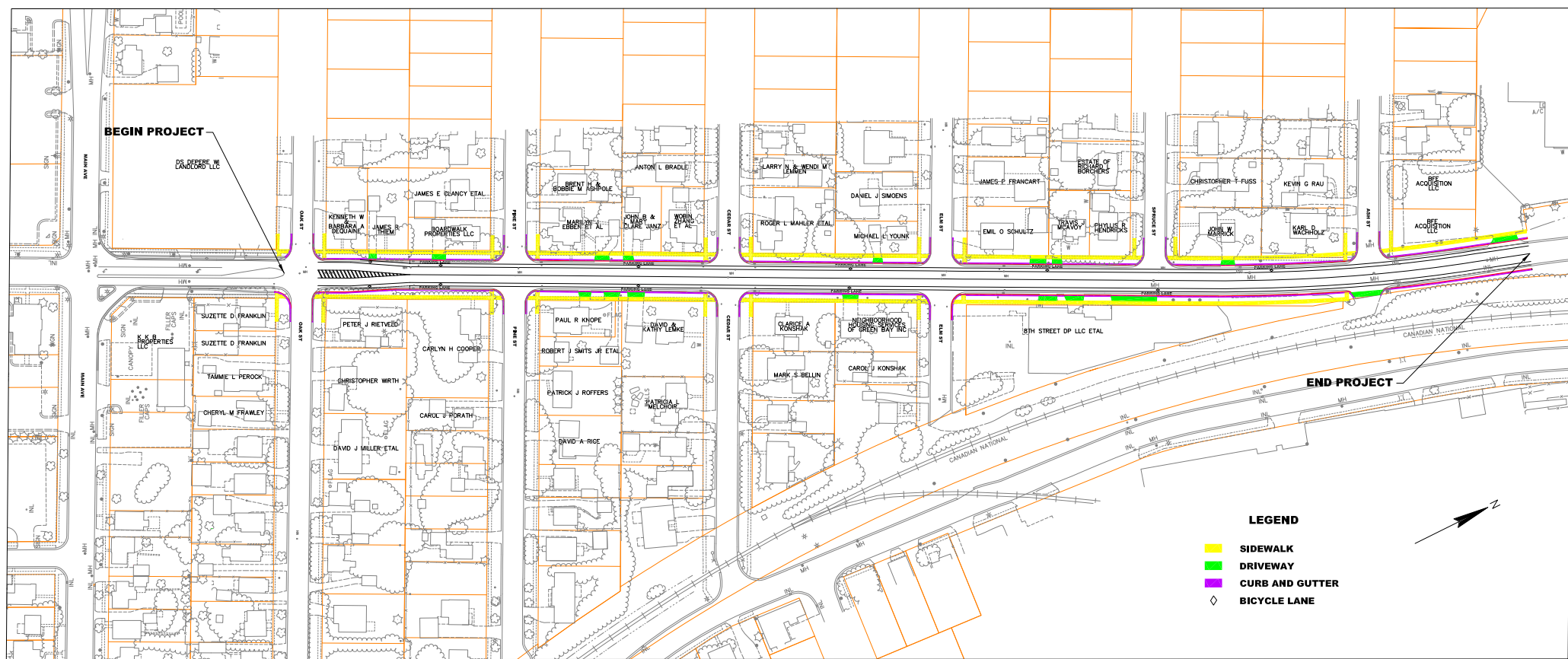
Staff is recommending Design Alternative 3 for the following reasons:

- Minimal cost to the City.
- Improved bicycle safety.
- Narrower cross section should help with speed control.
- Minimal utilization of existing parking lanes.

