

PUBLIC NOTICE OF MEETING

Pursuant to Section 19.84, Wis. Stats., notice is hereby given to the public that a Regular Meeting of the **PLAN COMMISSION** of the City of De Pere will be held as follows:

Date: **TUESDAY, MAY 29, 2012**
Time: **7:00 p.m.**
Place: **De Pere City Hall, Second Floor, Council Chambers**
335 S. Broadway Street, De Pere, Wisconsin 54115

AGENDA FOR SAID MEETING:

Roll call.

1. Approve the minutes of the regular meeting of the Plan Commission on April 23, 2012.
2. Review the Site Plan Request for a 17,200 square foot expansion for De Pere Cabinet, 1745 East Mathew Drive, Parcel WD-D0048-2. Agent: Chris Heyrman.
3. Review the Site Plan request for a 7,000 square foot expansion for Bayside Machine, 2257 American Boulevard, Parcel WD-1371. Agent: Bill Bos.
4. Review the Site Plan request for a 21,168 square foot expansion for Amerilux, 1212 Enterprise Drive, Parcel ED-2070. Agent: David O'Brien.
5. Review the Vacation Request to vacate 5' of right-of-way from the west side of 5th Street north of Main Avenue. Requestor: City of De Pere.
6. Review the amendment to Chapter 14 of the De Pere Zoning Code to include rummage sale regulations.
7. Presentation on Traditional Neighborhood Design (TND).
8. Review the extraterritorial CSM request for a 1 lot CSM, located in the Town of Ledgeview, Parcel D-417-4. Surveyor: Zeitler.
9. Future agenda items.
10. Adjournment.

Ken Pabich
Director of Planning and Economic Development

Notice is hereby given that a majority of the members of the Common Council of the City of De Pere may attend this meeting to gather information about a subject(s) over which they have decision-making responsibility.

Any person wishing to attend this meeting who, because of disability, requires special accommodation should contact the City Administrator at 339-4044.

AGENDA SENT TO:
PLAN COMMISSION MEMBERS
ALDERPERSONS
BULLETIN BOARDS
NEWS MEDIA

DACC
TOWN OF LEDGEVIEW
TOWN OF LAWRENCE
TOWN OF ROCKLAND

ITEM 2:

CHRIS HEYRMAN
BURKARD DEVELOPMENT

HEYRMAN CONSTRUCTION

PO BOX 28046
1620 GRACE ST

GREEN BAY, WI 54324
DE PERE, WI 54115

ITEM 3:

FBS INVESTMENT GROUP
BILL BOS

ALLIANCE CONSTRUCTION

2257 AMERICAN BLVD
1030 ORLANDO DR

DE PERE WI 54115
DE PERE, WI 54115

ITEM 4:

DAVID O'BRIEN
BRIAN PETERS

BAYLAND BUILDINGS
AMERILUX

PO BOX 12571
1212 ENTERPRISE DR

GREEN BAY, WI 54307
DE PERE, WI 54115

ITEM 5:

1ST RATE MORTGAGE CORP
AMBER M MICHAELS
ANN L HARE
ASSOCIATED BANK NA
BENJAMIN J STEELE
BRITT M TAPPEN
CASEY LADOWSKI JR
DEPERE WEST DEVELOPMENT LLC
EDWARD Y & SIRI WASANA LIN
F & J PROPERTIES LLC
GERALD G VAN DYN HOVEN
HANSEN PROFESSIONAL BUILDING LLC
INDUSTRY CONSULTING GROUP INC
JAMES J KROPP
JOHN & MICHELENE A VANDEVEN
JONATHAN R RYAN
KEITH M & DONNA J WILLEMS
KHALED BOUBENIDER
LINDA L STEENO
LISA & DAN ZHU GUO
MARK J & KAREN R BARRETTE
MARQUETTE CENTRE LLC
MATTHEW C FLYNN
MATTHEW R & PAULETTE CRULL
MELODY R GOTTOWSKI
NEW DEVELOPERS LLC
PAUL A & JILL SULLIVAN
PHILLIP & NANCY BURKARD
PIONEER CREDIT UNION
RAYMOND E & AUDREY G NUSSBAUM
ROBERT E & JESSICA D PRATEL
RONALD J & LINDA M WATERMOLEN
SARAH N ROYER
SHAUN & JENNIFER MCKEEFRY
STEVEN G WARD
STEVEN T FINLAY
SUSAN A MINTEN
T ALLAN & BETTY A PEARSON
THILMANY LLC
THOMAS & JEAN GANNON
WARREN J & MARILYN R HAGANES
WAYNE E MILLER

C/O FREDERICK W BENNETT

C/O MARK A BARTELS

ATTN: FINANCE

2600 N MAYFAIR RD
555-210 MAIN AV
555-104 MAIN AV
1305 MAIN ST
741 36 3/10 RD
E2140 COUNTY ROAD X
PO BOX 5561
PO BOX 6022
555-205 MAIN AV
2130 FOX FIELD CT
PO BOX 526
7103 SUNRISE COURT
PO BOX 810490
883 RICHBOROUGH RD
555-211 MAIN AV
555-204 MAIN AV
128 N SIXTH ST
555-206 MAIN AV
555-107 MAIN AV
555-113 MAIN AV
214 N SIXTH ST
444 REID ST STE 200
555-114 MAIN AV
20513 BARGENE WY
555-102 MAIN AV
300 N BROADWAY STE 2B
555-103 MAIN AV
1620 GRACE ST
PO BOX 2526
1110 W FRANKLIN ST
555-208 MAIN AV
555-108 MAIN AV
PO BOX 5973
4830 STEELHEAD RN
555-109 MAIN AV
555 MAIN AV #101
555-112 MAIN AV
555-116 MAIN AV
600 THILMANY RD
555-115 MAIN AV
555-203 MAIN AV
555-216 MAIN AV

