



Plan Commission

Regular Meeting

335 South Broadway
De Pere, WI 54115
<http://www.de-pere.org>

Agenda

Monday, May 23, 2016	7:00 PM	De Pere City Hall Council Chambers
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Pursuant to Wisconsin Statutes 19.84, Notice is hereby given to the public that a meeting of the **Plan Commission** of the City of De Pere will be held on **May 23, 2016** at **7:00 PM** in the **De Pere City Hall Council Chambers, 335 S. Broadway Street, De Pere, WI 54115.**

This meeting can be viewed LIVE at www.depere.tv. This meeting is also rebroadcast on TW Cable Channel 4 and AT&T U-verse Channel 99 throughout the week and available on demand at www.depere.tv.

Call to Order

1. Roll Call
2. Approval of the minutes of the May 16, 2016 Special Plan Commission meeting.
3. Extraterritorial Preliminary Plat Review and Recommendation for Heritage Heights in the Town of Ledgeview
4. Review the CSM Application for an Extraterritorial CSM for a two lot CSM in the Town of Wrightstown *
5. Review and Recommendation on the one lot CSM Application for Sierra Coating Technologies LLC, located at 1820 Enterprise Drive (ED-F0100-C-2 & ED-F0100-C-3)
6. Review and Recommendation on the Site Plan Application for Sierra Coating Technologies LLC, located at 1820 Enterprise Drive (ED-F0100-C-2 & ED-F0100-C-3)

Adjournment

Any person wishing to attend this meeting who, because of disability, requires special accommodations should contact the City Planner's office at 339-4043 by Noon on the day of the meeting so that arrangements can be made.

Agenda Sent To:

Alderspersons
City Administrator
Mayor
Department Heads
TV, Newspapers & Radio Stations
Kress Family Library
De Pere Chamber of Commerce
Steven Bieda
Randall & Gloria Klosterman
Steven Zeitler
Randy Oettinger
Robert Mach, P.E.

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: May 23, 2016

DEPARTMENT: Plan Commission

FROM: Kimberly Flom

SUBJECT: Approval of the minutes of the May 16, 2016 Special Plan Commission meeting.

ATTACHMENTS:

- PC_May2016_Special_Minutes_Draft (PDF)



Plan Commission

Special Meeting

335 South Broadway
De Pere, WI 54115
<http://www.de-pere.org>

Draft Minutes

Monday, May 16, 2016

5:30 PM

De Pere City Hall Council Chambers

Call to Order

The meeting was called to order at 5:30 PM by Mayor Michael J. Walsh

Attendee Name	Title	Status	Arrived
Michael J. Walsh	Mayor	Present	
James Boyd	Aldersperson	Present	
Larry Lueck	Aldersperson	Present	
Derek Beiderwieden	Commissioner	Excused	
Jim Kalny	Commissioner	Excused	
Amy Kunding		Present	
Steve Taylor	Commissioner	Present	

Also present: Planning Director Kim Flom and members of the public.

- Approval of the minutes of the April 25, 2016 Plan Commission meeting.

RESULT: ADOPTED [UNANIMOUS]
MOVER: Steve Taylor, Commissioner
SECONDER: Michael J. Walsh, Mayor
AYES: Walsh, Boyd, Lueck, Kunding, Taylor
EXCUSED: Derek Beiderwieden, Jim Kalny

- Site Plan Review for The Mail Haus, located at 1745 Suburban Drive

Planning Director Kim Flom reviewed the site plan for the Mail Haus expansion, which includes an approximately 1700 square foot front vestibule, and a 7200 square foot rear addition. They are also proposing a revision to the parking in front, adding some additional spaces and moving the handicap accessible stalls. The proposed location is within a utility easement zone, but grading issues would make alternate locations more difficult. The applicant is also asking for reconsideration of the building materials requirement. Rather than adding masonry to the expansion facade, which is not visible from the street, they are proposing to do additional masonry to the east facade.

RESULT: ADOPTED [UNANIMOUS]
MOVER: James Boyd, Aldersperson
SECONDER: Steve Taylor, Commissioner
AYES: Walsh, Boyd, Lueck, Kunding, Taylor
EXCUSED: Derek Beiderwieden, Jim Kalny

- Site Plan Review for the 102 North Broadway Project

Planning Director Kim Flom reported that the applicant has returned with revised elevation renderings as well as material samples. At its April meeting, the Plan Commission had requested that they incorporate more design elements inspired by surrounding historical buildings. Kim provided comparison renderings highlighting the changes. Staff feels that the applicant did a good job pulling in the requested design elements, and is recommending approval of the site plan. Mayor Walsh motioned, seconded by Steve Taylor, to open the meeting for public comment. Upon vote, motion carried unanimously.

Attachment: PC_May2016_Special_Minutes_Draft (4761 : Minutes)

Project developer Jason Tadych and architect Paul De Leeuw addressed the board. Mr. Tadych thanked Commission members for convening a special meeting. He feels that the commentary they provided has resulted in a better building. Mr. De Leeuw reviewed the design elements, such as roofline coping, quoins, dentils, and exposed steel lintels, that are common features in the downtown. He also reviewed in detail the material samples. Several board members thanked the applicants for their efforts and stated that they were impressed with the end result.

Mayor Walsh motioned, seconded by Steve Taylor, to return to regular order.

Mayor Walsh motioned, seconded by Steve Taylor, to approve the site plan as presented.

Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Michael J. Walsh, Mayor
SECONDER:	Steve Taylor, Commissioner
AYES:	Walsh, Boyd, Lueck, Kunding, Taylor
EXCUSED:	Derek Beiderwieden, Jim Kalny

Adjournment

Mayor Walsh motioned, seconded by James Boyd, to adjourn the meeting at 5:53 P.M. Upon vote, motion carried unanimously.

Respectfully submitted,
Carey Danen

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: May 23, 2016

DEPARTMENT: Plan Commission

FROM: Kimberly Flom

SUBJECT: Extraterritorial Preliminary Plat Review and Recommendation for Heritage Heights in the Town of Ledgeview

ATTACHMENTS:

- PC_Staff_Heritage Heights Prelim Plat(DOCX)
- Heritage Heights App (PDF)
- Plat Map Heritage Heights (PDF)

Item 3: Extraterritorial Preliminary Plat Review and Recommendation for Heritage Heights in the Town of Ledgeview. Submitted by: Mau & Associates.

The applicant proposes a 68 lot preliminary plat subdivision in the Town of Ledgeview, generally located southeast of the intersection of Heritage Road (County X) and Cottonwood Lane. The preliminary plat submitted to the City of De Pere includes 68 lots (Phase I and Phase II) that are part of a larger subdivision that will total 115 lots at time of completion. We anticipate that future phases will be submitted for extraterritorial review as they are developed.

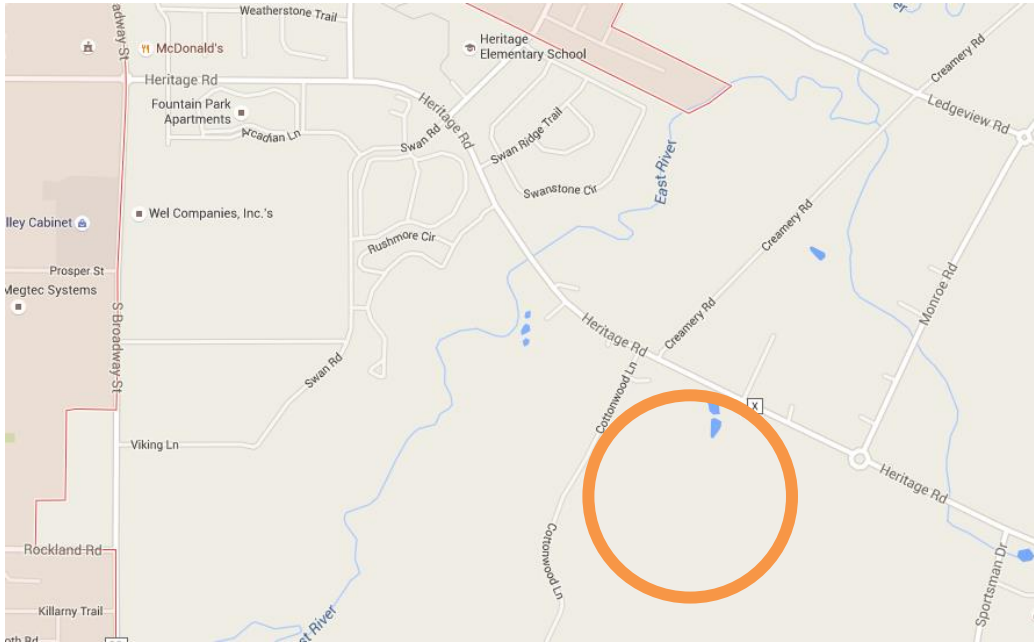


Figure 1: Site Location



Figure 2: Site Aerial

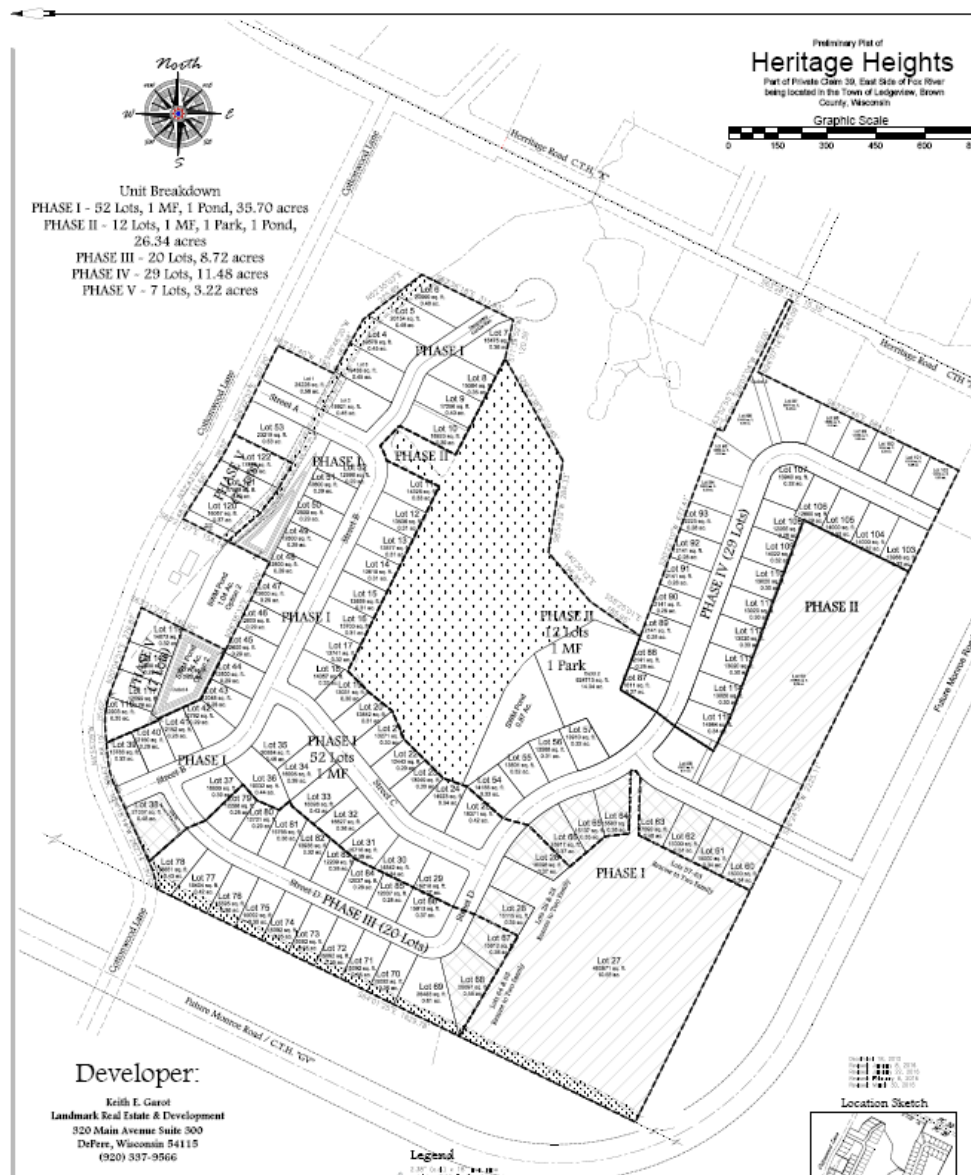


Figure 3: Heritage Heights Full Overall Subdivision Map

The review process for Extraterritorial Plats is as follows:

1. Plan Commission Reviews Preliminary Plat
2. Applicant addresses comments and submits Final Plat
3. Plan Commission Reviews Final Plat with recommendation to Council
4. City Council reviews and approves Final Plat

Recommendation:

Staff recommends approval of the Preliminary Plat, and that the applicant submits Final Plat to the City for Plan Commission and Council review and approval.

1. Preliminary Plat must meet the requirements specified by Brown County Planning and the Town of Ledgeview.

	CITY OF DE PERE APPLICATION FOR PLAT REVIEW	Fee: \$ <u>4085</u>
		Receipt #: <u>112504</u>
		Date: May 2, 2016

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) <u>AGG, LLC</u> Landmark Real Estate	Authorized Representative Steven Bieda	Title Managing Partner-Mau & Associates, LLP	
Mailing Address 400 Security Blvd	City De Pere	State WI	ZIP Code 54313
Email Address sbieda@mau-associate.com	Phone Number (incl. area code) 920-434-9670	Fax Number (incl. area code) 920-434-9672	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) Zelton Family Limited Partne	Contact Person	Title	
Mailing Address 4370 Creamery Rd	City De Pere	State WI	ZIP Code 54115
Email Address	Phone Number (incl. area code)	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description	Parcel No.
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SECTION 4: Plat Review

Review Type:	☒ Preliminary Plat ☐ Final Plat	
Fee:	Preliminary Plat Fee: \$265 + (<u>68</u> # of lots x \$65) Final Plat Fee: \$185	\$ 4685
Present Use of Parcel:	Agriculture	
Proposed Use of Lots:	R-1 and R-3	

Please submit 1 hard copy and 1 PDF copy of the Plat if the property is located within the City
or if the property is located within the extraterritorial jurisdiction.