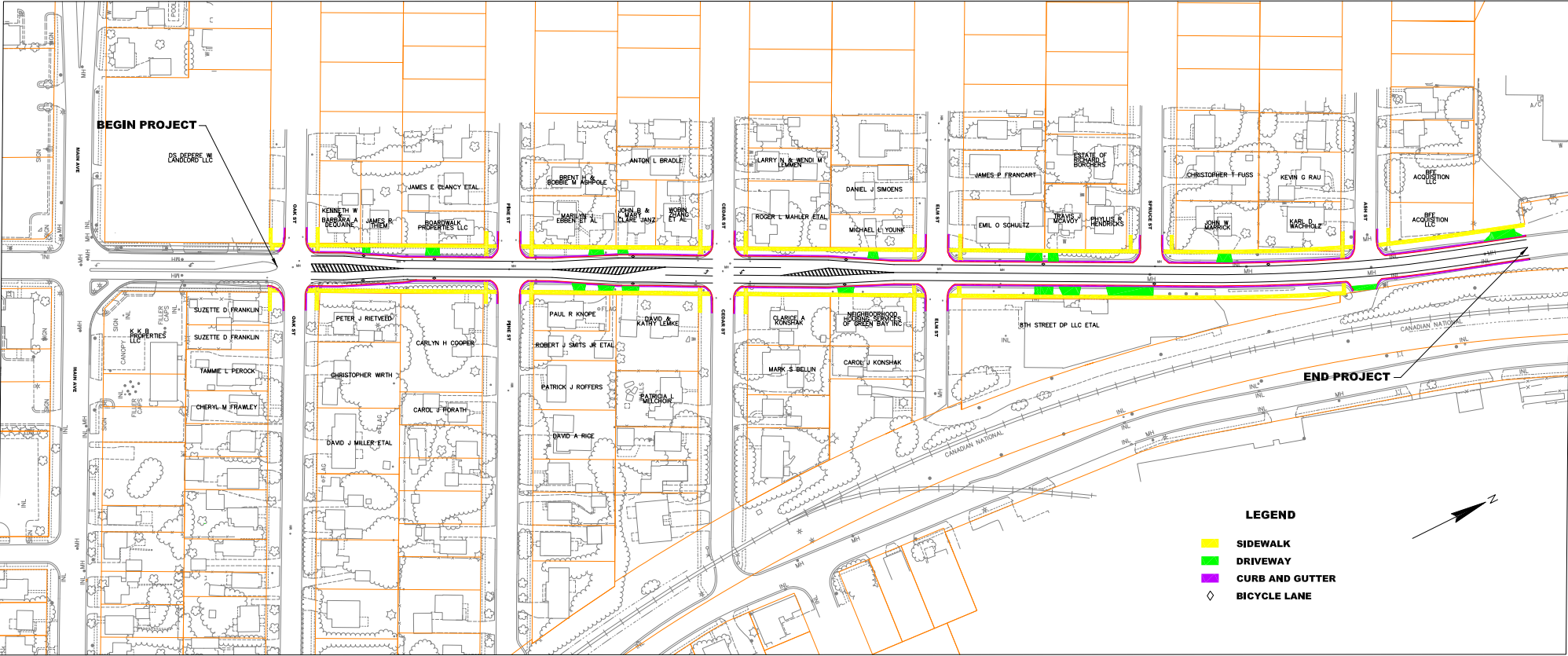
ALTERNATIVE 1 - TWO-LANE ROADWAY WITH BICYCLE LANES AND NO PARKING PLUS TWO-WAY LEFT TURN LANE