MILWAUKEE WI 53226
DE PERE WI 54115-2235
DE PERE WI 54115-2231
STEVENS POINT WI 54481
PALISADE CO 81526-9770
CASCO WI 54205
DE PERE WI 54115-5561
DE PERE WI 54115-6022
DE PERE WI 54115-2234
DE PERE WI 54115-9138
FREMONT WI 54940
WAUSAU WI 54401
DALLAS TX 75381-0490
GREEN BAY WI 54313
DE PERE WI 54115-2236
DE PERE WI 54115-2234
DE PERE WI 54115-2212
DE PERE WI 54115-2234
DE PERE WI 54115-2206
DE PERE WI 54115-2233
DE PERE WI 54115-2214
DE PERE WI 54115-2100
DE PERE WI 54115-9436
GERMANTOWN MD 20874
DE PERE WI 54115-2231
GREEN BAY WI 54303
DE PERE WI 54115-2231
DE PERE WI 54115-3312
GREEN BAY WI 54306-2526
APPLETON WI 54914-3862
DE PERE WI 54115-2235
DE PERE WI 54115-9436
DE PERE WI 54115-5973
OCONTO WI 54153-9372
DE PERE WI 54115-9436
DE PERE WI 54115-2231
DE PERE WI 54115-9436
DE PERE WI 54115-9436
KAUKAUNA WI 54130
DE PERE WI 54115-9436
DE PERE WI 54115-2234
GREEN BAY WI 54115-2236

ITEM 6:

NONE

ITEM 7:

NONE

ITEM 8:

BLAISE BILDINGS
STEVEN ZEITLER

3395 CARTER LN
7410 HIDDEN VALLEY RD

DE PERE, WI 54115
MARIBEL, WI 54227

DRAFT

CITY PLAN COMMISSION MEETING
April 23, 2012

The Plan Commission of the City of De Pere, Wisconsin, met in regular session in the Council Chambers of City Hall.

Mayor Michael Walsh called the meeting to order at 7:00 p.m. Roll call was taken and the following members were present: Elizabeth Runge, James Kalny, Derek Beiderwieden. Member(s) excused: Thomas Walsh, Alderperson Larry Lueck, and Alderperson James Boyd. Also present: City Planning Director Kenneth Pabich.

1. James Kalny moved, seconded by Mayor Walsh, to approve the minutes of the March 26, 2012 meeting as presented. Upon vote, motion carried unanimously.
2. Review request for moratorium for off premise signs which require a permit as defined in Section 98-3 pending recommendation and implementation of the new sign ordinance.

After some discussion, Mayor Walsh moved, seconded by Derek Beiderwieden to approve the staff recommendation as presented. Upon vote, motion carried unanimously.

3. Review the extraterritorial CSM request for a 3-lot CSM, located in the Town of Ledgeview, Parcel d-401. Surveyor: Zeitler.

After some discussion, Derek Beiderwieden moved, seconded by James Kalny, to approve the staff recommendation for the extraterritorial CSM as presented. Upon vote, motion carried unanimously.

4. Future Agenda Items.

Because May 28 is a City holiday, the Plan Commission selected May 29, 2012 for next month's regularly scheduled meeting of the Plan Commission.

5. Adjournment.

Mayor Walsh moved, seconded by Thomas Walsh, the Plan Commission adjourned the meeting at 7:50 p.m. Upon vote, motion carried unanimously.

Respectfully submitted,
Lori Phillips, Recording Secretary

Item # 2: Review a proposed expansion for De Pere Cabinet, Parcel WD-D0048-2. Applicant: Chris Heyrman.