SECTION 5: Certification and Permission

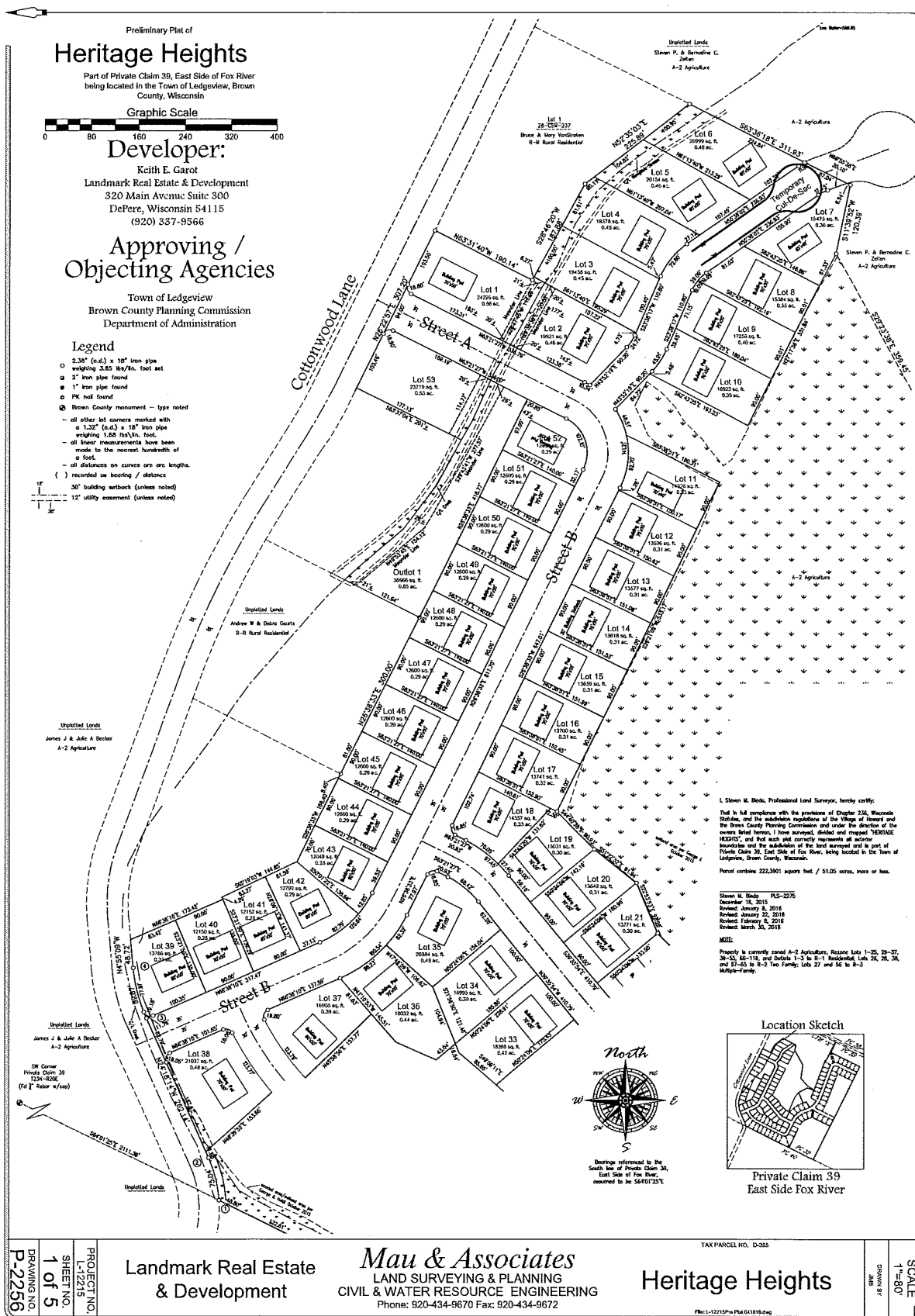
Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

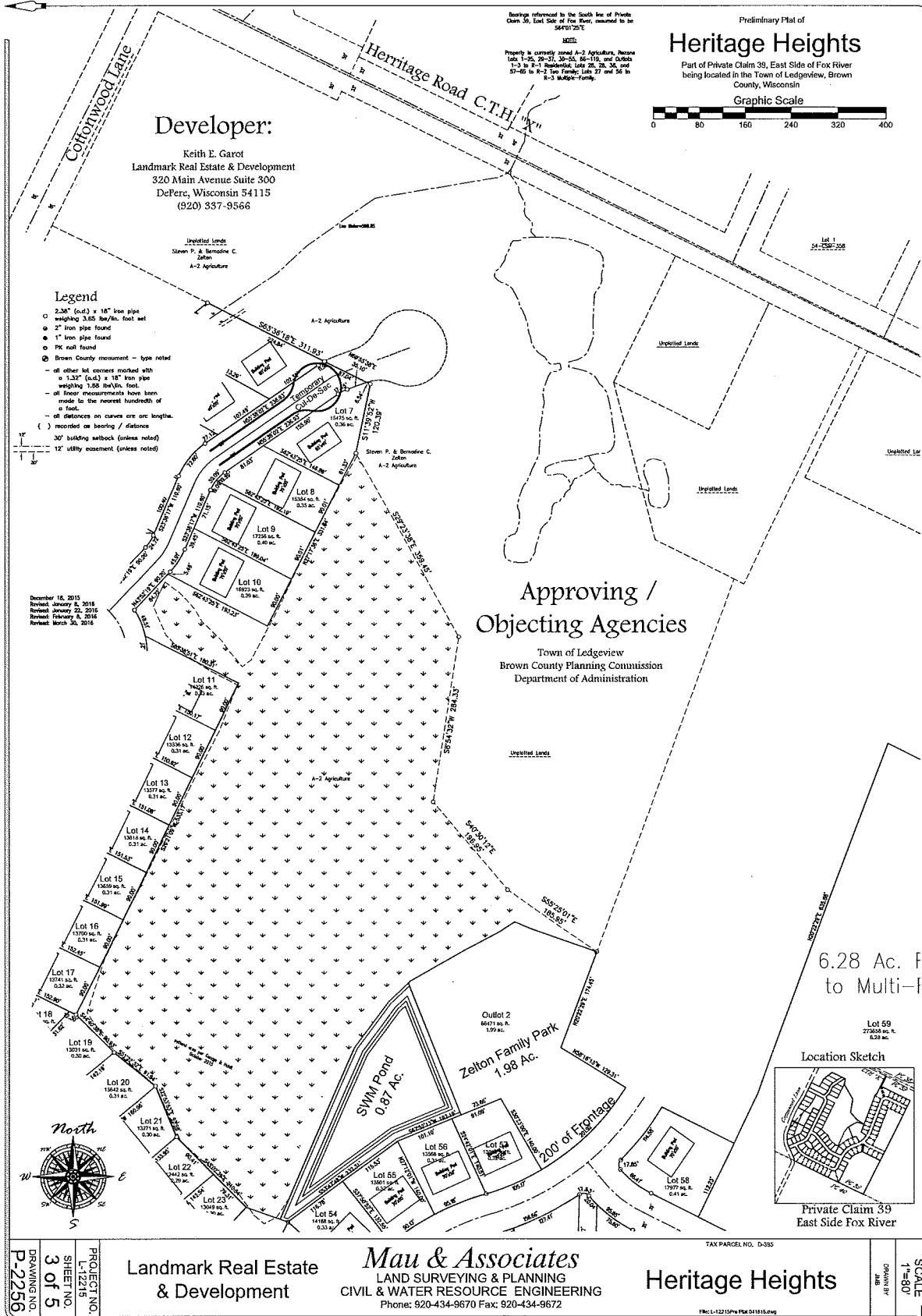
Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

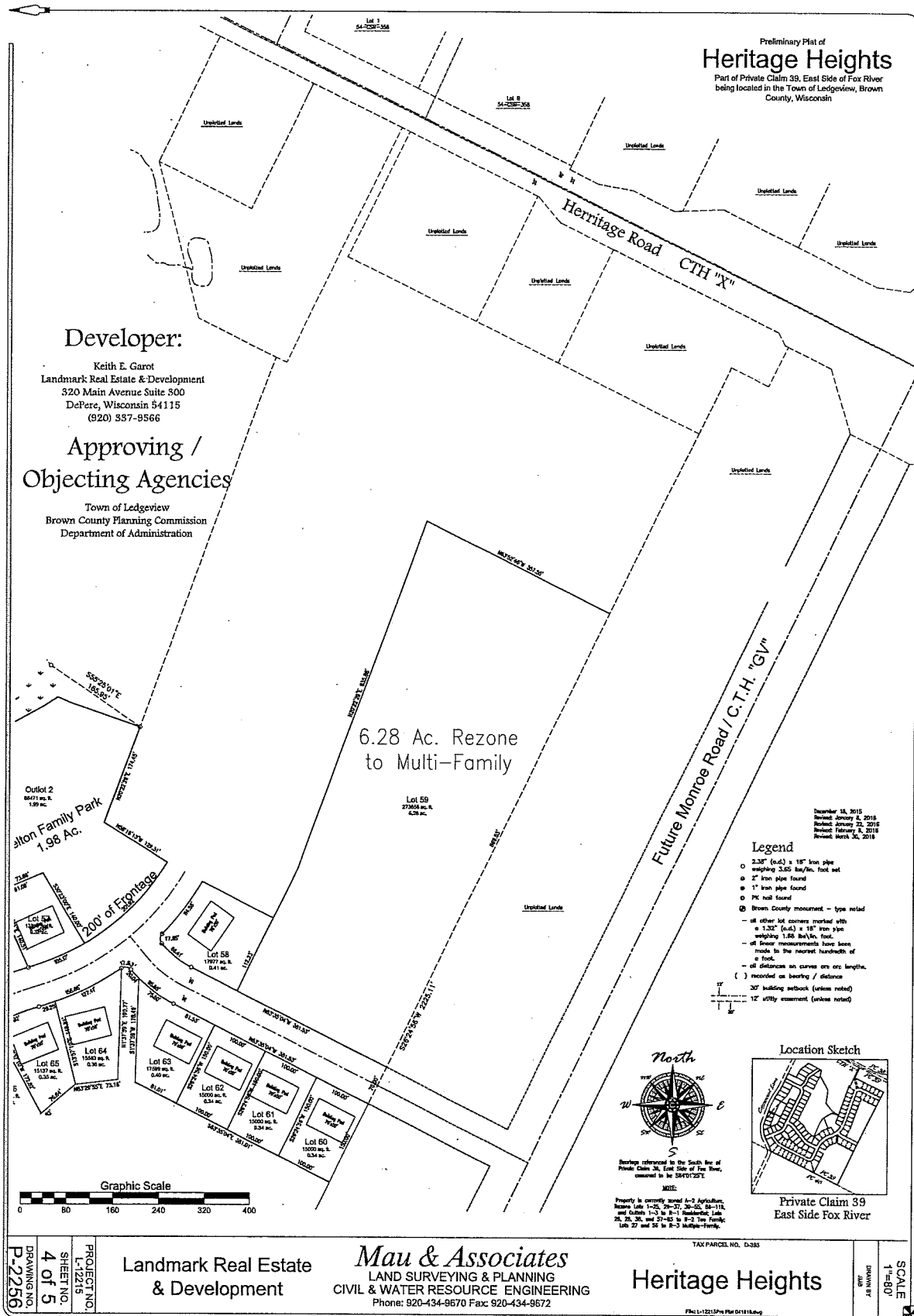
Name of Owner/Authorized Representative (please print) Steve Bieda	Title Managing Partner	Phone Number 920-434-9670
Signature of Applicant  AGG, LLC Member		Date Signed May 2, 2016 <u>MAY 10, 2016</u>

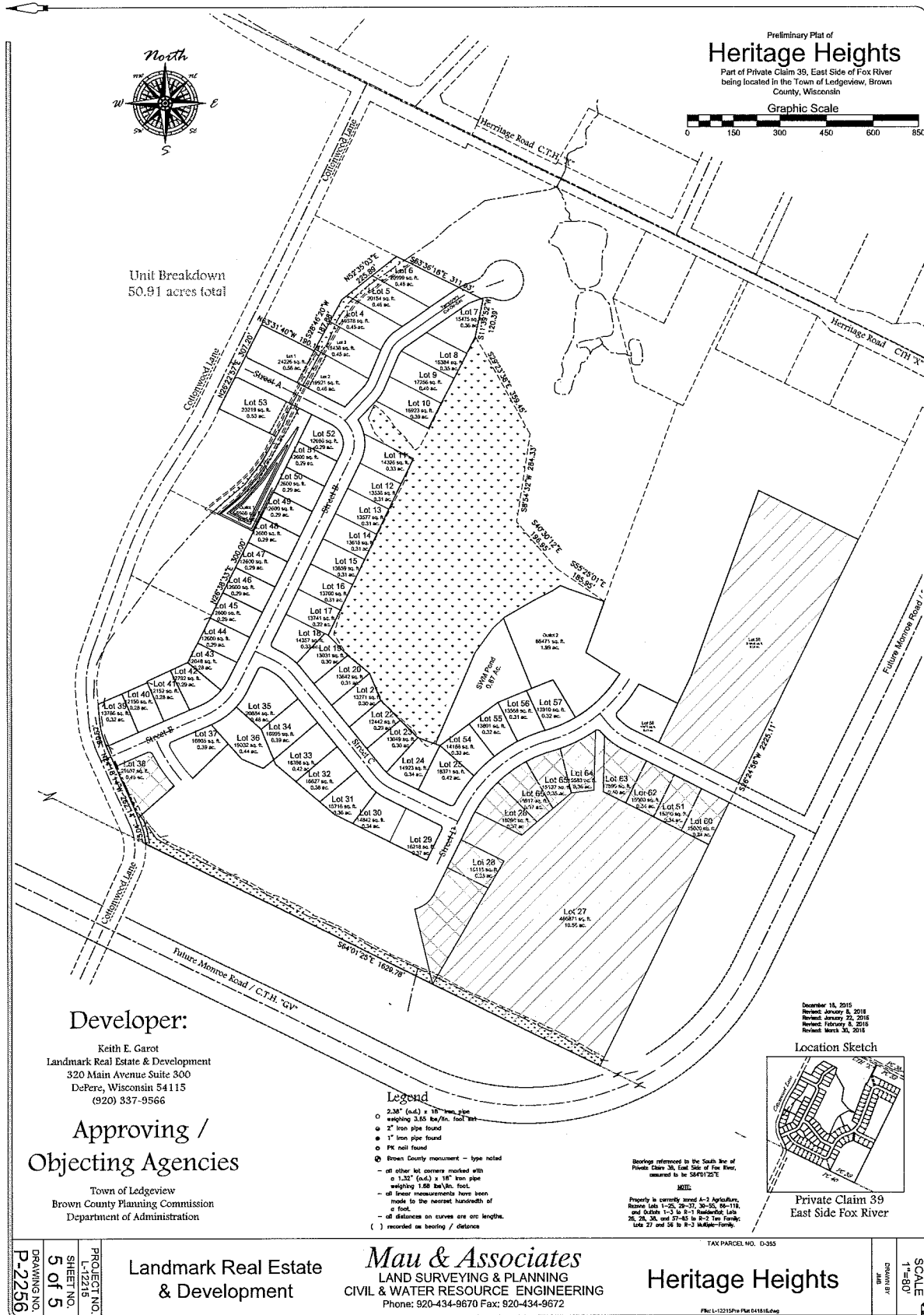
TO BE COMPLETED BY CITY STAFF

Plat Review authorized by the De Pere Municipal Code, Chapter 46.	
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City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: May 23, 2016