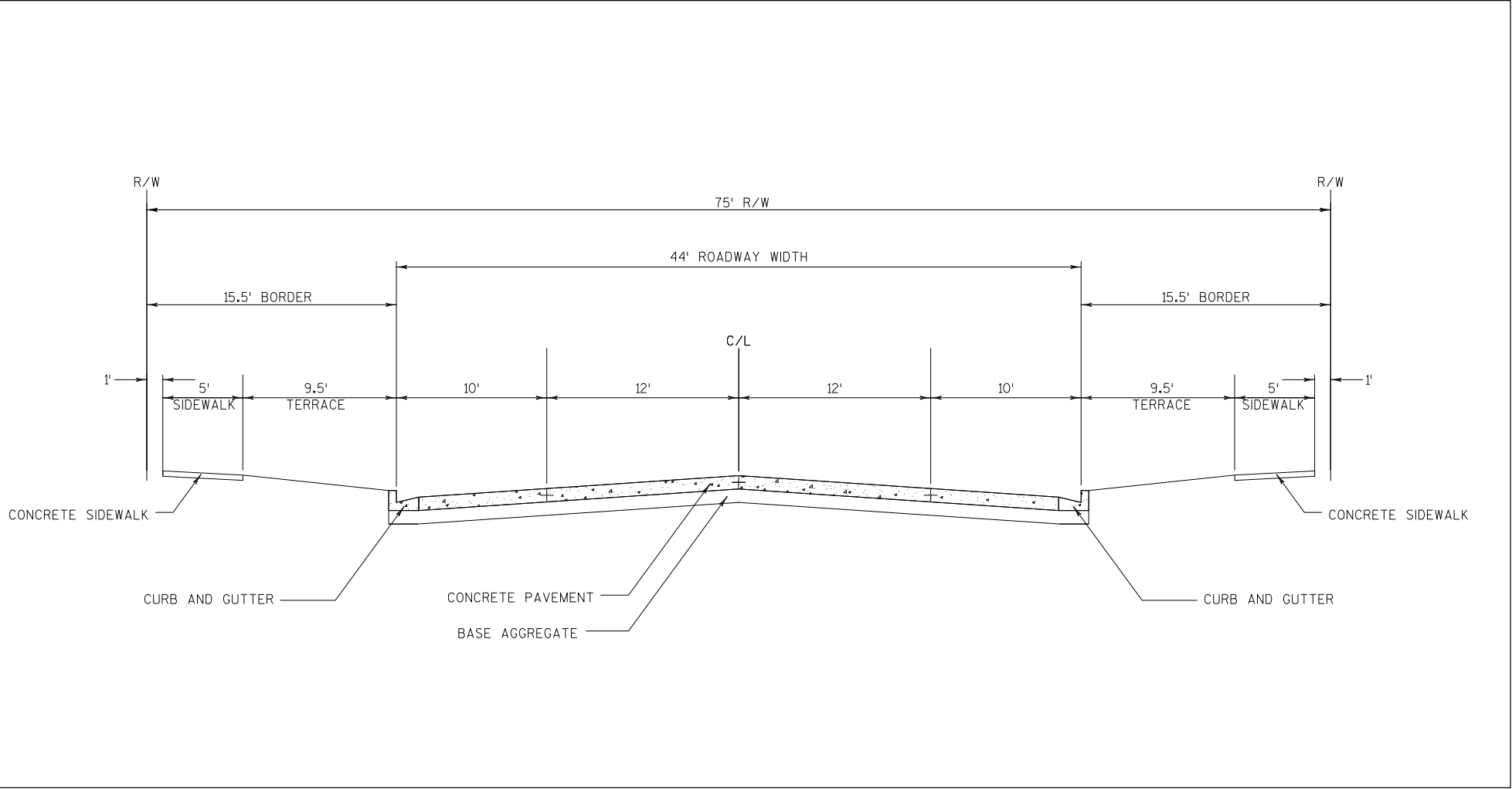
ALTERNATIVE 2 - TWO-LANE ROADWAY WITH BICYCLE LANES AND PARKING



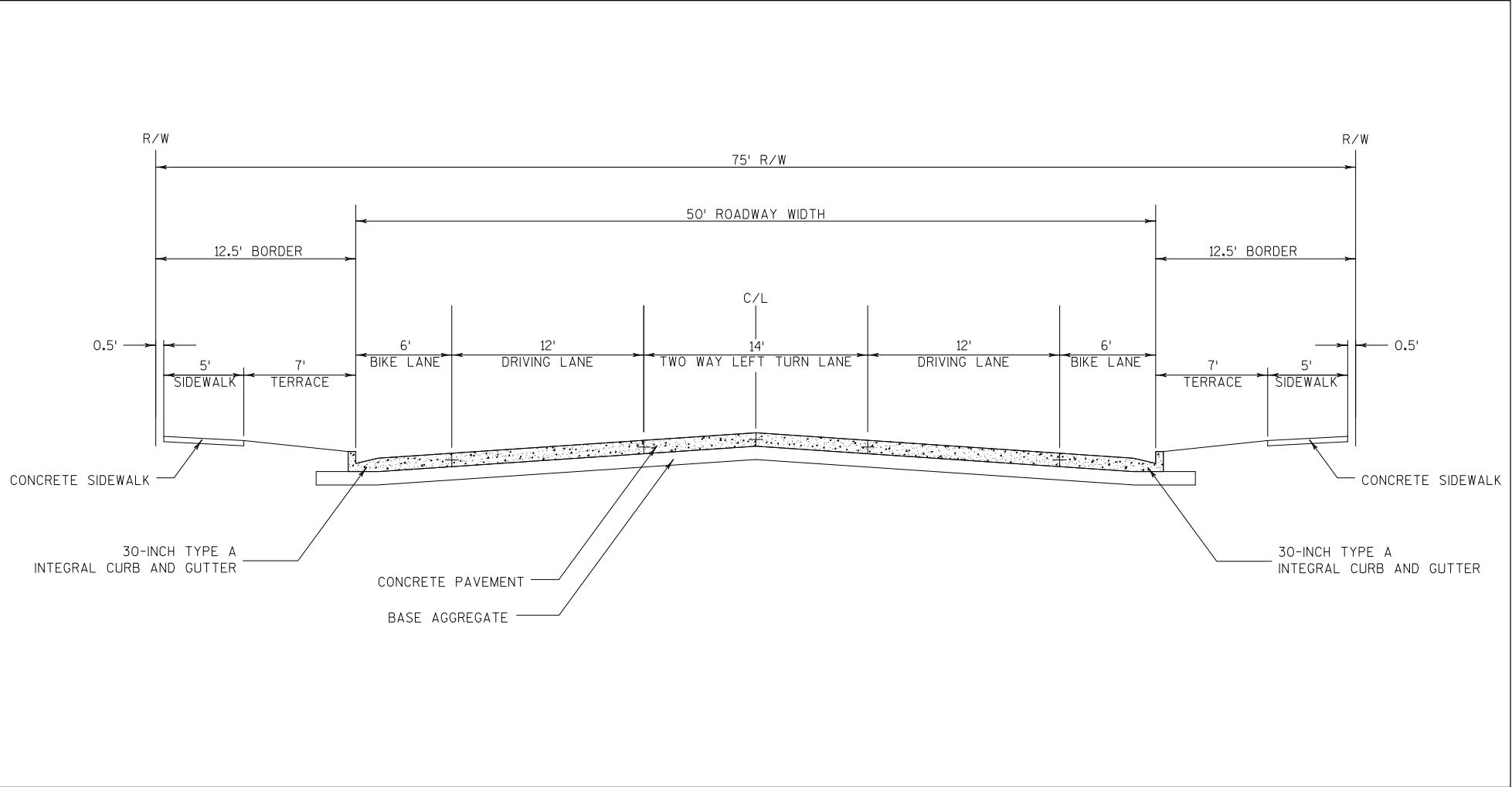