Overview	The project shows a 17,200 square foot expansion, which would bring the building's total to 72,420 square feet. The expansion would add to the existing building on the east elevation. This addition would include a new paint storage room, and new access doors on the north and south side. Thirteen (13) parking stalls would be added, along with two (2) new blacktop areas in the existing north and northwest lots. The plan also shows a new stormwater pond on the south side of the property by Suburban Drive.
Public Works	Does the project meet the City's Stormwater Regulations? ☒ Yes ☐ No ☐ NA Sewer properly connected? ☒ Yes ☐ No ☐ NA Water properly connected? ☒ Yes ☐ No ☐ NA Access properly designed (driveway and sidewalks)? ☒ Yes ☐ No ☐ NA Are there any issues with easements or right-of-ways? ☐ Yes ☒ No ☐ NA Are there other items that need to be addressed? ☐ Yes ☒ No ☐ NA <i>Required Actions:</i> 1. Provide outlet structure information. 2. There is a connection to an existing structure on East Matthew Drive. This connection will have to be made by coring and providing a water tight seal. Work is to be completed under the observation of the City's Engineering Department. 3. The total suspended solids (TSS) reduction from the site for the proposed condition is acceptable. Please note that for the future condition, TSS removal should be designed for 80% of new construction. The current plan shows 76% removal of TSS for the future condition. 4. A maintenance agreement for the stormwater management facility is required prior to the City issuing an occupancy permit. This agreement is to be submitted for review and approval by the City. Once the City approves the agreement, the property owner is to record the agreement with the County, and provide the City with a copy of the recorded agreement.
Forestry & Parks	Does the project meet the City's Landscaping Regulations? ☒ Yes ☐ No ☐ NA <i>Required Actions:</i> The size of the trees need to meet the code requirements that are proposed on the east elevation.
Fire	Does the project meet the City's Fire Codes? ☒ Yes ☐ No ☐ NA <i>Required Actions:</i> 1. Provide detailed plans for construction review, provide details of use for all areas of structure. 2. Provide MSDS sheets for hazards present with quantities stored and locations. M704 marking on hazards on the structure is required. 3. Separation of hazards/use may be required in accordance with National Fire Protection Association (NFPA) Fire Code. 4. Details on spray operations, and storage of flammable materials is subject to review and approval prior to occupancy. Disposal and dispensing must be in accordance with NFPA 1. 5. Provide exit/emergency lighting throughout means of egress. 6. Provide detailed egress information with travel distances and arrangements. 7. "No Smoking," and floor loading signage may be required. 8. Provide fire extinguishers at 75 foot travel distances throughout facility towards the exits. 9. Provide sprinkler system drawings to City staff with calculations and cut sheets for approval prior to installation. 10. Provide fire alarm system drawings to City staff for approval prior to installation. Fire alarm system must be monitored by a central station. 11. Install key box for fire department access.
Planning & Building	Does the project meet the design regulations (exterior building elevations/materials)? ☒ Yes ☐ No ☐ NA Does the project meet the City setback requirements? ☐ Yes ☒ No ☐ NA Does the project meet the City parking requirements? ☒ Yes ☐ No ☐ NA Does the project meet the City lighting requirements? ☒ Yes ☐ No ☐ NA Is the refuse properly sited and screened? ☐ Yes ☐ No ☒ NA Does the signage meet City code? ☐ Yes ☐ No ☒ NA Are there other items that need to be addressed? ☐ Yes ☒ No ☐ NA

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Required Actions:

1. Variance approval required to meet the setback requirements.

Recommendation

Staff in Planning, Zoning, Fire, and Public Works Departments reviewed the site plan. Based on these reviews, planning staff would recommend the following:

1. A variance is required for meeting the setback requirements.
2. Addressing and implementing any requirements submitted by Zoning, Forestry, Fire, and Public Works Departments.
3. Meeting all other state and local regulations.



CITY OF DE PERE

APPLICATION FOR
SITE PLAN REVIEW

Fee: \$ 245.00

Receipt #: 72520

Date: 5-14-12

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: Burkard Development LLC

Mailing Address: 1620 Grace Street De Pere WI

Phone: (920) 337-2989

Email: brad@deperecabinet.com

I hereby appoint the following as my agent for purposes of this application:

Agent: Name: Heyrman Construction Co., Inc.

Mailing Address: PO Box 28046 Green Bay WI 54324-0046

Phone: (920) 347-0827

Email: chris@heyрманconst.com

B. Property Information

Address/Location of Property: 1745 E Matthew Drive Parcel #: WD-D0048-2

Parcel Dimension: Irregular Parcel Area: 5.35 acres

Legal Description: Part of NE 1/4, NE 1/4, Sec.32, T23N, R20E, Desc. as

lot 1 in 15 CSM 215. Also lot 22 and north 75.00'

of lot number 23

A Site Plan Review is requested as authorized by the De Pere Zoning Code, Section(s): Article XIII, Section 14.60.