DEPARTMENT: Plan Commission

FROM: Kimberly Flom

SUBJECT: Review the CSM Application for an Extraterritorial CSM for a two lot CSM in the Town of Wrightstown *

ATTACHMENTS:

- PC_Staff_Hjorth Rd CSM (DOCX)
- CSM Application W-577 & W-578 (PDF)
- CSM W-577 & W-578 (PDF)

Item 4: Review the CSM Application for an Extraterritorial CSM for a two lot CSM in the Town of Wrightstown. Submitted by Steven E. Zeitler. *

The applicant proposes to reconfigure Parcels W-578 and W-577 to create a new 3.083 acre lot. The CSM is only partially located in the City of De Pere extraterritorial review area and is not located in the Urban Reserve Area as defined by the Comprehensive Plan.



Figure 1: Site Location

Recommendation

Staff recommends approval of the CSM, and that the CSM be forwarded to the Common Council for approval, subject to the below conditions:

1. CSM must meet the requirements specified by Brown County Planning and the Town of Wrightstown.
2. Certificate for City of De Pere should be Shana Ledvina, City Clerk.

MAY 10 2016

Print Form

	CITY OF DE PERE APPLICATION FOR CSM REVIEW	Fee: \$ 350.00
		Receipt #: 112401
		Date: 5-10-16

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Randall & Gloria Klosterman	Authorized Representative Steven E. Zeitler	Title Land Surveyor	
Mailing Address 7410 Hidden Valley Road	City Maribel	State Wi	ZIP Code 54227
Email Address zeitler99@aol.com	Phone Number (incl. area code) 9208638411	Fax Number (incl. area code) 54115	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) Randall & Gloria Klosterman	Contact Person	Title	
Mailing Address 1746 Hjorth Road	City De Pere	State Wis	ZIP Code 54115
Email Address	Phone Number (incl. area code) 9203092340	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description 1746 Hjorth Road De Pere Wi 54115	Parcel No. W-577 & 578
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SECTION 4: CSM Information

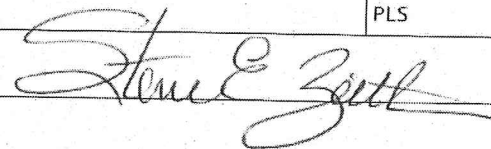
Existing Zoning:	Exclusive Ag
Present Use of Parcel:	Residence & Ag
Proposed Use of Lots:	2 Residence Parcels

Please submit 1 hard copy and 1 PDF copy of the CSM if the property is located within the City or if the property is located within the extraterritorial jurisdiction.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Steven E. Zeitler	Title PLS	Phone Number 9208638411
Signature of Applicant 		Date Signed 5/2/16

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.

Crys 2016



Thank you for evaluating
PDF Complete.

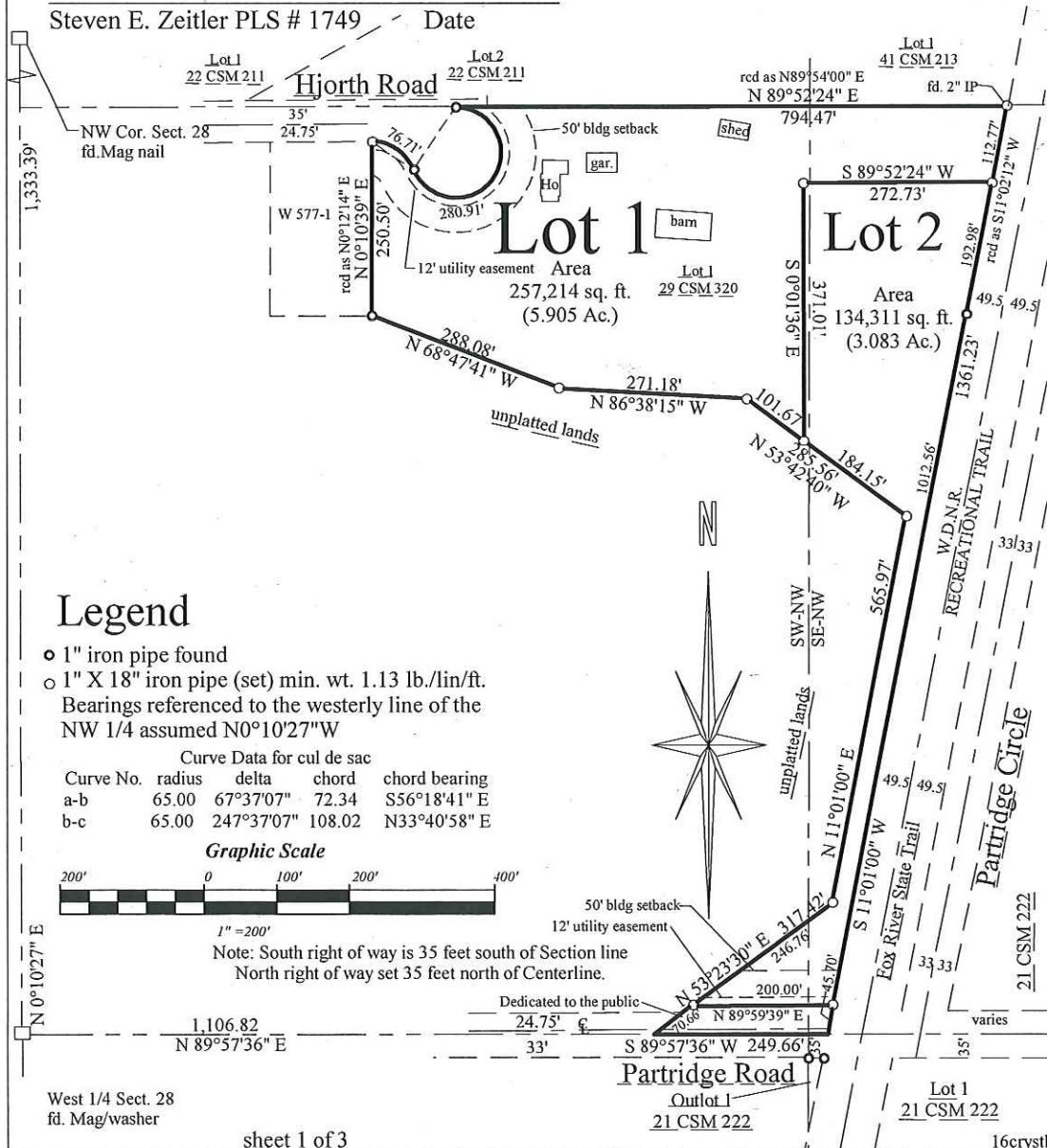
Click Here to purchase
full featured PDF Complete product

Certified Survey Map

ALL OF LOT 1 OF CERTIFIED SURVEY MAP VOLUME 29 PAGE 320 #4621 BEING PART OF
AND INCLUDING THE SW-NW AND SE-NW OF SECTION 28, T.22 N.- R.20 E. ,
TOWN OF WRIGHTSTOWN, BROWN COUNTY, WISCONSIN

Surveyors Certificate:

I, Steven E. Zeitler, Professional Land Surveyor, do hereby certify that I have surveyed, divided, and mapped the land described hereon; that I have made such survey and map by the direction of the owners listed hereon; and that I have complied with the provisions of Chapter 236 Section 236.34 of the Wisconsin Statutes, the Town of Wrightstown, and the Brown County Planning Commission in surveying, dividing and mapping the hereon described parcel of land and that the map hereon is a true and correct representation of the exterior boundary and the division of it.





CERTIFIED SURVEY MAP

ALL OF LOT 1 OF CERTIFIED SURVEY MAP VOLUME 29 PAGE 320 #4621 BEING PART OF
AND INCLUDING THE SW-NW AND SE-NW OF SECTION 28, T.22 N.- R.20 E. ,
TOWN OF WRIGHTSTOWN, BROWN COUNTY, WISCONSIN

RESTRICTIVE COVENANTS

1. A. Shoreland permit from the Brown County Zoning Administrator's Office is required for Lot 1 prior to any construction, fill or grading activity within 300 feet of a stream.
2. The land on all side and rear lot lines of all lots shall be graded by the owner and maintained be abutting property owners to provide for adequate drainage of surface water.
3. Lots 1 contains an Environmentally Sensitive Area (ESA) as defined in the Brown County Sewage Plan. The ESA includes navigable waterways, and all land within 75 feet of the ordinary high water mark of navigable waterways. Development and land disturbing activities are restricted in the ESA unless amendments are approved by the Brown County Planning Commission and the Wisconsin Department of Natural Resources.

Notes:

1. The property owners, at the time of construction, shall implement the appropriate soil erosion control methods outlined in "Wisconsin Construction Site Best Management Practice Handbook" (Available from the Wisconsin Department of Natural Resources) to prevent soil erosion. However, if at the time of construction the Town has an adopted soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction or installation related activities.

Description

All of Lot 1 of Certified Survey Map Volume 29 Page 320 #4621 being part of and also including the Southwest 1/4 of the Northwest 1/4 and the Southeast 1/4 of the Northwest 1/4 of Section 28, T.22 N.- R.20 E., Town of Wrightstown, Brown County, Wisconsin described as;

Commencing at the West 1/4 Corner of Section 28; thence along the southerly line of the NW 1/4 North 89°57'36" East 1,106.82 feet to the poing of beginning;

thence North 53°23'30" East 317.42 feet; thence North 11°01'00" East 566.02 feet; thence North 53°42'40" West 285.82 feet; thence North 86°38'15" West 271.18 feet; thence North 68°47'41" West 288.08 feet to a found 1" iron pipe found being the southwest corner of said Lot 1; thence along the westerly line of said lot North 0°10'39" East 250.50 feet; thence 76.71 feet along the arc of a 65.00 foot radius curve to the right whose long chord bears South 56°18'41" East 72.34 feet; thence 280.91 feet along the arc of a 65.00 foot radius curve to the right whose long chord bears North 33°40'58" East 108.02 feet to the northerly line of said Lot 1; thence along said line North 89°52'24" East 794.47 feet to a found 2 inch iron pipe being the northeast corner of said Lot 1; thence South 11°01'00" West 1,361.08 feet to the southerly line of the NW 1/4; thence along said line South 89°57'36" West 248.55 feet to the point of beginning.



CERTIFIED SURVEY MAP

ALL OF LOT 1 OF CERTIFIED SURVEY MAP VOLUME 29 PAGE 320 #4621 BEING PART OF
AND INCLUDING THE SW-NW AND SE-NW-OF SECTION 28, T.22 N.- R.20 E. ,
TOWN OF WRIGHTSTOWN, BROWN COUNTY, WISCONSIN

OWNERS CERTIFICATE:

As owners, We hereby certify that we caused the land described on this map to be surveyed, divided, mapped and dedicated as represented hereon; We also certify that this Certified Survey Map is required to be submitted to the Town of Wrightstown, and the Brown County Planning Commission, for approval or objection in accordance with current Land Subdivision Ordinances

Randall R. Klosterman

Gloria A. Klosterman

STATE OF WISCONSIN)

BROWN COUNTY)SS

Personally came before me this ____ day of _____,
2016 the above named owners, to me known to be the persons who
executed the foregoing instrument and acknowledge the same.

Notary Public

Steven E. Zeitler

My commission expires 1/15/17

TREASURER'S CERTIFICATE

As duly elected Brown County Treasurer, we hereby certify that the records in our office show no unpaid taxes; no unredeemed tax sales and no unpaid special assessments affecting any of the lands included as of the date listed below.

Paul D. Zeller Date
Brown County Treasurer

TOWN OF WRIGHTSTOWN APPROVAL:

CITY OF DE PERE APPROVAL

Approved by the Town of Wrightstown, Brown County

Wisconsin, on the ____ day of _____, 2016. Approved for the City of De Pere, Wisconsin on the ____ day of _____, 2016

Donna Martzahl Town Clerk

Kim Flom
Planning Director

BROWN COUNTY PLAN COMMISSION APPROVAL:

Approved by the Brown County Planning Commission
this ____ day of _____, 2016

Peter Schlein Senior Planner

for recording

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: May 23, 2016

DEPARTMENT: Plan Commission

FROM: Kimberly Flom

SUBJECT: Review and Recommendation on the one lot CSM Application for Sierra Coating Technologies LLC, located at 1820 Enterprise Drive (ED-F0100-C-2 & ED-F0100-C-3)

ATTACHMENTS:

- PC Staff Sierra Coating CSM (DOCX)
- CSM ED-F0100 Application (PDF)
- CSM ED-F0100-C-2 & ED-F0100-C-3 (1820 Enterprise) (PDF)

Item 5: Review and Recommendation on the one lot CSM Application for Sierra Coating Technologies LLC, located at 1820 Enterprise Drive (ED-F0100-C-2 & ED-F0100-C-3). Applicant: Mach IV Engineering and Surveying, LLC

The applicant submitted a CSM application to consolidate parcels ED-F0100-C-2 & ED-F0100-C-3, thereby creating a 7.93 acre lot. The consolidation is necessary to accommodate the proposed expansion for Sierra Coating Technologies. The applicant also submitted a site plan application for a detailed review of the proposed expansion.