ALTERNATIVE 3 - TWO-LANE ROADWAY WITH BICYCLE LANES AND NO PARKING



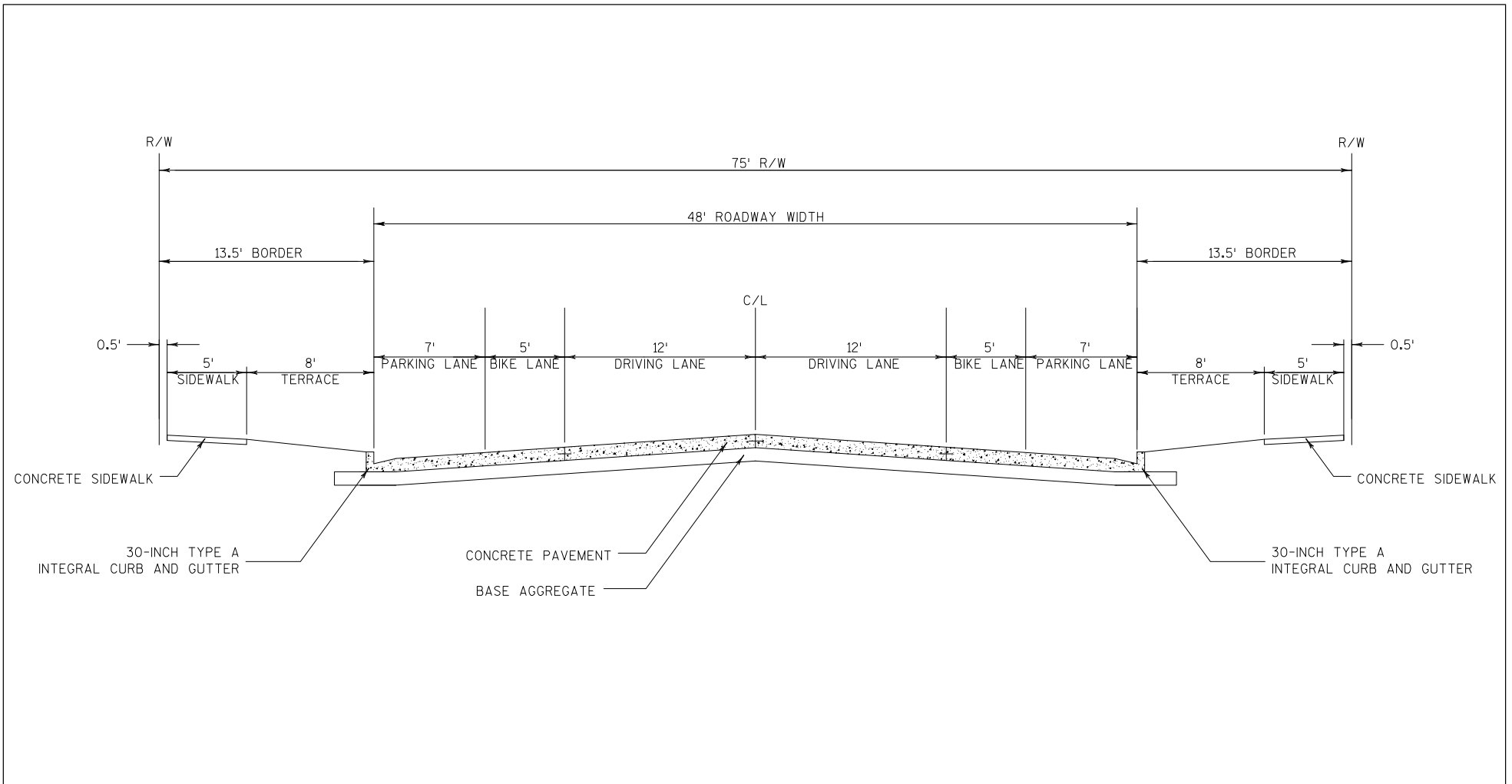
EXISTING TYPICAL SECTION - TWO LANES WITH PARKING