Owner Signature

Date 5/11/12

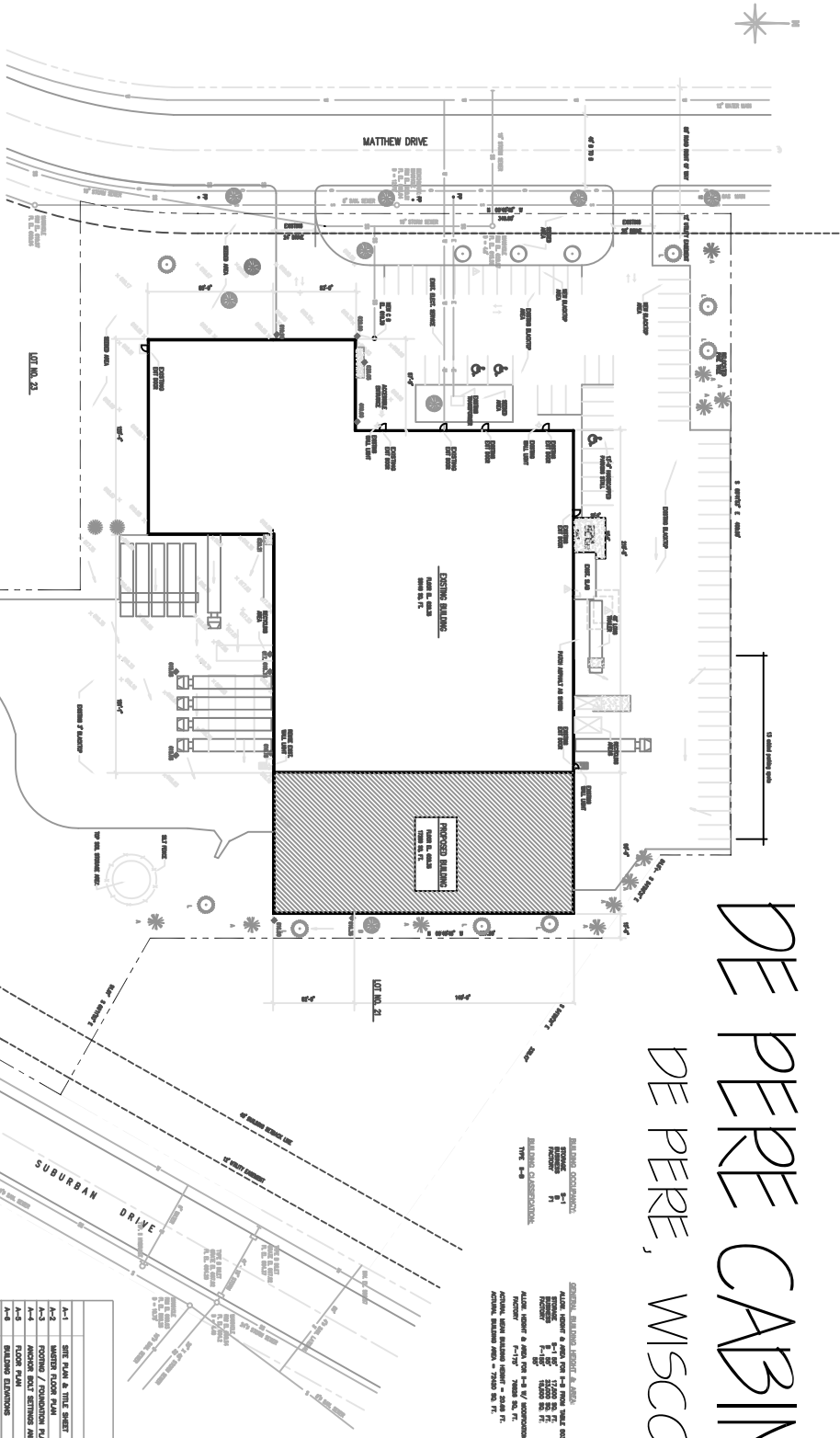
Agent Signature

Date 5-11-12

A plan consisting of all applicable information listed on the attached shall be submitted with this application. An AutoCAD drawing matching the state approved plans must be submitted in Brown County Coordinates before permits can be issued.

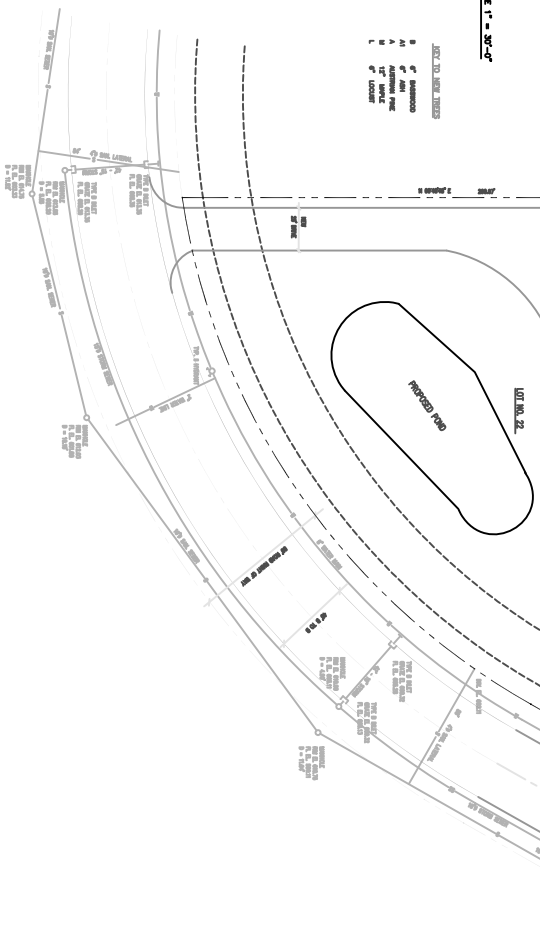
DE PERE CABINET, INC.

DE PERE, WISCONSIN



SITE PLAN
SCALE 1" = 30'-0"

- KEY TO SITE PLAN**
- CONCRETE
 - GRANULAR FILL
 - EARTH
 - RIGID INSULATION
 - FIBERGLASS INSULATION
 - CONCRETE BLOCK
 - FACE BRICK
 - STONE
 - FRAMING LUMBER
 - FINISH WOOD



SHEET INDEX

NO.	DESCRIPTION
1-1	SITE PLAN & TITLE SHEET
1-2	FOUNDATION PLAN AND CONCRETE DETAILS
1-3	ANCHOR BOLT SETTINGS AND CONCRETE DETAILS
1-4	BUILDING ELEVATIONS
1-5	WALL SECTIONS, SPECIFICATIONS AND DETAILS
1-6	ROOF DRAINAGE PLAN