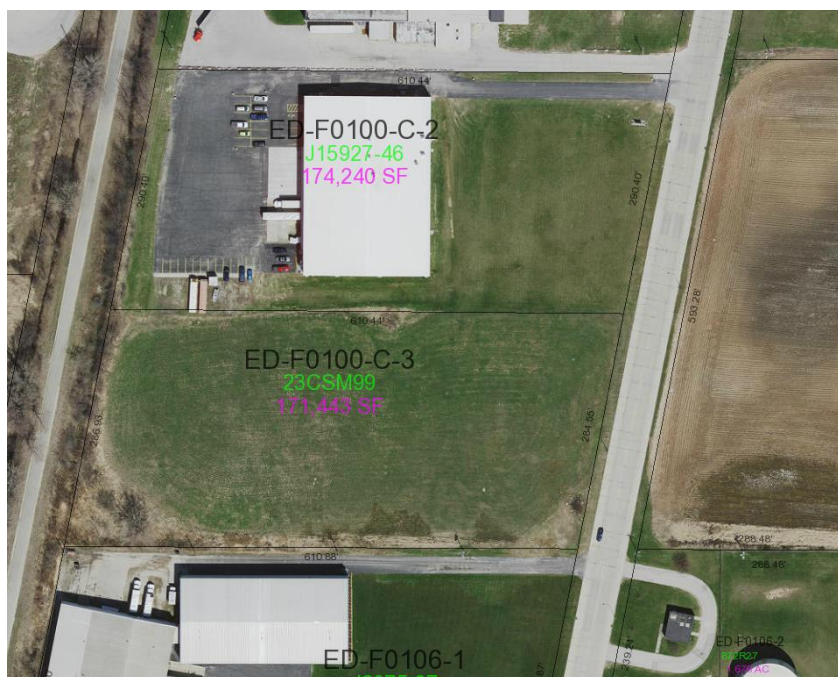


Figure 1: Site Location – Parcels ED-F0100-C-2 & ED-F0100-C-3

The consolidated lot meets minimum zoning requirements for the I-1 District. The applicant has expressed interest in vacating the utility easement that bisects the consolidated lot. Staff will work with the applicant to process this request, which is reviewed by the Board of Public Works and other parties, like the utilities.

The below comments were compiled from an intergovernmental review of the CSM and must be addressed prior to finalizing the CSM.

City of De Pere Public Works:

1. No Comment.

Brown County Planning:

1. No Comment.

Brown County Parks:

1. No Comment.

AT&T:

1. Comments not received in time for Plan Commission meeting. CSM to address any comments issued by AT&T.

Wisconsin Public Service:

1. Comments not received in time for Plan Commission meeting. CSM to address any comments issued by Wisconsin Public Service.

Building/Planning:

1. 40' building setback line along Enterprise should be removed. Building setbacks to be determined by zoning ordinance.
2. Change City of De Pere certificate from Shana L. Defnet to Shana L. Ledvina
3. Correct the following spelling errors on Restrictive Covenants #1:
 - a) 'subdiver' to 'subdivider'
 - b) 'ownrers' to 'owners'
4. Upon approval of the revised CSM, the map shall be filed by the divider for record with the county register of deeds, and two copies shall be filed with the city director of planning if the property is located within the city. Two copies shall be filed with the director of planning if the property is located within the extraterritorial platting jurisdiction of the city.

Recommendation:

Staff recommends approval of the CSM, subject to compliance with the above conditions.

	CITY OF DE PERE APPLICATION FOR CSM REVIEW	Fee: \$ 350.00
		Receipt #: 112220
		Date: 5-4-16

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) MACH IV ENGINEERING & SURVEYING	Authorized Representative RANDY OETTINGER	Title LAND SURVEYOR	
Mailing Address 1820 ENTERPRISE DRIVE	City GREEN BAY	State WI	ZIP Code 54303
Email Address ROETTINGER@MACH-IV.COM	Phone Number (incl. area code) 920-569-5765	Fax Number (incl. area code) 920-569-5767	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) SIERRA COATINGS LLC	Contact Person	Title	
Mailing Address 1820 ENTERPRISE DRIVE	City DE PERE	State WI	ZIP Code 54115
Email Address	Phone Number (incl. area code)	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description 1820 ENTERPRISE DRIVE	Parcel No. ED-F0100-C-2 & ED-F0100-C-3
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SECTION 4: CSM Information

Existing Zoning:	
Present Use of Parcel:	INDUSTRIAL
Proposed Use of Lots:	INDUSTRIAL

Please submit 1 hard copy and 1 PDF copy of the CSM if the property is located within the City or if the property is located within the extraterritorial jurisdiction.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) <i>Randall Oettinger</i>	Title <i>Land Surveyor</i>	Phone Number <i>(920) 569-5765</i>
Signature of Applicant <i>Randall Oettinger</i>		Date Signed <i>4/27/16</i>

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.

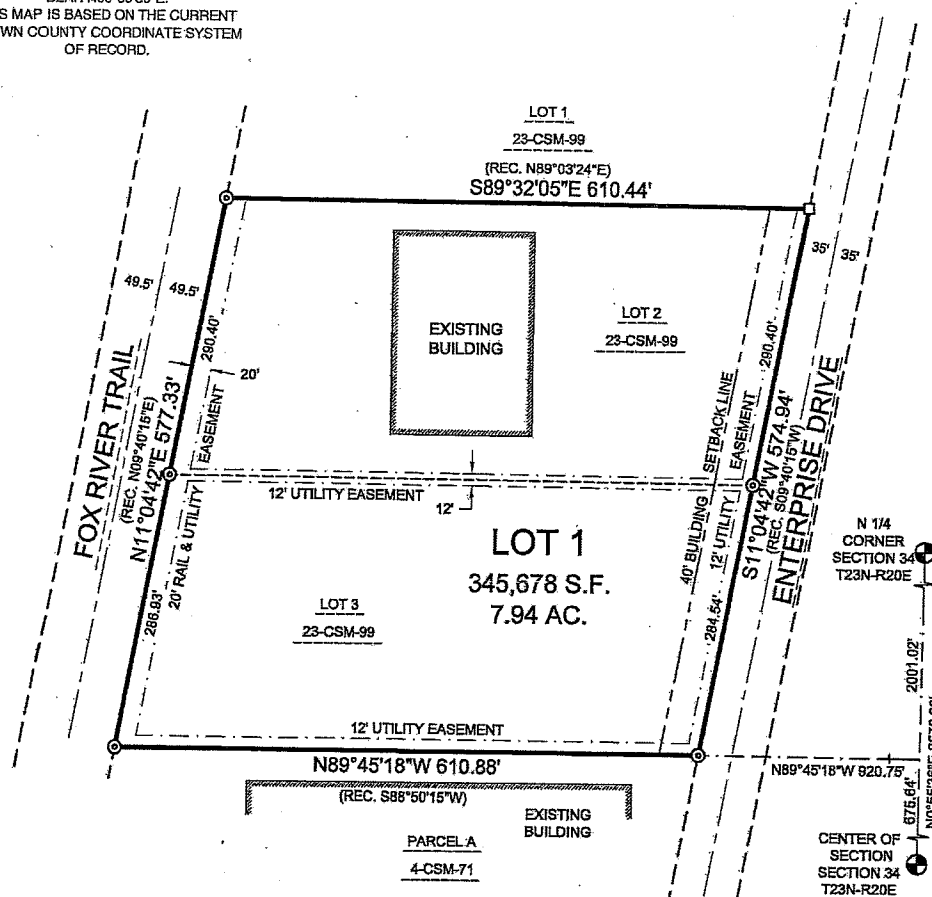
CERTIFIED SURVEY MAP

A COMBINATION OF LANDS RECORDED IN DOCUMENT NUMBER 1720352 AND DOCUMENT NUMBER 2631733, BEING ALL OF LOTS 2 AND 3 OF VOLUME 23, CERTIFIED SURVEY MAPS, PAGE 99 (MAP #3948-DOCUMENT #1218967), ALL OF BROWN COUNTY RECORDS, LOCATED IN PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 34, T23N-R20E, CITY OF DE PERE, BROWN COUNTY, WISCONSIN.



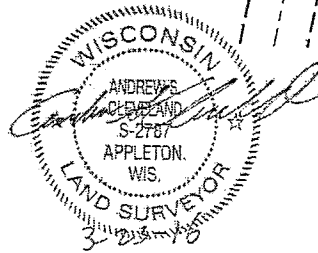
GRAPHIC SCALE

NORTH IS REFERENCED TO THE EAST
LINE OF THE NORTHWEST 1/4 OF
SECTION 34, T23N-R20E, RECORDED TO
BEAR N00°55'36"E.
THIS MAP IS BASED ON THE CURRENT
BROWN COUNTY COORDINATE SYSTEM
OF RECORD.



LEGEND

- | | |
|---|--------------------|
| ⊙ | 1" IRON PIPE FOUND |
| □ | EXISTING MAG NAIL |
| ⊕ | MONUMENT FOUND |



Mach IV

Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-5765 Fax: 920-569-5767

CLIENT: SIERRA COATINGS
DRAFTED BY: RJO
TAX PARCEL NO.: ED-F0100-C-2 &
ED-F0100-C-3

SCALE:
1"=150'

SHEET ONE OF TWO
PROJECT NO. 1084-01-16
DRAWING NO. 1180

CERTIFIED SURVEY MAP

SURVEYOR'S CERTIFICATE

I, ANDREW S. CLEVELAND, PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THIS CERTIFIED SURVEY MAP IS NOT A DIVISION OF PROPERTY BUT SOLELY A COMBINATION AND DEPICTION OF THE LAND BOUNDARIES RECORDED IN DOCUMENT NUMBER 1720352 AND 2631733, BROWN COUNTY RECORDS, INTO A SINGLE PARCEL, BEING ALL OF LOTS 2 AND 3 OF VOLUME 23, CERTIFIED SURVEY MAPS, PAGE 99 (MAP #3948-DOCUMENT #1218967), BROWN COUNTY RECORDS, LOCATED IN PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 34, T23N-R20E, CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

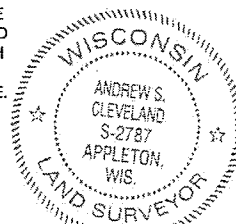
SAID PARCEL CONTAINS 345,678 SQ. FT. / 7.94 ACRES OF LAND, MORE OR LESS.
SUBJECT TO ALL EASEMENTS AND RESTRICTIONS OF RECORD.

THIS CERTIFIED SURVEY MAP IS ALL OF TAX PARCEL NUMBERS: ED-F0100-C-2 & ED-F0100-C-3

THAT SUCH PLAT IS A CORRECT REPRESENTATION OF ALL THE EXTERIOR BOUNDARIES OF THE LAND SURVEY AND THE COMBINATION OF THAT LAND. THAT I HAVE MADE SUCH A SURVEY, AND PLAT BY THE DIRECTION OF THE OWNERS LISTED HEREON. THAT I HAVE FULLY COMPLIED WITH THE PROVISIONS OF CHAPTER 236, SECTION 236.34 OF THE WISCONSIN STATUTES AND THE CITY OF DE PERE PLANNING COMMISSION IN SURVEYING, COMBINING, AND MAPPING THE SAME.

Andrew S. Cleveland
ANDREW S. CLEVELAND
MARCH 23, 2016

PLS-2787



LIMITED LIABILITY COMPANY OWNER'S CERTIFICATE

SIERRA COATINGS TECHNOLOGIES LLC, A LIMITED LIABILITY COMPANY DULY ORGANIZED AND EXISTING UNDER AND BY VIRTUE OF THE LAWS OF THE STATE OF WISCONSIN, DOES HEREBY CERTIFY THAT WE CAUSED THE LAND DESCRIBED TO BE SURVEYED, MAPPED AND COMBINED AS REPRESENTED HEREON. SIERRA COATINGS TECHNOLOGIES LLC ALSO CERTIFIES THAT THIS PLAT IS REQUIRED BY S.236.10 OR S.236.12 TO BE SUBMITTED TO THE FOLLOWING FOR APPROVAL OR OBJECTION:

CITY OF DE PERE

IN WITNESS WHEREOF, THE SAID SIERRA COATINGS TECHNOLOGIES LLC HAS CAUSED THESE PRESENTS TO BE SIGNED BY

_____, ITS MEMBER, ON THIS ____ DAY OF _____, 20__.

MEMBER

PERSONALLY CAME BEFORE ME THIS ____ DAY OF _____, 20__, THE ABOVE NAMED MEMBER OF SAID LIMITED LIABILITY COMPANY AND ACKNOWLEDGED THAT HE EXECUTED THE FOREGOING INSTRUMENT AS SUCH MEMBER AS THE DEED OF SAID LIMITED LIABILITY COMPANY, BY ITS AUTHORITY.

NOTARY PUBLIC _____ MY COMMISSION EXPIRES _____
_____ COUNTY, WISCONSIN

STATE OF WISCONSIN]
] SS
COUNTY OF _____]

CERTIFICATE FOR THE CITY OF DE PERE

APPROVED FOR THE CITY OF DE PERE THIS ____ DAY OF _____,
20__.

SHANA L. DEFNET
DE PERE-CLERK/TREASURER

RESTRICTIVE COVENANTS FROM 23-CSM-99:

- 1) THE LAND ON ALL SIDE AND REAR LOT LINES OF ALL LOTS SHALL BE GRADED BY THE SUBDIVIDER AND MAINTAINED BY THE ABUTTING PROPERTY OWNERS TO PROVIDE FOR ADEQUATE DRAINAGE OF SURFACE WATER.
- 2) EACH LOT OWNER SHALL GRADE THE PROPERTY ABUTTING A STREET TO CONFORM TO THE ADOPTED SIDEWALK GRADE ELEVATION AND MAINTAIN SAID ELEVATION FOR FUTURE SIDEWALKS.