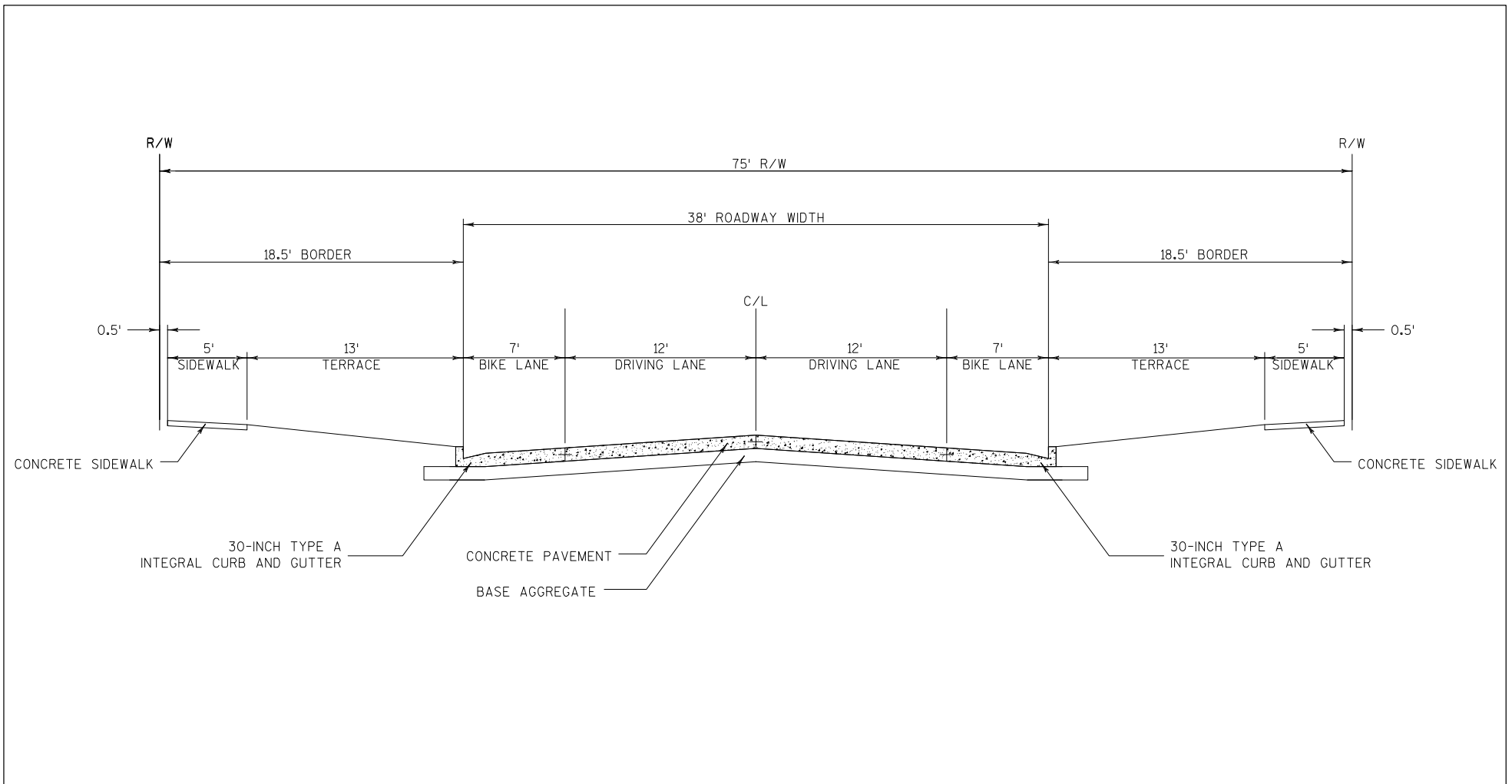
TYPICAL SECTION ALTERNATIVE 1 - TWO-LANE ROADWAY WITH BICYCLE LANES AND NO PARKING PLUS TWO-WAY LEFT TURN LANE