DETAIL IDENTIFICATION

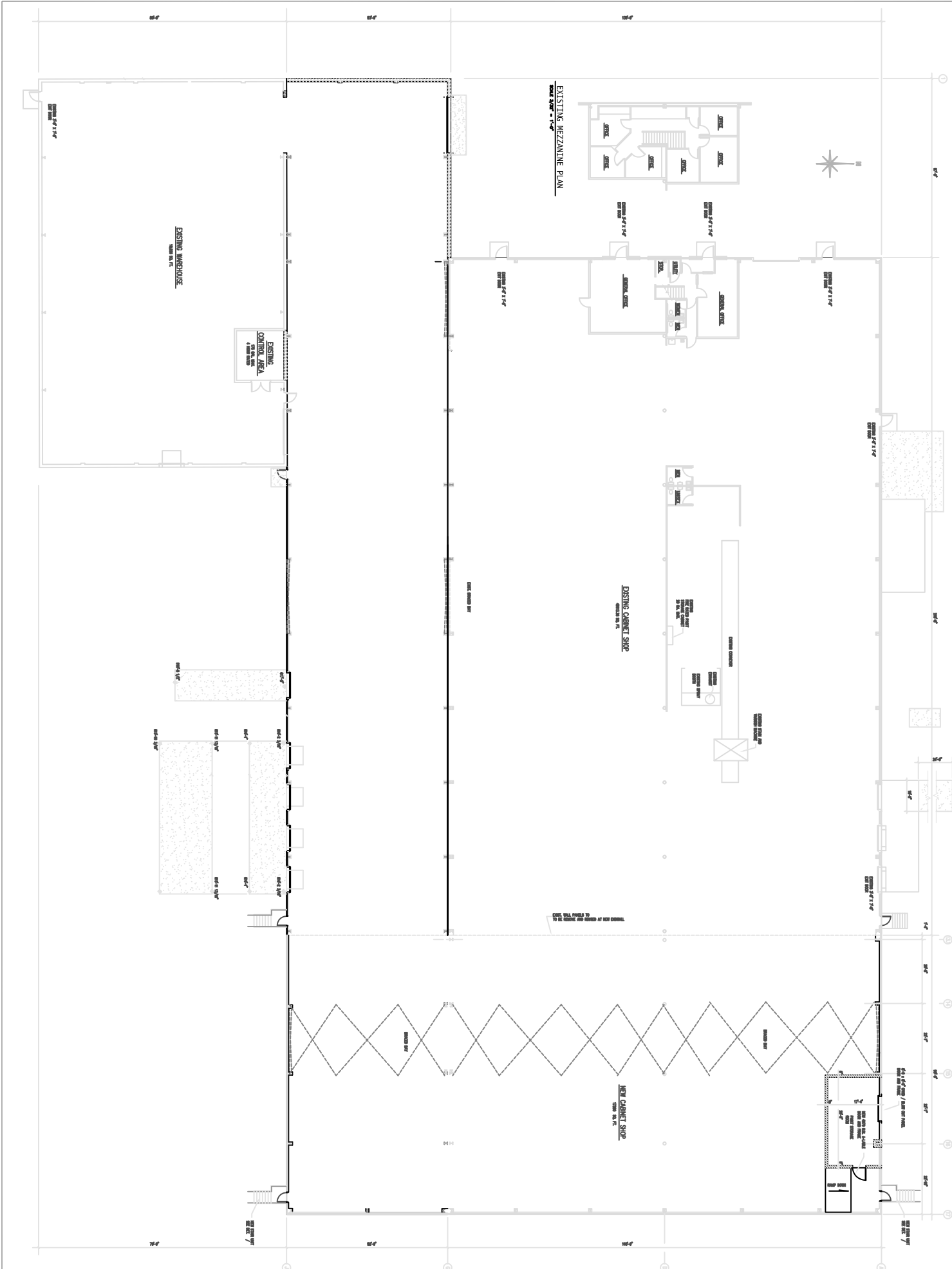
DIRECTION DETAIL IS
CUT

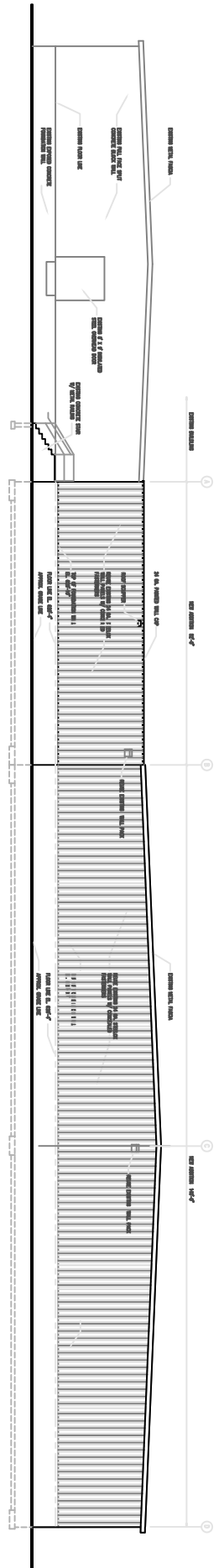
SYMBOLS

CONCRETE	CONCRETE BLOCK
GRANULAR FILL	FACE BRICK
EARTH	STONE
RIGID INSULATION	FRAMING LUMBER
FIBERGLASS INSULATION	FINISH WOOD

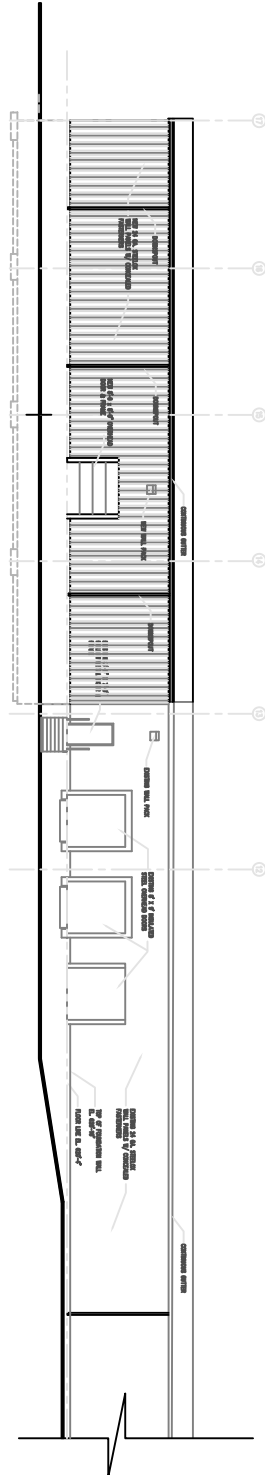
STRUCTURAL APPROVAL

AREA:
17280 SQ. FT.