Mach IV

Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-5765 Fax: 920-569-5767

CLIENT: SIERRA COATINGS

DRAFTED BY: RJO

TAX PARCEL NO.: ED-F0100-C-2 &
ED-F0100-C-3

SCALE:

SHEET TWO OF TWO
PROJECT NO. 1084-01-16
DRAWING NO. 1180

City of De Pere, Wisconsin**Request For Plan Commission Action**

MEETING DATE: May 23, 2016

DEPARTMENT: Plan Commission

FROM: Kimberly Flom

SUBJECT: Review and Recommendation on the Site Plan Application for Sierra Coating Technologies LLC, located at 1820 Enterprise Drive (ED-F0100-C-2 & ED-F0100-C-3)

ATTACHMENTS:

- PC Staff Sierra Coating SP (DOCX)
- Site Plan Application ED-F0100-C-2 & ED-F0100-C-3(PDF)
- Site Plan Review ED-F0100-C-2 & ED-F0100-C-3 (1820 Enterprise Dr) (PDF)

Item 6: Review and Recommendation on the Site Plan Application for Sierra Coating Technologies LLC, located at 1820 Enterprise Drive (ED-F0100-C-2 & ED-F0100-C-3). Applicant: Mach IV Engineering and Surveying, LLC

Project Summary

Sierra Coating Technologies is a manufacturer in the East Industrial Park that uses a variety of machinery to provide coating for packaging and printing, permanent laminations, product development, food grade packaging and more. The applicant proposes to construct a 33,615 square foot addition to the existing building. This project is part of a multi-phase expansion master plan that anticipates a future expansion along the east side of the building.

The applicant also applied for a one lot Certified Survey Map (CSM) in order to consolidate the two parcels needed for the expansion.



Figure 1: Site Location – Parcels ED-F0100-C-2 & ED-F0100-C-3



Figure 2: Existing Building – Former Kimco Engraving

The site plan shows a 33,615 square foot building addition on the south side of the existing building. The addition more than doubles the size of the current facility. Site improvements include a new drive aisle and site entrance off of Enterprise that provides wraparound access to the facility, 24 new surface parking spaces and a dry detention pond along Enterprise Drive.

Building Elevations

The applicant proposes to construct an almost 100% metal panel building (a few small window openings are shown on the east elevation). The existing building is also almost entirely constructed of metal. Per Code, the front elevation (east) must be constructed of either concrete, brick, stone and/or glass curtain walls. The applicant has indicated that the east elevation (facing Enterprise Drive), is planned for a future expansion that will include offices. Similar to other projects, staff recommends permitting the elevation as designed for five years. If the expansion hasn't been completed at the time, the City will require the property owner to bring the elevation up to Code standards.

25% of the side and rear elevations should be constructed from the approved material list noted above. However, in the I-1, I-2 and I-3 zoning districts, the Plan Commission may approve the use of metal siding for the entire side and rear building walls. Metal siding as a material is prevalent in the East Industrial Park, particularly in some of the older buildings. Many new buildings include some form of approved masonry material on the side.

If the Plan Commission supports the applicants request for 100% side and rear metal walls, staff recommends requiring landscaping, above code requirements, to visually screen the southern side wall.

Site Statistics

EXISTING SITE

Zoning District – I-1 Industrial
 Lot Size (2 parcels): 7.93 acres (345,683 s.f.)
 Building Area: 31,500 s.f.
 Roadway/sidewalk/parking lot: 51,622 s.f.
 Green Space: 262,556 s.f (76%)

PROPOSED SITE

Lot Size (1 parcel): 7.93 acres (345,683 s.f.)
 Building Area: 65,115 s.f.
 Roadway/sidewalk/parking lot: 88,544.s.f.
 Green Space: 192,019s.f (55.6%)

Parking/Loading:

Required Parking: 66 (*The greater of 1/1,000 s.f. or 1 per 2 employees (22 employees)*)
 Proposed Parking: 49

The below comments were compiled from an interdepartmental review of the submitted application.

Public Works:

1. The proposed Driveway apron within the right of way is shown as asphalt. The apron needs to be concrete with a sidewalk section per Section 22-15 (c)(1).
2. Modify the existing northerly entrance to conform to the City's requirement of a concrete apron. This driveway was originally constructed as a concrete apron and later widened with asphalt.
3. Provide calculations for sizing the storm sewer and the dry pond. The calculations shall include maps with drainage basins. Provide a written narrative conforming to the requirements of the NEWSC Storm Water Management Reference Guide (found on website) which has been adopted as the City's reference guide.
4. Provide sediment loss calculations for construction activities per the WDNR Construction Site Loss and Sediment Discharge USLE model. Include maps for the calculations.
5. Based on the calculations and models, the City may require a maintenance agreement for the dry detention. This will be addressed with the storm water management report.

- Based on the site calculations, no additional water for fire protection water capacity is necessary. If this is not the case, notify the City.

Fire:

- Fire vehicle access is provided on three sides of the building.
- The applicant is encouraged to meet with the Fire Department prior to finalizing building plans in order to ensure compliance with appropriate fire code requirements.

Forestry:

- The planting detail is correct and should be followed by the contractor to ensure long term success of all trees.
- The applicant should consider replacing the Red Maple trees with a species that is more tolerant of the clay type soils in De Pere.

Health:

- No action needed based on review by Health Department.

Building/Planning:

- Add size of expansion in square feet on the building under 'Proposed Addition'
- Update 'Site Statistics' table to include the overall size of the existing site and the proposed site.
- 66 parking spaces are required per code but only 49 are provided. The City reserves the right to order the installation of 17 new parking spaces if lack of parking becomes an issue on the property.
- The Code requires 1 tree for every 10,000 square feet of lot area (35 trees for this site) and parking lot landscaping/screening. The landscape plan shows 27 black hills spruce and 8 red maple. The landscape plan should be revised to provide more diversity in species selection. Consideration should be given to preserving street views of the facility in the future. The current design will essentially block all views of the building from Enterprise Drive when the trees reach maturity.
- If 100% metal side and rear elevations are approved, provide above code requirements, to visually screen the southern side wall. Landscaping to be approved by the Economic Development & Planning Director.
- Provide the following label on the site plan and building elevations:
 East Elevation wall is planned as an expansion area. If expansion has not occurred within 5 years of site plan approval, the elevation will be renovated to meet the material requirements of the Zoning Ordinance.
- Per Code, metal siding shall be entirely coated with a colorfast, abrasion and corrosion resistant, long life (minimum of 20 years) finish that is resistant to chemicals, withstands temperature extremes, and has a low permeability. Such panels shall be insulated (facing shall carry a U.L. Approval), have a vapor barrier and have a minimum 8 foot (from floor) interior wear wall. Any material utilized to attach the metal siding to the building shall be concealed or the utilization of shadow panels or semi-concealed fastener panels with fasteners painted to match the panels shall be required.
- Signage is not shown. If signage is proposed, it must meet Code and be submitted with a signage permit application.
- If exterior lighting is proposed, a photometric plan must be submitted for review.
- A dumpster/garbage area is not shown on the site plan. If an exterior dumpster area is proposed, it must be included on the site plan and fully screened per Code requirements.

Recommendation:

Staff recommends approval of the site plan, subject to compliance with the above comments and conditions.



CITY OF DE PERE
RECEIVED
MAY 9 2016
PLANNING DEPT.

CITY OF DE PERE

APPLICATION FOR
SITE PLAN REVIEW

Fee: \$ 290.00

Receipt #: 112400

Date: 5-9-16

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Mach IV Engineering & Surveying LLC	Authorized Representative Robert Mach, P. E.	Title Partner	
Mailing Address 211 N. Broadway, Suite 114	City Green Bay	State WI	ZIP Code 54303
Email Address rmach@mach-iv.com	Phone Number (incl. area code) (920) 569-5765	Fax Number (incl. area code) (920) 569-5767	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) Sierra Coating Technologies LLC	Contact Person Robert Shade	Title	
Mailing Address 1820 Enterprise Dr	City De Pere	State WI	ZIP Code 54115
Email Address	Phone Number (incl. area code) (920) 983-8000	Fax Number (incl. area code) (920) 983-0136	

SECTION 3: Project or Site Location

Project Address/Description 1820 Enterprise Drive and the adjacent vacant lot	Parcel No. ED-F0100-C-2 & ED-F0100-C-3
--	---

SECTION 4: Project Information

Existing Zoning:	I-1		
Present Use of Parcel:	Manufacturing and vacant land		
Proposed Use of Parcel:	Addition to the existing manufacturing facility		
Estimated Start Date:	06/01/16	Estimated Completion Date:	10/01/16

Please submit 1 hard copy 24x36, 1 hard copy 11x17 and 1 PDF copy of the submittal.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) ROBERT MACH	Title P.E. / AGENT	Phone Number 920-569-5765
Signature of Applicant Robt A. Mach	Date Signed 5/9/16	

TO BE COMPLETED BY CITY STAFF

CSM Review authorized by the De Pere Municipal Code, Chapter 46.

COVER SHEET


Keller

PLANNERS | ARCHITECTS | BUILDERS

FOX CITIZEN
4218 State Road 36
PO Box 459
Kaukauna, WI 54130
PHONE (920) 764-9700
FAX (920) 766-9664

MADISON
3286 Highway Office
Madison, WI 53702
PHONE (608) 442-2345
FAX (608) 442-2345

MILWAUKEE
8177 108th Avenue
Suite 104
Greenfield, WI 53221
PHONE (414) 290-8116
FAX (414) 290-8116

WAUSAU
3400 Industrial Avenue
Suite 8
Franklin, WI 53121
PHONE (715) 846-2181
FAX (715) 846-2181

www.kellerbuilds.com
SIERRA COATING TECHNOLOGY, LLC

WISCONSIN

DE PERE

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REVISIONS

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PROJECT MANAGER: C. VANDERKAMER

DESIGNER: R. MACH

DRAWN BY: R. HEJTER

EXPIRATION: _____

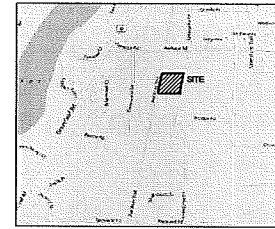
SUPERVISOR: _____

CONTRACT NO: P16036

IED NO: _____

DATE: 05/05/2016

SHEET: _____

C0.1


LOCATION MAP
1820 ENTERPRISE DR
DE PERE, WI 54115

LEGAL DESCRIPTION

ALL OF LOTS 2 AND 3 OF VOLUME 23, CERTIFIED SURVEY MAP, PAGE 99 (MAP #3948-DOCUMENT #1218567), BROWN COUNTY RECORDS, LOCATED IN PART OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 AND THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 34, T23N-R20W, CITY OF DE PERE, BROWN COUNTY, WISCONSIN.

CIVIL SHEETS INDEX

- C0.1 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 UTILITY PLAN
- C4.0 GRADING PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS
- L1.0 LANDSCAPE PLAN

LEGEND

- 1" IRON PIPE FOUND
- MONUMENT FOUND
- CABLE PEDESTAL
- AIR CONDITIONING UNIT
- ELECTRIC PEDESTAL
- GUY WIRE
- LIGHT POLE
- POWER POLE
- GAS METER
- BOLLARD
- ROCK
- SANITARY MANHOLE
- CATCH BASIN
- DOWNSPOUT
- INLET
- STORM MANHOLE
- TRIE
- FIRE HYDRANT
- WATER SHUT OFF
- OVERHEAD WIRES
- UNDERGROUND ELECTRIC
- GAS
- LANDSCAPE
- CENTERLINE
- CURB
- GRAVEL
- SANITARY SEWER
- STORM SEWER
- WOOD LINE
- WATERMAIN
- CONTOUR LINE
- BUILDING
- ASPHALT
- CONCRETE

DIGGERS HOTLINE

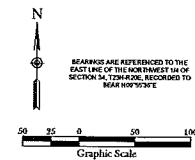
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

WISCONSIN STATUTE 182.0175 (800) 242-8511
WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE MAY BE OTHER UNDISCOVERED UTILITY INSTALLATIONS WITHIN THE PROJECT AREA THAT ARE NOT SHOWN.

Mach IV

Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
Ph: 920-569-3765 Fax: 920-569-3767
Project Number: 1064-01-16



ABBREVIATIONS

CB	CATCH BASIN	R	RADIUS
E	EAST	RD	ROAD
EL	ELEVATION	RCP	REINFORCED CONCRETE PIPE
ELEV	ELEVATION	ROW	RIGHT OF WAY
EX	EXISTING	S	SOUTH
FTE	FINISHED FLOOR ELEVATION	SA	SANITARY
FT	FEET	SDR	STANDARD DIMENSION RATIO
HDPPE	HIGH DENSITY POLYETHYLENE	SF	SQUARE FEET
IN	INCH	SQ	SQUARE
INV	INVERT	ST	STORM
LF	LINEAR FEET	SW	SOUTHWEST
MAX	MAXIMUM	TYP	TYPICAL
MFG	MATCH EXISTING GRADE	W	WEST
MH	MANHOLE	WID	WIDTH
MN	MINIMUM	WM	WATER
N	NORTH	WNHR	WISCONSIN DEPARTMENT OF NATURAL RESOURCES
NETS	NOT TO SCALE	WDOT	WISCONSIN DEPARTMENT OF TRANSPORTATION
NW	NORTHWEST	WISCONSIN	WISCONSIN
OC	ON CENTER	WISCONSIN	WISCONSIN
PC	POLYCARBONATE	WISCONSIN	WISCONSIN
PE	POLYETHYLENE	WISCONSIN	WISCONSIN
PVC	POLYVINYL CHLORIDE	WISCONSIN	WISCONSIN

GENERAL NOTES:

- FOR LEGEND AND ABBREVIATIONS SEE SHEET C0.1.
- FOR EROSION CONTROL PLAN AND NOTES SEE SHEET C5.0 AND C5.1.
- FOR NOTES SHOWN THIS, "O" SEE SHEET KEY NOTES, ON SHEET THEY APPEAR.
- CARE SHALL BE TAKEN TO PROTECT EXISTING IMPROVEMENTS TO REMAIN.
- LAND DISTURBING ACTIVITIES SHALL NOT TAKE PLACE PRIOR TO INSTALLATION OF EROSION CONTROL MEASURES.