TYPICAL SECTION ALTERNATIVE 2 - TWO-LANE ROADWAY WITH BICYCLE LANES AND PARKING



TYPICAL SECTION ALTERNATIVE 3 - TWO-LANE ROADWAY WITH BICYCLE LANES AND NO PARKING



8TH ST/STH 32 ALTERNATIVES

RESIDENT COMMENTS RECIEVED DURING PUBLIC HEARING - BASED ON 3 DESIGN ALTERNATIVES



Public Involvement Comment Form

Project ID 4085-42-00
 8th Street, City of De Pere
 WIS32
 Brown County

Please mail this form with your comments in the attached envelope. Your comments assist us in developing a project that will serve the needs of the traveling public as well as the needs of the local community. Your input is welcome and appreciated throughout the design process.

Name: MIKE SELNER

Address: 512 & 516 No 8th St.

Daytime Phone Number (optional): (920) 680-6100

Email Address (optional): MSELNER@TEDHOMES.COM

Please Print Comments (attach additional sheets if necessary).

WE TAKE UP A pretty good portion of 8th St. IF ALL
I HAVE TO CHOOSE FROM IS THE 3 ALTERNATIVES, THEN I WOULD
HAVE TO GO WITH #2 BECAUSE PARKING IS PROBLEM. WE
"NEED" THE PARKING AS OUR FRONT DOORS ARE LOCATED
ON THE STREET SIDE. IT ISN'T JUST US. THERE ARE
HOUSES ON THIS STREET THAT DO NOT HAVE LARGE DRIVEWAYS
FOR PARKING FOR VISITORS. WE NEED TO DISCUSS HOW THE STREET
WILL AFFECT THE FRONT OF OUR BUILDING AS WELL BECAUSE WE ARE SO CLOSE.
THANKS!

Preferred Alternative (check one)

Alternative 1 ☐

Alternative 2 ☒
 WITH RESERVATIONS

Alternative 3 ☐

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Public Involvement Comment Form

Project ID 4085-42-00
 8th Street, City of De Pere
 WIS32
 Brown County

Please mail this form with your comments in the attached envelope. Your comments assist us in developing a project that will serve the needs of the traveling public as well as the needs of the local community. Your input is welcome and appreciated throughout the design process.

Name: JOHN MARRICK

Address: 802 SPRUCE ST

Daytime Phone Number (optional): 246 2665

Email Address (optional): N/A

Please Print Comments (attach additional sheets if necessary).

I REVIEWED YOUR THREE CHOICES AND NOT FOND ON
ANY OF THE THREE MY CHOICE OF THE THREE WOULD BE
NUMBER TWO THE PEOPLE ON THIS STREET NEED PARKING
WE ONLY HAVE 4 BIKE RIDERS THAT USE 8TH SO WE DONT
NEED TWO BIKE LANES. LOSING 3 FEET ON EACH SIDE WILL
CAUSE A PROBLEM FOR THE HOME OWNERS IN THE WINTER
WITH THE ^{SNOW} THAT WILL BE PLOWED ON OUR SIDEWALKS UNLESS
THE CITY IS GOING TO TAKE CARE OF 8TH STREET SIDEWALKS.
WHAT HAPPENED TO A FOURTH CHOICE OF JUST REPAVING 8TH AND LEAVE IT ALONG.
 Preferred Alternative (check one)

Alternative 1 ☐

Alternative 2 ☒

Alternative 3 ☐

Public Involvement Comment Form

Project ID 4085-42-00
8th Street, City of De Pere
WIS32
Brown County

Please mail this form with your comments in the attached envelope. Your comments assist us in developing a project that will serve the needs of the traveling public as well as the needs of the local community. Your input is welcome and appreciated throughout the design process.