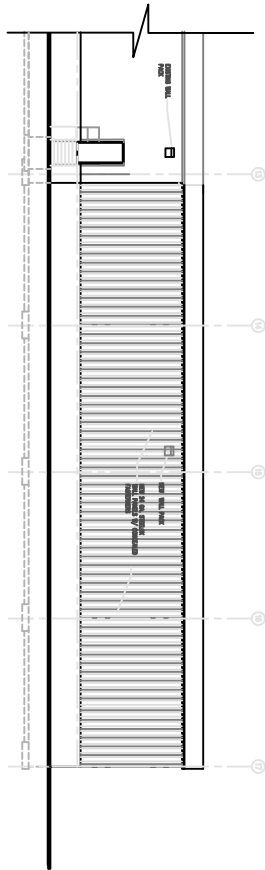




EAST ELEVATION SCALE 1/8" = 1'-0"



NORTH ELEVATION SCALE 1/8" = 1'-0"



SOUTH ELEVATION SCALE 1/8" = 1'-0"

- 1 DETAIL A THIS SHEET
- 2 36" CATCHBASIN, SEE DETAIL B THIS SHEET
- 3 CONNECT TO DOWNSPOUT, FIELD VERIFY, SEE DETAIL C THIS SHEET
- 4 PROPOSED POND, WATER SURFACE - 608.00

[illegible]

Engineering & Surveying LLC

211 N. Broadway, Suite 114, Green Bay, WI 54303
PH:920-569-5765 Fax: 920-569-5767

Mach IV

Engineering & Surveying LLC

DePere Cabinet

525



MAINTENANCE PLAN:

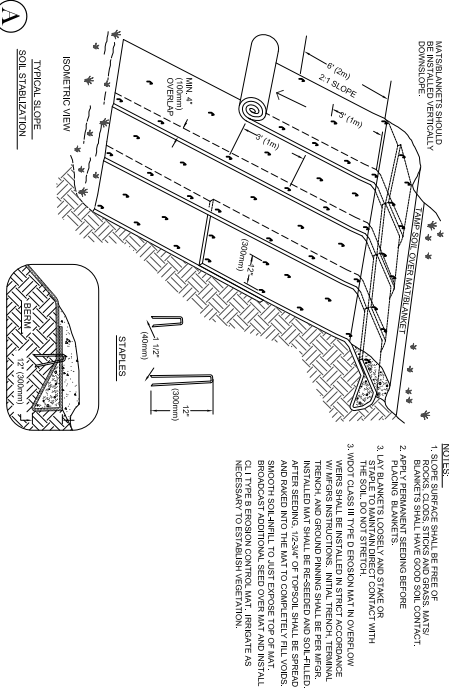
[illegible]

- ① INLET PROTECTION, SEE DETAIL C SHEET C5.0.
- ② SILT FENCE. SEE DETAIL D SHEET C5.0.
- ③ EMERGENCY OVERTFLOW WEIR: 10' WIDE GRASS LINED WEIR GRADED TO FLOW VIA OVERLAND CREST ELEVATION = 611.00.

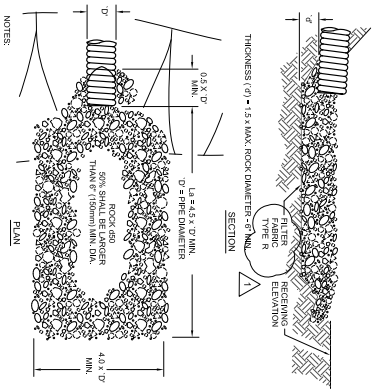
1. FOR LEGEND AND ABBREVIATIONS SEE SHEET C1.0.
2. FOR EROSION CONTROL, PLAN AND NOTES SEE SHEET 32.2, AND C6.0.
3. FOR NOTES SHOWN THUS, (2), SEE SHEET KEY NOTES, THIS SHEET.
4. CARE SHALL BE TAKEN TO PROTECT EXISTING IMPROVEMENTS TO REMAIN.
5. LAND DISTURBING ACTIVITIES SHALL NOT TAKE PLACE PRIOR TO INSTALLATION OF EROSION CONTROL MEASURES.