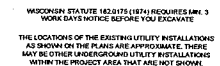
MILWAUKEE	WAUSAU
91777 HWY56 Riverfront Dr	3646 Stewart Avenue
Suite 104	Suite B
Oshkosh, WI 53222	Wausau, WI 54481
PHONE (763) 256-0710	PHONE (715) 848-3143
1-800-234-2534	FAX (715) 848-3181
FAX (763) 256-0748	
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DE PERE
WISCONSIN

DE PERE

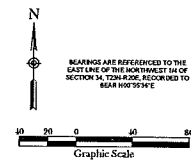
REVISIONS

C1.0



- ① REMOVE TREE(S)
- ② REMOVE CONCRETE CHUNKS
- ③ REMOVE CONCRETE PAD
- ④ SAW CUT PAVEMENT AS NECESSARY
- ⑤ STRIP TOP SOIL AS NECESSARY
- ⑥ REMOVE ROCK
- ⑦ REMOVE SIDEWALK
- ⑧ REMOVE PARKING STALL STRIPING

Mach IV
Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
Ph: 920-569-5763 Fax: 920-569-5767
Project Number: 1084-01-16



UTILITY PLAN


Keller

PLANNERS | ARCHITECTS | BUILDERS
FOX CITIES
 8218 State Road 36
 P.O. Box 439
 Kaukauna, WI 54130
 PHONE: (920) 766-0700
 FAX: (920) 766-0004

MADISON
 1206 University Drive
 Madison, WI 53706
 PHONE: (608) 442-2200
 FAX: (608) 442-2200

www.kellerbuilds.com

SIERRA COATING TECHNOLOGY, LLC

WISCONSIN
 DE PERE

SHEET KEY NOTES:

- STORM CATCH BASIN - 3' DIAMETER, SEE DETAIL D SHEET C0.0
- CONNECT TO EXISTING STORM STRUCTURE
- ROOF DRAIN CONNECTION LINE. VERIFY DOWNSPOUT LOCATIONS WITH ARCHITECTURAL PLANS. SEE DETAIL E SHEET C0.0
- STORM CLEAN OUT. SEE DETAIL F SHEET C0.0, CLEAN OUTS TO BE LOCATED NO MORE THAN 100 FEET APART
- CITY OF DE PERE TO EXTEND STORM SEWER TO SITE
- STORM MANHOLE - 3' DIAMETER, SEE DETAIL G SHEET C0.0
- STORM MANHOLE - 4' DIAMETER, SEE DETAIL H SHEET C0.0
- LOCATE GAS LINE AS NECESSARY, COORDINATE WITH LOCAL UTILITY
- FRENCH DRAIN, SEE DETAIL I SHEET C0.0
- CONNECT TO EXISTING LATERAL, VERIFY LOCATION AND INVERT
- SANITARY SEWER SERVICE CLEAN OUT. SEE DETAIL J SHEET C0.0, CLEAN OUTS TO BE LOCATED NO MORE THAN 100 FEET APART
- 8" LARGE WATER SERVICE VALVE. SEE DETAIL K SHEET C0.0. CONNECT TO EXISTING WATER MAIN WITH TAPPING TEE AND VALVE

UTILITY NOTES:

- SANITARY LATERAL SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
- WATER SERVICE SHALL BE COPPER OR HDPE. ALL DUCTILE IRON PIPE AND FITTINGS SHALL BE ENCASED IN POLYETHYLENE WRAP.
- ALL SERVICE LATERALS SHALL HAVE TRACER WIRE.
- ALL WORK SHALL CONFORM TO THE MOST RECENT EDITION OF "STANDARD SPECIFICATIONS FOR SEWER AND WATER CONSTRUCTION IN WISCONSIN" AND THE MUNICIPALITY STANDARD SPECIFICATION.
- WATER LINE THRUST RESTRAINTS (NOT SHOWN FOR CLARITY) SHALL BE PROVIDED AS SPECIFIED FOR CONCRETE THRUST BLOCKS.
- STORM SEWER SHALL BE PVC SDR 35 (ASTM D-3034) OR SCH 40.
- NOTIFY THE CITY OF DE PERE THREE WORKING DAYS PRIOR TO WORK IN THE RIGHT OF WAY.

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REVISIONS

PROJECT MANAGER:

C. VANDERBEEK

DESIGNER:

R. MACH

DRAWN BY:

R. HEYER

EXPIRATOR:

SUPERVISOR:

CONTRACT NO:

P16036

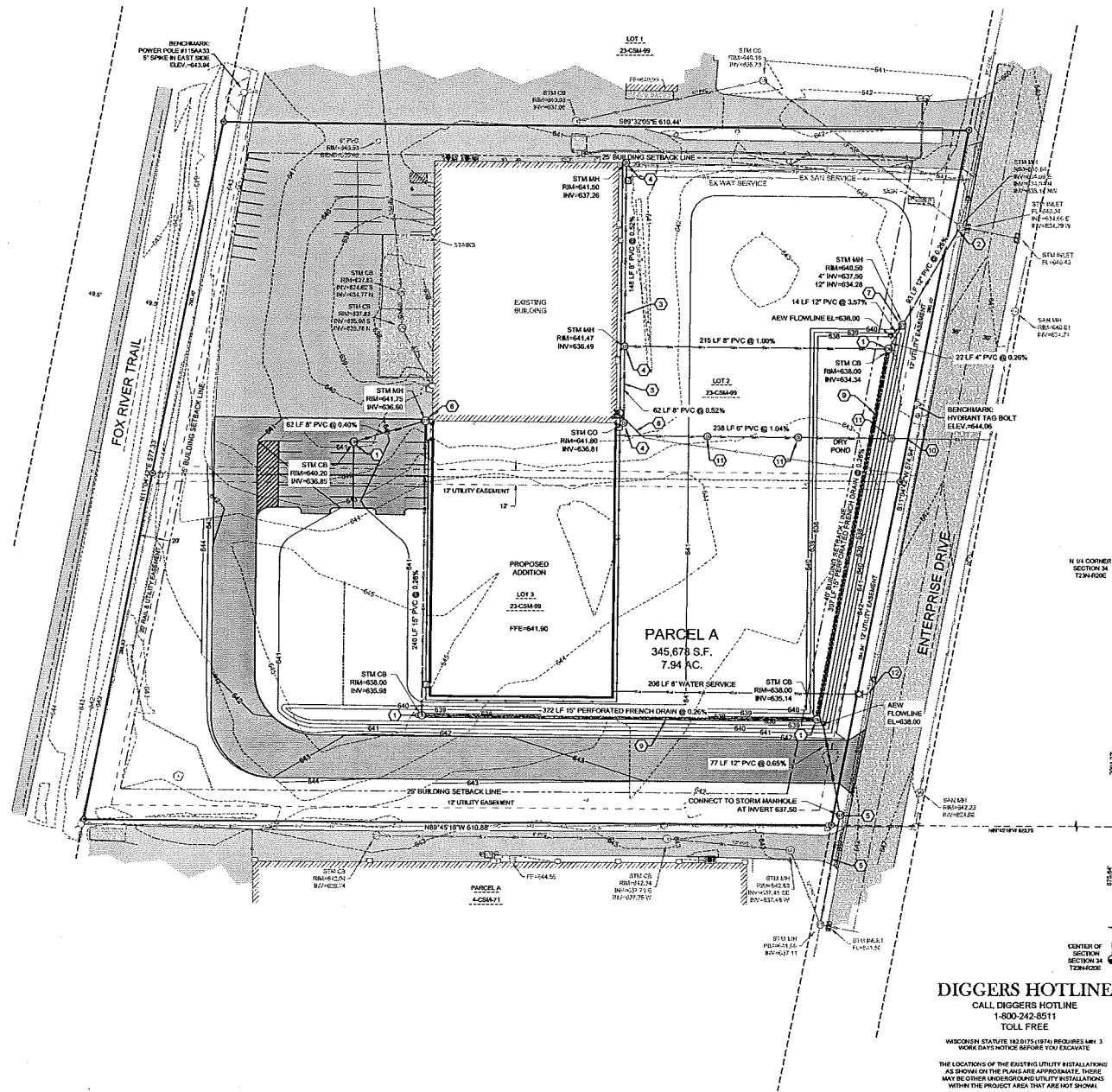
IED NO:

DATE:

05/05/2016

SHEET:

C3.0



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 1-800-242-8511
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WISCONSIN STATUTE 182.0175 (1974) REQUIRES LINK 3

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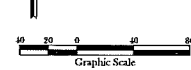
Mach IV

Engineering & Surveying LLC

211 N. Broadway, Suite 114, Green Bay, WI 54303
 Ph: 920-369-3763 Fax: 920-369-3767
 Project Number: 1024-01-16



BEARINGS ARE REFERENCED TO THE EAST LINE OF THE NORTHWEST 1/4 OF SECTION 34, T20N R20E, RECORDED TO BEAR 100505.00



GRADING PLAN


Keller

PLANNERS | ARCHITECTS | BUILDERS
FOX CITIES
 9218 State Road 35
 P.O. Box 625
 Madison, WI 53710
 PHONE (761) 764-4761 /
 1-800-255-2251
 FAX (761) 765-5864

MILWAUKEE
 11711 109th Rivercrest Dr.
 Suite 100
 Germantown, WI 53032
 PHONE (262) 284-8719
 1-800-234-2514
 FAX (262) 284-8714

WAUSAU
 3300 Huron Avenue
 Suite 10
 Wausau, WI 54981
 PHONE (715) 846-2444
 FAX (715) 846-2181
 FAX (715) 846-2174

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WISCONSIN

DE PERE

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REVISIONS
1
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5

PROJECT MANAGER:

C. VANDERKAMMER

DESIGNER: R. MACH

DRAWN BY: R. HERRER

EXPEDITOR:

SUPERVISOR:

CONTRACT NO: P16038

REV. NO:

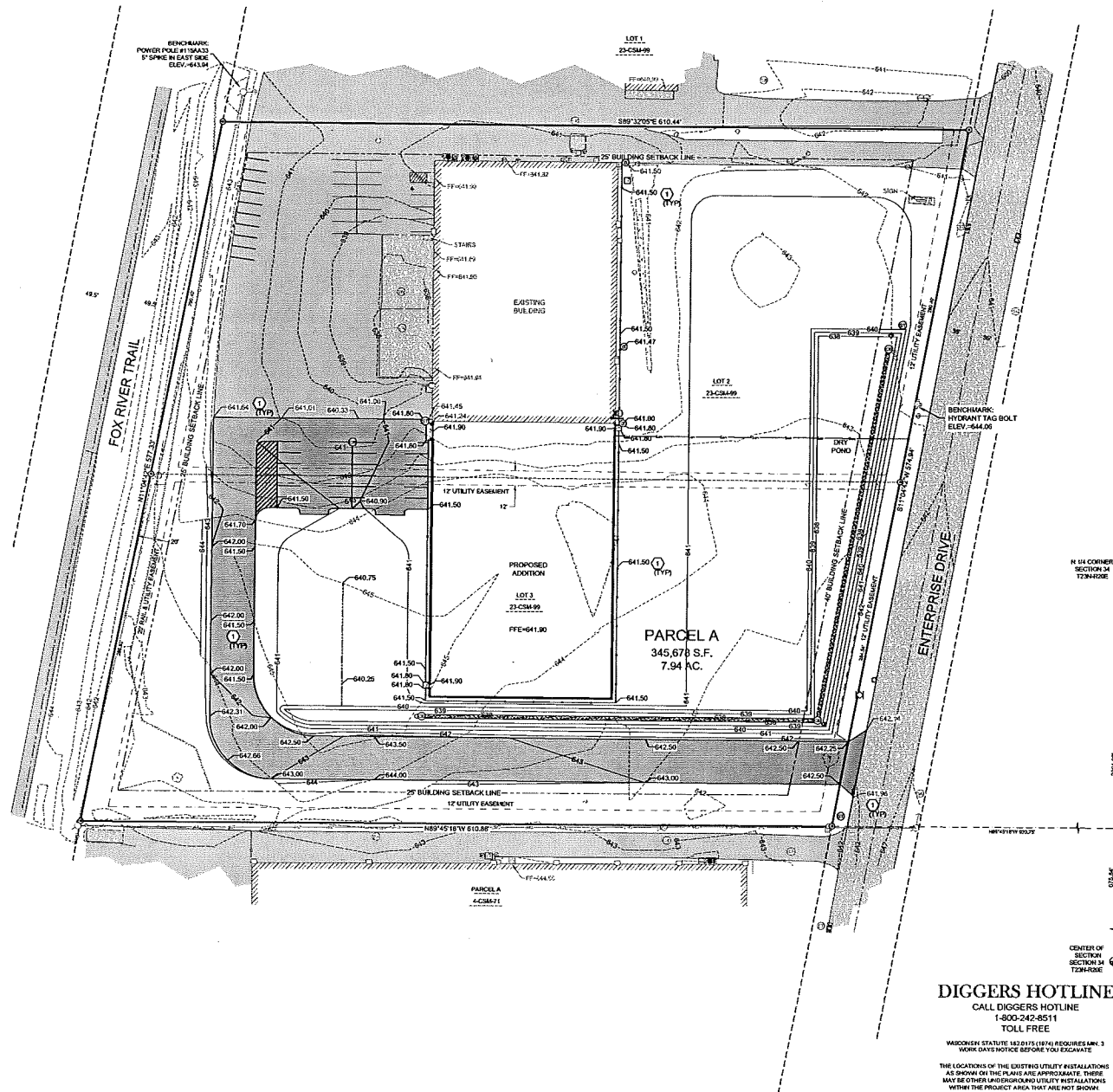
DATE: 05/05/2016

SHEET:

C4.0

SHEET KEY NOTES:

- ① SPOT GRADE, SEE DETAIL A THIS SHEET



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WISCONSIN STATUTE 182.015 (1874) REQUIRES MIN. 3
 WORK DAYS NOTICE BEFORE YOU EXCAVATE

THE LOCATIONS OF THE EXISTING UTILITY INSTALLATIONS
 AS SHOWN ON THE PLANS ARE APPROXIMATE. THERE
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Mach IV

Engineering & Surveying LLC

211 N. Broadway, Suite 114, Green Bay, WI 54303

Ph: 920-369-3763 Fax: 920-369-3767

Project Number: 1004-01-16



BEARINGS ARE REFERENCED TO THE
 EAST LINE OF THE NORTHWEST 1/4 OF
 SECTION 34, T22N-R10E, RECORDED TO
 BEAR 109°55'36"E



EROSION CONTROL PLAN


Keller

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www.kellerbuilds.com

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SHEET KEY NOTES:

1. INLET PROTECTION: SEE DETAIL A SHEET CS-1
2. CLASS 1 URBAN TYPE B WOOD EROSION CONTROL MAT WITH E-STAPLES: SEE DETAIL B SHEET CS-1
3. SILT FENCE: SEE DETAIL C SHEET CS-1
4. STONE TRACKING PAD: SEE DETAIL D SHEET CS-1
5. TEMPORARY STOCKPILES

PLANNED EROSION CONTROL PRACTICES:

1. SILT FENCE (TECH. STANDARD 1060)
SILT FENCING WILL BE REQUIRED DOWN SLOPE OF ALL DISTURBED AREAS, INCLUDING ANY DISTURBED AREAS OF THE INDIVIDUAL LOTS, AND WHERE NOTED ON THE SITE PLAN. IF THE SILT FENCE IS LOCATED IN A CHANNELLED AREA, TWO CONSECUTIVE SILT FENCES WILL BE INSTALLED, OR ONE STRAWBALE FENCE WILL BE INSTALLED.
2. SILT PROTECTION (TECH. STANDARD 1060)
SILT PROTECTION SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED STORM DRAIN INLETS ON THE PROJECT SITE AND IMMEDIATELY DOWNSTREAM FROM ANY DISTURBED AREAS.
3. DUST CONTROL (TECH. STANDARD 1060)
DUST CONTROL SHALL BE IMPLEMENTED IN ACCORDANCE WITH THE ABOVE MENTIONED TECHNICAL STANDARD. WHERE POSSIBLE DUST CONTROL SHALL BE SLOTTED TYPE SILT SOIL STABILIZER OR TEMPORARY SEED.
4. STOCKPILED TOPSOIL/TEMPORARY FILL PILES
SILT FENCING OR STRAWBALE FENCING WILL BE REQUIRED AROUND ALL STOCKPILED TOPSOIL OR TEMPORARY FILL PILES. SOIL PILES OF MORE THAN 50 CUBIC YARDS THAT WILL BE IN EXISTENCE FOR MORE THAN 7 DAYS SHALL BE SEED AND MULCH TO PROVIDE VEGETATIVE COVER AND SHALL USE SILT FENCING OR STRAWBALE FENCING UNTIL THE VEGETATION IS ESTABLISHED.
5. TEMPORARY CONSTRUCTION ENTRANCE/EXIT (TECH. STANDARD 1057)
A HARDPAVED CONSTRUCTION ENTRANCE/EXIT SHALL BE INSTALLED AT ALL CONSTRUCTION ACCESS POINTS TO PREVENT SEDIMENT FROM TRACKING ONTO THE ROADWAYS.
6. EROSION CONTROL MATS (TECH. STANDARD 1060)
EROSION CONTROL MATS WILL BE INSTALLED IN AREAS AS SHOWN ON THE SITE PLAN, AND IN ALL OTHER AREAS WHERE EXCESSIVE EROSION IS TAKING PLACE. INSTALLATION WILL FOLLOW MANUFACTURERS RECOMMENDATIONS FOR PLACEMENT AND STAPLING.

MAINTENANCE PLAN:

1. ALL EROSION CONTROL AND STORM WATER MANAGEMENT PRACTICES SHALL BE CHECKED FOR STABILITY AND OPERATION EVERY 7 DAYS AND WITHIN 24 HOURS OF A STORM PRODUCING AT LEAST 0.5 INCHES OF RAINFALL. ANY NEEDED REPAIRS WILL BE MADE IMMEDIATELY TO MAINTAIN ALL PRACTICES AS DESIGNED. ALSO, ANY SEDIMENT THAT HAS BEEN EXPOSED OFF-SITE FROM THIS CONSTRUCTION PROJECT SHALL BE CLEANED UP IMMEDIATELY.
2. REMOVE SEDIMENT FROM BEHIND ANY SILT FENCE WHEN IT HAS ACCUMULATED TO A DEPTH OF 1 FENCE HEIGHT OR MORE. WHEN THE FENCE CAN NO LONGER FILTER WATER OR TRAP SEDIMENT, REPAIR THE SILT FENCE TO PROVIDE AN EFFECTIVE BARRIER.
3. ALL SEEDING AREAS, INCLUDING THE GRASS LINED CHANNELS, WILL BE RESEED AND MULCHED AS NECESSARY TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER.
4. ANY UNPROTECTED DRAINAGE DITCHES EXPERIENCING EXCESSIVE EROSION AND CHANNEL DEGRADATION DUE TO HIGH RUNOFF VOLUMES WILL BE RESEED AND COVERED WITH A BIOERODIBLE EROSION CONTROL MAT. INSTALLATION WILL FOLLOW MANUFACTURERS RECOMMENDATIONS.
5. REMOVE SILT FENCE AND TEMPORARY STRUCTURES AFTER FINAL STABILIZATION AND VEGETATIVE COVER IS ESTABLISHED.
6. SEDIMENT THAT HAS MIGRATED OFF SITE ONTO ADJACENT PROPERTIES SHALL BE SWEEPED OFF PAVEMENTS AND REMOVED FROM VEGETATED AREAS DAILY.
7. COPIES OF THE EROSION AND SEDIMENT CONTROL PLAN SHALL BE KEPT ON SITE.
8. MAINTAIN EROSION AND SEDIMENT CONTROL PER THE PLAN AND AS NECESSARY TO MEET THE REQUIREMENTS OF THE ORDINANCE WITH THE SITE HAS UNDERGONE FINAL STABILIZATION AND RECEIVED FINAL ACCEPTANCE FROM THE MUNICIPALITY.
9. AN EROSION AND SEDIMENT CONTROL PRACTICE INSPECTION LOG SHALL BE MAINTAINED. LOG SHALL NOTE THE TIME, DATE AND LOCATION OF INSPECTION, THE PHASE OF CONSTRUCTION AT THE SITE, PERSON DURING THE INSPECTION, ASSESSMENT OF CONTROL PRACTICES, AND DESCRIPTION OF EROSION AND SEDIMENT CONTROL MEASURES OR MAINTENANCE DONE IN RESPONSE TO INSPECTION.

CONSTRUCTION NOTES:

1. TOPSOIL TO BE REMOVED FROM THE PROJECT SITE PRIOR TO PLACEMENT OF FILL OR SUBGRADE MATERIAL. EXCESS TOPSOIL TO BE STOCKPILED ON THE SITE AS INDICATED.
2. ALL EXCAVATED AREAS NOT RECEIVING PAVEMENT TO BE COVERED WITH A MINIMUM OF 6" OF TOPSOIL, SEEDING AND MULCHED AS SOON AS FINAL GRADE HAS BEEN ACHIEVED. SEEDING SHALL BE IN ACCORDANCE WITH MACH IV TECH. STANDARD (1059).
3. EROSION CONTROL MEASURES SHALL BE IMPLEMENTED, AS DIRECTED BY THE ENGINEER, PRIOR TO AND DURING CONSTRUCTION TO CONTROL WATER POLLUTION, EROSION AND SILTATION, INCLUDING, BUT NOT LIMITED TO, HAY BALE BARRIERS AND SILT FENCES. ALL EROSION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE MACH IV TECHNICAL STANDARDS.
4. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
5. CONTRACTOR IS RESPONSIBLE FOR CONTACTING DIGGERS HOTLINE FOR THE LOCATION OF THE UTILITIES.
6. SITE DRAINAGING IS NOT ANTICIPATED, HOWEVER SHOULD DRAINAGING BE NECESSARY, IT SHALL BE PERFORMED IN ACCORDANCE WITH MACH IV TECHNICAL STANDARD (1061).
7. THE CONTRACTOR SHALL DISPOSE OF ALL WASTE AND EXCESS MATERIAL AT AN APPROVED LOCATION.

636.60 T.O.C.
 636.10 GUTTER/POINT
 636.70 FIN. GRADE

SPOT GRADE KEY



MARKERS ARE REFERENCED TO THE EAST LINE OF THE NORTHWEST 1/4 OF SECTION 34, T23N40E, RECORD 20, BOAR 10079334E

Graphic Scale

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WISCONSIN STATUTE 182.01(15) (1874) REQUIRES MIN. 3 WORK DAYS NOTICE BEFORE YOU EXCAVATE

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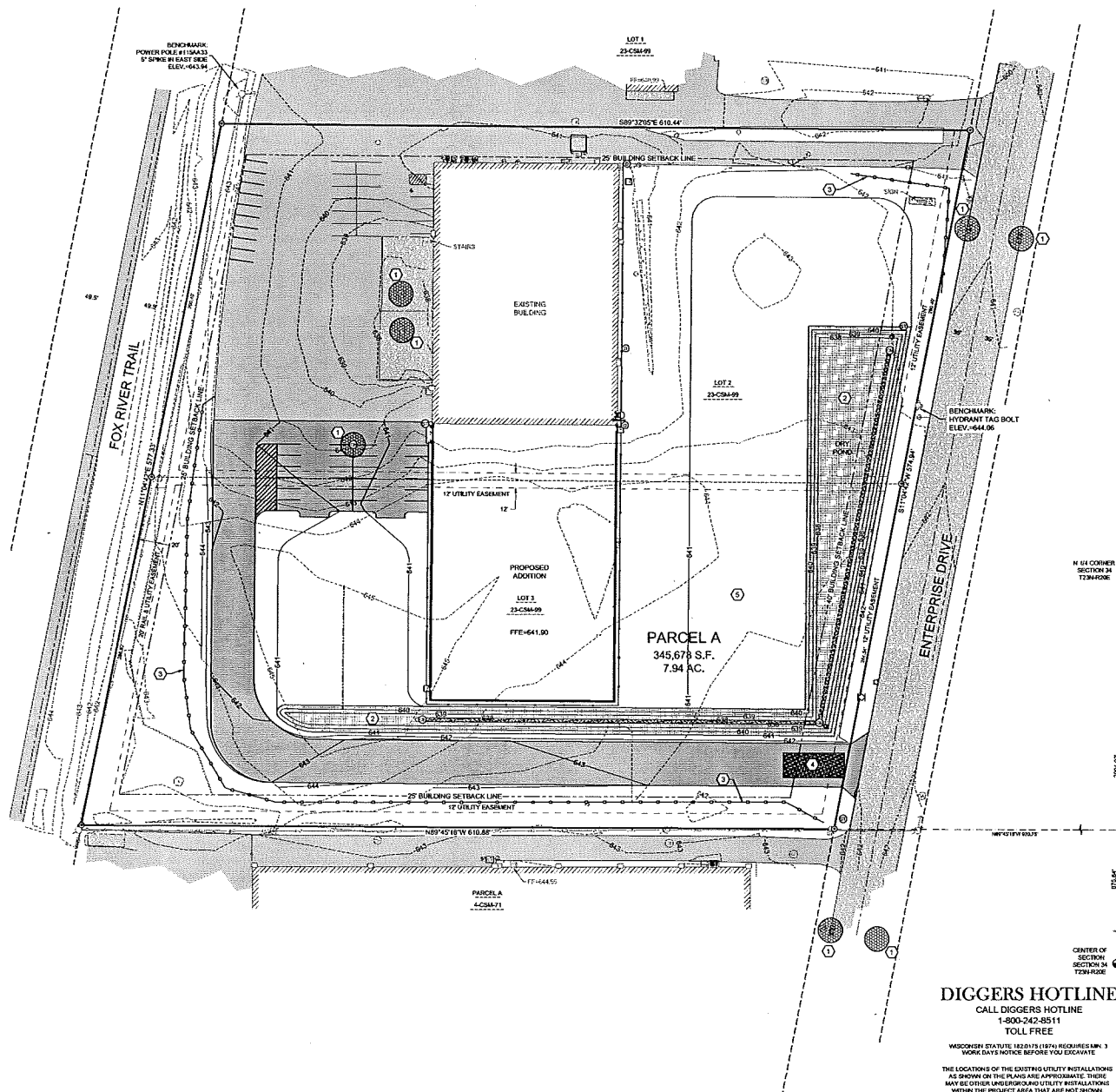
Mach IV

Engineering & Surveying LLC

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Project Number: 1094-01-15



EROSION CONTROL DETAILS


Keller

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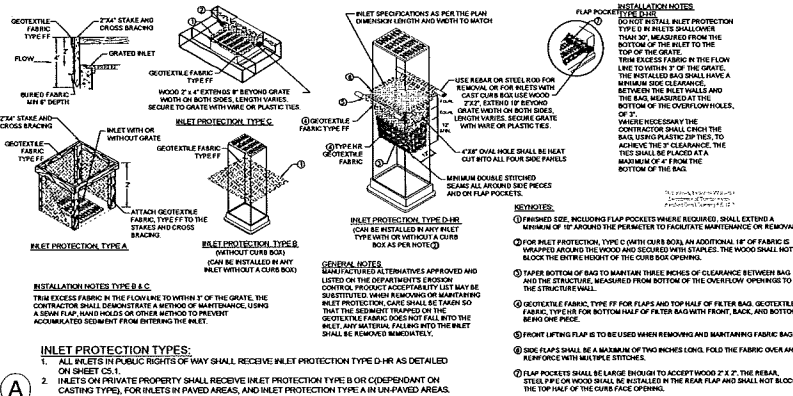
REVISIONS
1
2
3
4
5

PROJECT MANAGER:	C. VANDOMETERING
DESIGNER:	R. WACH
DRAWN BY:	R. HERTER
EXPIRATION:	
SUPERVISOR:	
CONTRACT NO.:	P16036
ED NO.:	
DATE:	05/05/2016
SHEET:	

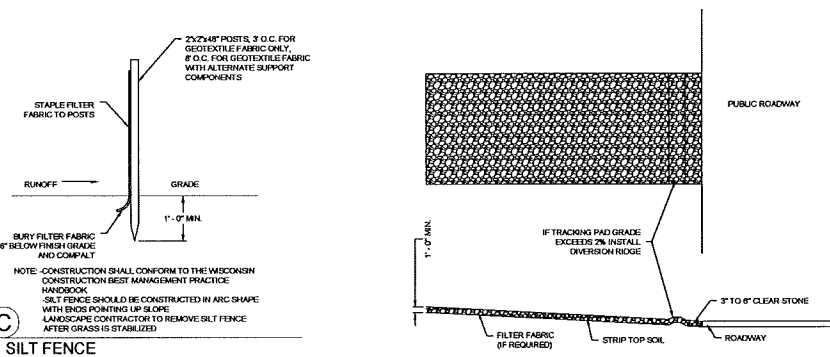
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Mach IV