Name: Clarice Konshak

Address: ~~604~~ 404 W 8th St.

Daytime Phone Number (optional): 920-336-9783

Email Address (optional): _____

Please Print Comments (attach additional sheets if necessary).

Alternative 3 would reduce traffic
speeds the most. Alternative 1 would
have similar impact. Alternative 2
leaves parking lanes that will be used
as traffic lanes and encourage
increased speeds

Preferred Alternative (check one)

Alternative 1 ☐

Alternative 2 ☐

Alternative 3 ☒

Public Involvement Comment Form

Project ID 4085-42-00
8th Street, City of De Pere
WIS32
Brown County

Please mail this form with your comments in the attached envelope. Your comments assist us in developing a project that will serve the needs of the traveling public as well as the needs of the local community. Your input is welcome and appreciated throughout the design process.

Name: Carlyn Cooper

Address: 218 8th St.

Daytime Phone Number (optional): 983-0327

Email Address (optional): _____

Please Print Comments (attach additional sheets if necessary).

My one concern is ... that grading be done at the
alley on 8th St. Streets become Ice with no way
for it to escape. It is over the tops of my
shoes.

Preferred Alternative (check one)

Alternative 1 ☐

Alternative 2 ☐

Alternative 3 ☒

Public Involvement Comment Form

Project ID 4085-42-00
8th Street, City of De Pere
WIS32
Brown County

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Name: Mike Younk

Address: 801 Elm De Pere WI 54115

Daytime Phone Number (optional): 339-0006

Email Address (optional): _____

Please Print Comments (attach additional sheets if necessary).

Preferred Alternative (check one)

Alternative 1 ☐

Alternative 2 ☒

Alternative 3 ☐

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Public Involvement Comment Form

Project ID 4085-42-00
 8th Street, City of De Pere
 WIS32
 Brown County

Please mail this form with your comments in the attached envelope. Your comments assist us in developing a project that will serve the needs of the traveling public as well as the needs of the local community. Your input is welcome and appreciated throughout the design process.

Name: DAVE LEMKE

Address: 745 CEDAR ST

Daytime Phone Number (optional): _____

Email Address (optional): _____

Please Print Comments (attach additional sheets if necessary).

I THINK PARKING SHOULD STAY ON 8TH ST.

I DON'T THINK A LEFT TURN LANE IS NEEDED BECAUSE
 A MAJORITY OF TRAFFIC FLOWS THRU END TO END.

I LIVE ON THE CORNER OF CEDAR + 8TH AND ~~THERE~~
 ISN'T MUCH TRAFFIC ON CEDAR SO A LEFT TURN LANE
 IS NOT NEEDED THERE EITHER.

SPEED IS CRAZY FAST ON 8TH RIGHT NOW. A NEW ROAD
 WITH CLEARLY MARKED LANES FOR TRAVEL, BIKES AND PARKING AS
 WELL AS POLICE ENFORCEMENT WOULD HELP THIS.

Preferred Alternative (check one)

Alternative 1 ☐

Alternative 2 ☒

Alternative 3 ☐

Public Involvement Comment Form

Project ID 4085-42-00
8th Street, City of De Pere
WIS32
Brown County

Please mail this form with your comments in the attached envelope. Your comments assist us in developing a project that will serve the needs of the traveling public as well as the needs of the local community. Your input is welcome and appreciated throughout the design process.

Name: Phyllis R. Hendricks

Address: 803 Spruce St. DePere

Daytime Phone Number (optional): 336-4514

Email Address (optional): PHeNdRicks7@New.rr.com

Please Print Comments (attach additional sheets if necessary).

The town meeting was great!
Everyone was helpful, in explaining
things

Preferred Alternative (check one)

Alternative 1 ☒

Alternative 2 ☐

Alternative 3 ☐

Public Involvement Comment Form

Project ID 4085-42-00
8th Street, City of De Pere
WIS32
Brown County

Please mail this form with your comments in the attached envelope. Your comments assist us in developing a project that will serve the needs of the traveling public as well as the needs of the local community. Your input is welcome and appreciated throughout the design process.

Name: JAMES R. THIEM

Address: 209 N. 8th St.

Daytime Phone Number (optional): 336-6145

Email Address (optional): —

Please Print Comments (attach additional sheets if necessary).