Heyrman Construction		Site Grading and Erosion Control Plan										
DePere Cabinet												
		<table><tr><th>NO.</th><th>REVISION DESCRIPTION</th></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr><tr><td></td><td></td></tr></table>	NO.	REVISION DESCRIPTION								
NO.	REVISION DESCRIPTION											
DATE: 5-1-12	DRAWN BY: BUL											
CHECKED BY: RAL	PROJECT: 4036-02-10											
SHEET NUMBER	4 OF 5 C2.2											
DRAWING NUMBER	525											

Details

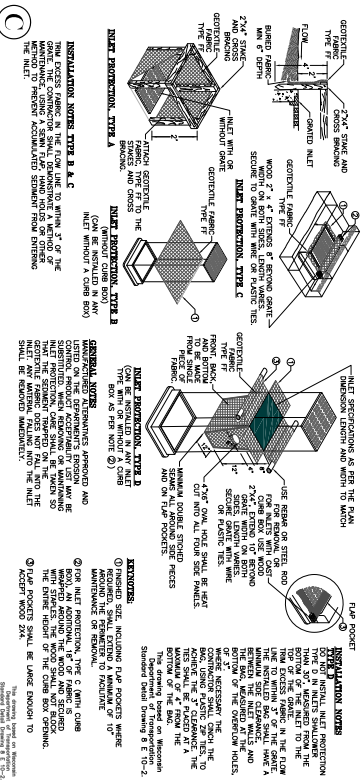


A EROSION CONTROL MAT FOR SLOPE INSTALLATION

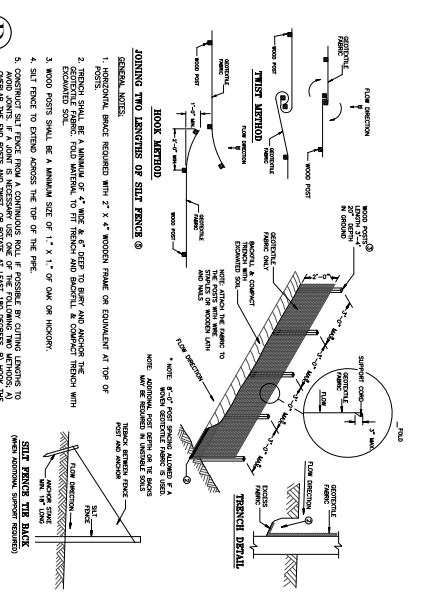


B ENERGY DISSIPATOR

C Inlet Protection



D Silt Fence



Mach IV Engineering & Surveying LLC		211 N. Broadway, Suite 114, Green Bay, WI 54303 PH: 920-569-5765 Fax: 920-569-5767	
Heyrman Construction		DePere Cabinet	
DATE: 5-1-12		DRAWING NUMBER	
CHECKED BY: BL		5 OF 5 CS.0	
PROJECT: 0300-02-10		DRAWING NUMBER	
SHEET NUMBER		525	
NO.		REVISION DESCRIPTION	

Item # 3: Review a proposed expansion for Bayside Machine, Parcel WD-1371: Applicant: Bill Bos.

Overview	The project shows a 7,000 square foot expansion, which would bring the building's total to 25,000 square feet. The proposed expansion would be along the south side of the existing building, and would provide a new fabrication warehouse and future storage space. The south and east walls of the addition would be expandable to accommodate future additions.
Public Works	Does the project meet the City's Stormwater Regulations? ☐ Yes ☒ No ☐ NA Sewer properly connected? ☒ Yes ☐ No ☐ NA Water properly connected? ☒ Yes ☐ No ☐ NA Access properly designed (driveway and sidewalks)? ☒ Yes ☐ No ☐ NA Are there any issues with easements or right-of-ways? ☐ Yes ☒ No ☐ NA Are there other items that need to be addressed? ☐ Yes ☒ No ☐ NA <i>Required Actions:</i> 1. Provide calculations for the peak discharge during a 5-year storm event for the site. A stormwater ditch was constructed for the original site to reduce the peak runoff volume. Expand the ditch area to maintain the discharge from the site.
Forestry & Parks	Does the project meet the City's Landscaping Regulations? ☒ Yes ☐ No ☐ NA <i>Required Actions:</i> 1. With the expansion, there are no proposed changes to the landscaping at this time due to forthcoming proposed additions. Staff would recommend a landscape plan be submitted when the future site plans are submitted. It should be noted that the lot (i.e., grass) will need to be maintained on the new lot.
Fire	Does the project meet the City's Fire Codes? ☒ Yes ☐ No ☐ NA <i>Required Actions:</i> 1. Provide complete detailed plans for construction review; provide details of use for all areas of structure. Provide detailed plans prior to start of construction. 2. Separation of hazards/use may be required. 3. Provide floor arrangement for inside structure. Detail any hazardous substances/operations anticipated within the structure. 4. Provide details for the means of egress throughout the structure. 5. Provide exit/emergency lighting throughout the means of egress. 6. "No Smoking," and floor loading signage may be required 7. Provide fire extinguishers at maximum 75 foot travel distances; locate extinguishers towards the exits. 8. Fire sprinklers are required per IFC 903.2.3. Provide sprinkler system drawings to City staff for approval prior to installation of the system. The installation of this system will allow the structure to be constructed to a lesser grade of construction type with lowered requirements for separation assemblies. 9. Provide fire alarm system drawings to City staff for approval prior to installation of any system. 10. Install key box for fire department access.
Planning & Building Inspection	Does the project meet the design regulations (exterior building elevations/materials)? ☐ Yes ☒ No ☐ NA Does the project meet the City setback requirements? ☒ Yes ☐ No ☐ NA Does the project meet the City parking requirements? ☒ Yes ☐ No ☐ NA Does the project meet the City lighting requirements? ☒ Yes ☐ No ☐ NA Is the refuse properly sited and screened? ☐ Yes ☐ No ☒ NA Does the signage meet the City code? ☐ Yes ☐ No ☒ NA Are there other items that need to be addressed? ☐ Yes ☒ No ☐ NA <i>Required Actions:</i> 1. When the business first started, the Plan Commission allowed metal to be used on the proposed expansion walls. With this project, Bayside is again utilizing metal panels on the south and east elevations based on their plans for expansion in the future. The Plan Commission has allowed this exception in the past with a given timeframe for when the building would need to be brought into compliance (usually not to exceed three years).