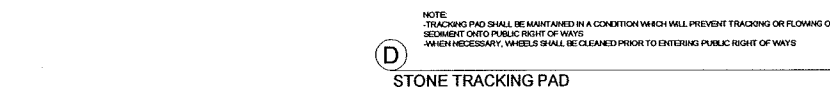
Engineering & Surveying LLC
 211 N. Broadway, Suite 114, Green Bay, WI 54303
 Ph: 920-569-5763 Fax: 920-569-5767
 Project Number: 1064-01-16



INLET PROTECTION



EROSION CONTROL MAT FOR SLOPE INSTALLATION



STONE TRACKING PAD



LANDSCAPE PLAN


Keller

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REVISIONS	
1	
2	
3	

PROJECT MANAGER:
C. VANDOKETERING

DESIGNER: R. WACH

DRAWN BY: R. HORTER

EXPEDITOR:

SUPERVISOR:

CONTRACT NO: P16035

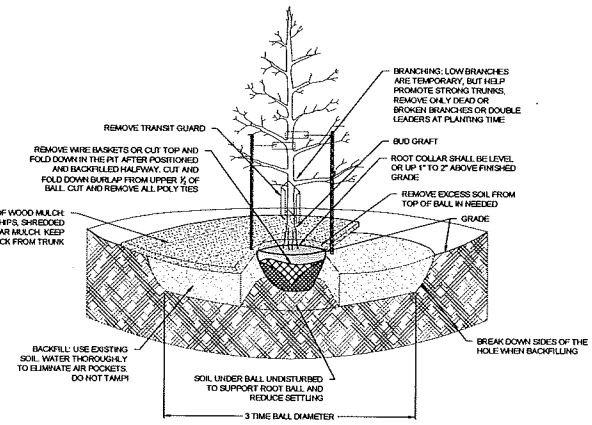
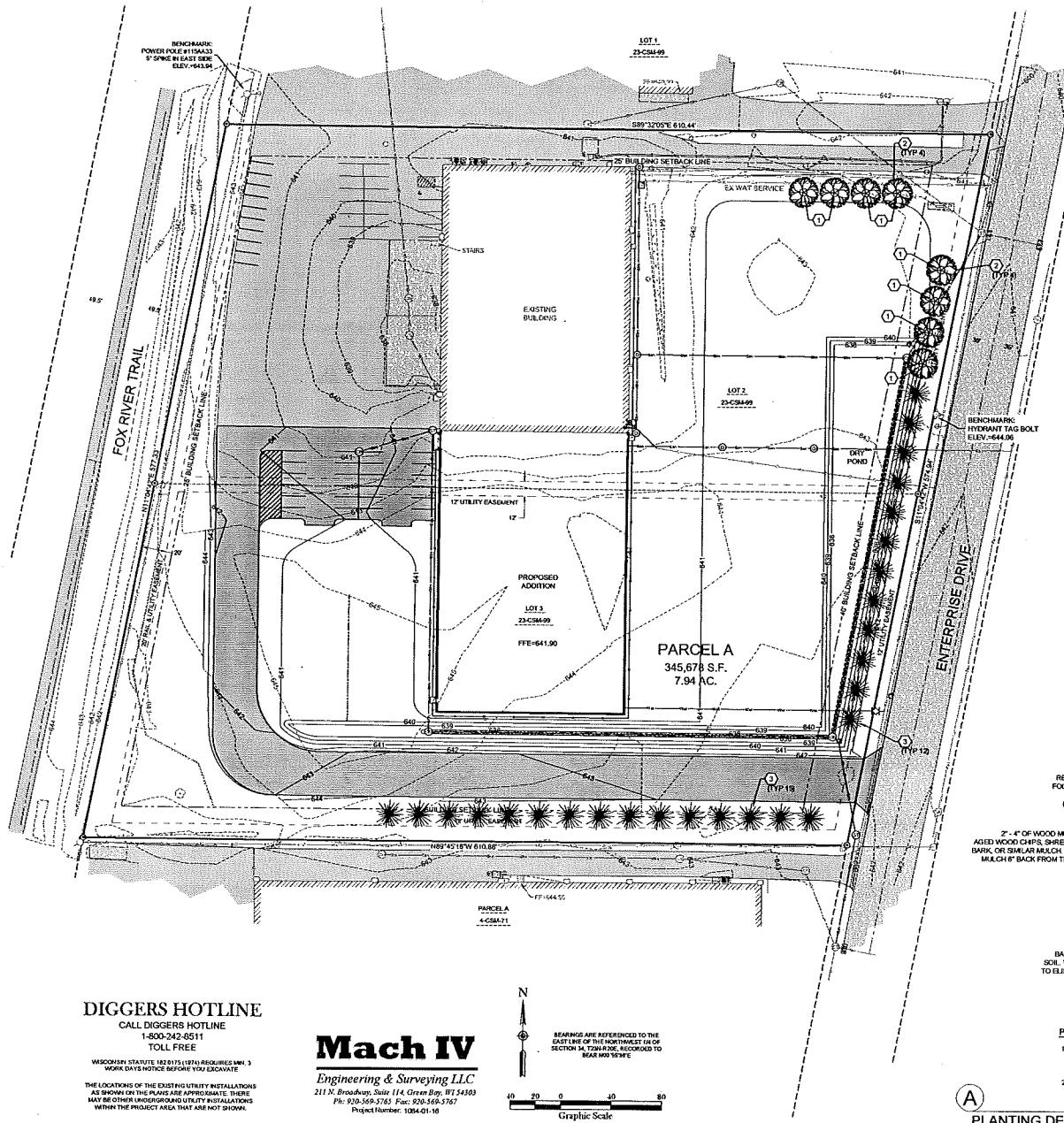
RED NO:

DATE: 05/05/2016

SHEET:

L1.0
SHEET KEY NOTES:

- 1" DIAMETER SPADE EDGE & 3" HARDWOOD MULCH
- RED MAPLE (8 TOTAL)
- BLACK HILLS BLUE SPRUCE (27 TOTAL)


PLANTING NOTES:

1. STAKE ONLY IF HAVE TO, USE 2\"/>

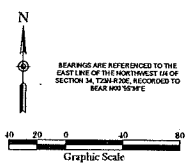
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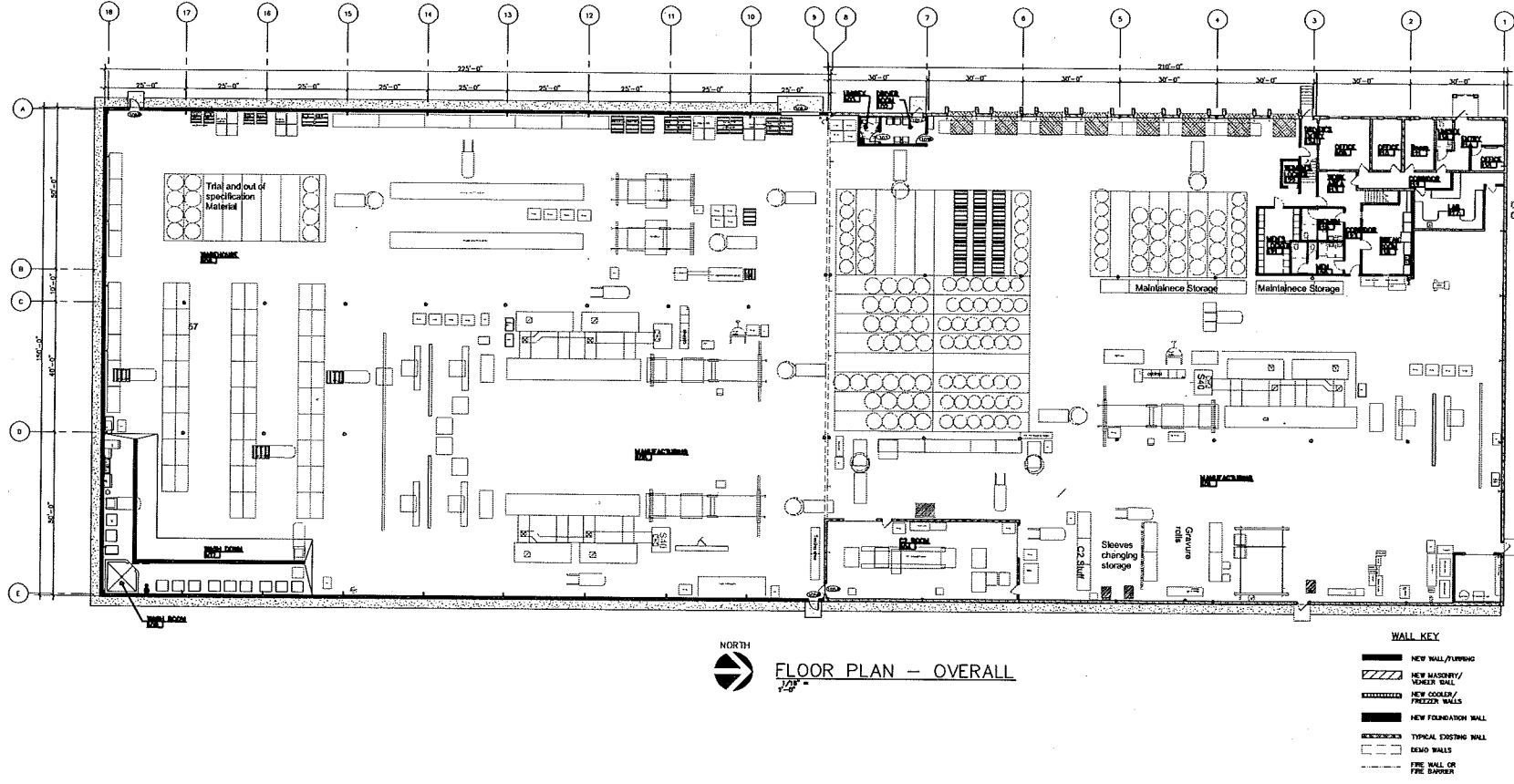
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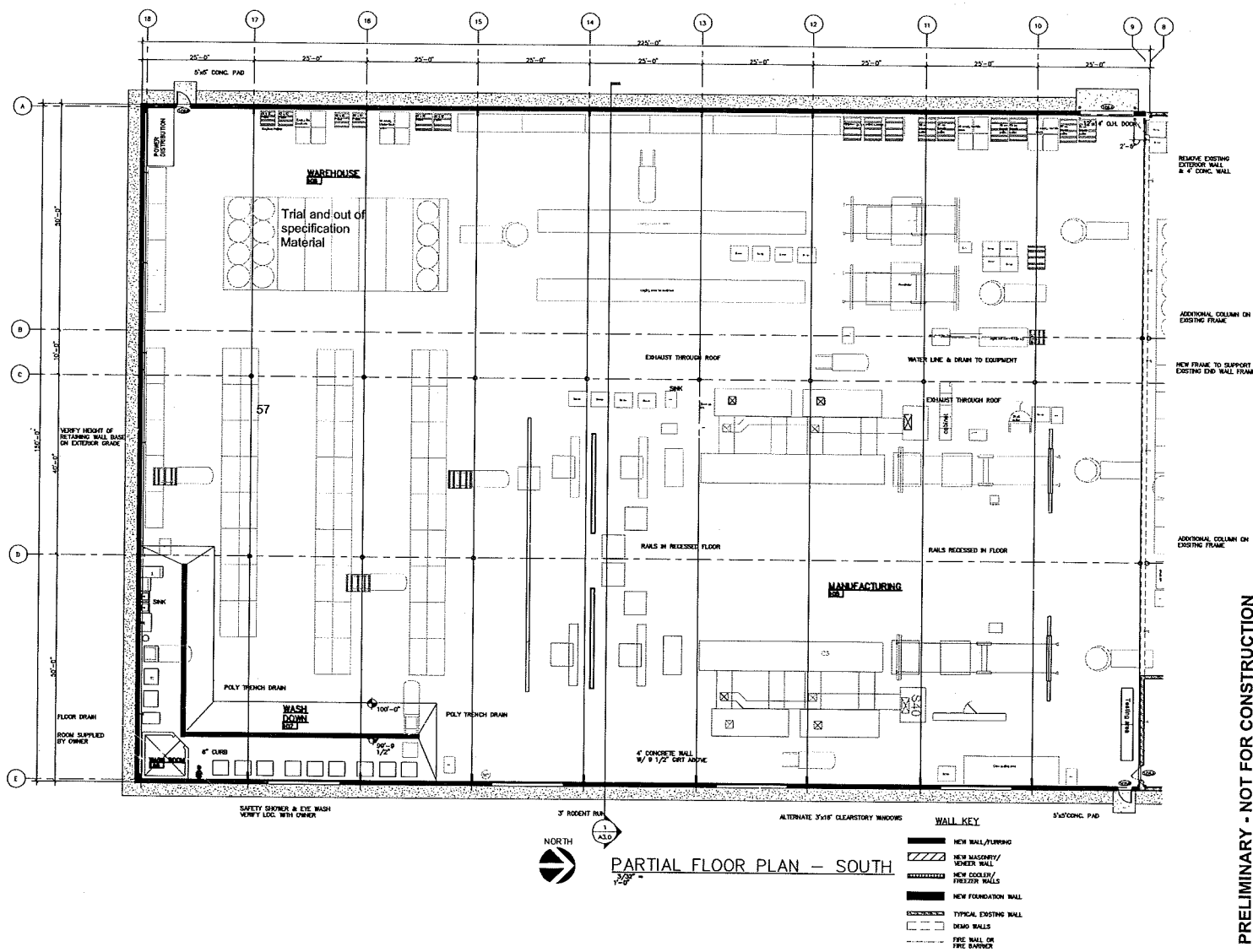
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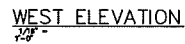
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 Project Number: 1084-01-16











SHEET: **A2.0**