Preferred Alternative (check one)

Alternative 1 ☐

Alternative 2 ☐

Alternative 3 ☒

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Public Involvement Comment Form

Project ID 4085-42-00
 8th Street, City of De Pere
 WIS32
 Brown County

Please mail this form with your comments in the attached envelope. Your comments assist us in developing a project that will serve the needs of the traveling public as well as the needs of the local community. Your input is welcome and appreciated throughout the design process.

Name: Kenneth W & Barbara Degrazi

Address: 5289 Oak Orchard, Adams WI 54101

Daytime Phone Number (optional): 920-826-7593

Email Address (optional): _____

Please Print Comments (attach additional sheets if necessary).

our house is on 8th St 203 no. 8th De Pere

our choices are

Preferred Alternative (check one)

Alternative 1 ☒ 1st choice

Alternative 2 ☐ 2nd choice

Alternative 3 ☒

Public Involvement Comment Form

Project ID 4085-42-00
8th Street, City of De Pere
WIS32
Brown County

Please mail this form with your comments in the attached envelope. Your comments assist us in developing a project that will serve the needs of the traveling public as well as the needs of the local community. Your input is welcome and appreciated throughout the design process.

Name: Emil Schultz

Address: 804 Elm St.

Daytime Phone Number (optional): _____

Email Address (optional): _____

Please Print Comments (attach additional sheets if necessary).

Preferred Alternative (check one)

- Alternative 1 ☐ Alternative 2 ☒ Alternative 3 ☐

Public Involvement Comment Form

Project ID 4085-42-00
8th Street, City of De Pere
WIS32
Brown County

Please mail this form with your comments in the attached envelope. Your comments assist us in developing a project that will serve the needs of the traveling public as well as the needs of the local community. Your input is welcome and appreciated throughout the design process.

Name: Allen DeBroot

Address: 301 N 8th street

Daytime Phone Number (optional): _____

Email Address (optional): _____

Please Print Comments (attach additional sheets if necessary).

Preferred Alternative (check one)

Alternative 1 ☐

Alternative 2 ☒

Alternative 3 ☐

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Public Involvement Comment Form

Project ID 4085-42-00
8th Street, City of De Pere
WIS32
Brown County

Please mail this form with your comments in the attached envelope. Your comments assist us in developing a project that will serve the needs of the traveling public as well as the needs of the local community. Your input is welcome and appreciated throughout the design process.

Name: Karl Wachholz

Address: 803 Ash St.

Daytime Phone Number (optional): 920-592-5133

Email Address (optional): wachholz.k@schneider.com

Please Print Comments (attach additional sheets if necessary).

My main concerns are: ① Entry onto 8th from Ash is difficult because of traffic volume and speed. ② I do not have much of a terrace now so any loss here would seem to affect sidewalk placement or safety. ③ I observe many cars navigating 8th street like it was a 4 lane road and this is not safe today. Narrowing the road would prevent this.

Preferred Alternative (check one)

Alternative 1 ☐

Alternative 2 ☐

Alternative 3 ☒

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: April 28, 2014

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Presentation on the Master Plan for the Unified School District of De Pere sports field usage. Presentation by Rettler Corporation.

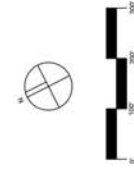
ATTACHMENTS:

- PC_Staff_April_School District (PDF)
- USDD-De Pere Master Plan (PDF)
- USDD-De Pere Phase I (PDF)

Item #7: Presentation on the Master Plan for the Unified School District of De Pere sports field usage. Presentation by Rettler Corporation.

The Unified School District of De Pere is working with Rettler to put together a Master Plan for its sports fields. Rettler would like to present this Master Plan to the Plan Commission to foster communication and also obtain input. Since most of the changes are non-structure related, the Plan Commission would have limited review. As a note, the District is planning to move forward with Phase I of the plan which is for the new baseball field by the Merrill Street tower. The City has been involved with the review of this phase for stormwater requirements (Please see attached maps).

MASTER PLAN



CAMPUS SITE MASTER PLAN UNIFIED SCHOOL DISTRICT OF DE PERE DE PERE, WI

RETTLER
corporation
3317 BUSINESS PARK DRIVE
STEVENS POINT, WI 54482
PROJECT # 13.002
DATE: 12-20-2013

Attachment: USDD-De Pere Master Plan (2107 : Unified School)



CAMPUS PHASE 1 PLAN

UNIFIED SCHOOL DISTRICT OF DE PERE
DE PERE, WI