Recommendation

Staff in Planning, Zoning, Fire, and Public Works Departments reviewed the site plan. Based on these reviews, planning staff would recommend the following:

1. Addressing and implementing any requirements submitted by Zoning, Forestry, Fire, and Public Works Departments.
2. Plan Commission will need to approve the use of metal on the south and east elevations, and, if approved, define the timeframe for the allowance.
3. Meeting all other state and local regulations.



CITY OF DE PERE

APPLICATION FOR
SITE PLAN REVIEW

Fee: \$ 245.00

Receipt #: PAID 5-15-12

Date: 5-12-12

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: FBS INVESTMENT GROUP, LLC
 Mailing Address: 2257 AMERICAN BOULEVARD
 Phone: 920-330-9972
 Email: ROB@BAYSIDEMARTINE.NET

I hereby appoint the following as my agent for purposes of this application:

Agent: Name: ALLIANCE CONSTRUCTION / c/o Bill Bos
 Mailing Address: 1030 ORLANDO DRIVE, DE PERE 54115
 Phone: 920-334-3400
 Email: BILL@ALLIANCEBUILDS.COM

B. Property Information

Address/Location of Property: 2257 AMERICAN BLVD Parcel #: WD 1371 / WD 1370
 Parcel Dimension: 215' x 412' / 212' x 412' Parcel Area: 88,580 sq / 87,195 sq
 Legal Description: SOUTHBRIDGE BUSINESS PARK 1ST ADDIT. LOT 6, LOT 5

A Site Plan Review is requested as authorized by the De Pere Zoning Code, Section(s): Article XIII, Section 14.60.

[Signature]
 Owner Signature

5-15-12
 Date

[Signature]
 Agent Signature

5-11-12
 Date

A plan consisting of all applicable information listed on the attached shall be submitted with this application. An AutoCAD drawing matching the state approved plans must be submitted in Brown County Coordinates before permits can be issued.



PROJECT INFO:

 **Alliance**
CONSTRUCTION & DESIGN
1030 Orlando Drive / De Pere, WI 54115
Telephone: 920-336-3400 / Fax: 920-336-3401
WWW.ALLIANCEBUILDS.COM

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Item #4: Review proposed expansion for Amerilux, Parcel ED-2070: Applicant: David O'Brien.

Overview	The project shows a 21,168 square foot building expansion, which would bring the building's total to 56,870 square feet. The new building would provide two new access doors and racking space. The expansion would also include 29 new parking stalls, a gravel yard, driveway entrance, and interior sidewalk.
Public Works	Does the project meet the City's Stormwater Regulations? ☒ Yes ☐ No ☐ NA Sewer properly connected? ☒ Yes ☐ No ☐ NA Water properly connected? ☒ Yes ☐ No ☐ NA Access properly designed (driveway and sidewalks)? ☒ Yes ☐ No ☐ NA Are there any issues with easements or right-of-ways? ☐ Yes ☒ No ☐ NA Are there other items that need to be addressed? ☐ Yes ☒ No ☐ NA <i>Required Actions:</i> Stormwater Management 1. Update the stormwater management plan to include the information required. The calculations and approach used to address the redeveloped versus new development from a % TSS removal are acceptable to the City if also acceptable to the Wisconsin Department of Natural Resources. Traffic/Vehicle Access: 2. The driveway apron for the new driveway is to be concrete in the right-of-way.
Forestry & Parks	Does the project meet the City's Landscaping Regulations? ☒ Yes ☐ No ☐ NA <i>Required Actions:</i> 1. The plans do not show any landscaping on the west elevation. Since this elevation faces the property to the west, staff would recommend that tree plantings be added to the west property line. A drawing should be submitted to City staff for review and approval.
Fire	Does the project meet the City's Fire Codes? ☒ Yes ☐ No ☐ NA <i>Required Actions:</i> 1. Provide detailed plans for construction. This information should be submitted to City staff for review prior to the start of construction. Provide details of use for all areas of structure. 2. Separation of hazards/use may be required. 3. Provide information on floor arrangements for inside the structure. 4. Provide detail on any hazardous substances/operations anticipated within the structure. 5. Provide detail for the means of egress throughout the structure. 6. Provide exit/emergency lighting throughout the means of egress. Existing and proposed egress are subject to review by City staff. 7. "No Smoking," and floor loading signage may be required 8. Provide fire extinguishers at maximum 75foot travel distances, locate extinguishers towards the exits. 9. Provide sprinkler system drawings with calculations and cut sheets for approval prior to installation. 10. Provide fire alarm system drawings for approval prior to installation of any system. 11. Install a key box for fire department access
Planning & Building Inspection	Does the project meet the design regulations (exterior building elevations/materials)? ☐ Yes ☒ No ☐ NA Does the project meet the City setback requirements? ☐ Yes ☒ No ☐ NA Does the project meet the City parking requirements? ☒ Yes ☐ No ☐ NA Does the project meet the City lighting requirements? ☒ Yes ☐ No ☐ NA Is the refuse properly sited and screened? ☐ Yes ☐ No ☒ NA Does the signage meet the City code? ☐ Yes ☐ No ☒ NA Are there other items that need to be addressed? ☒ Yes ☐ No ☐ NA <i>Required Actions:</i> 1. The building will require variances for the setbacks. 2. On the south elevation, the plans show the use of metal which does not meet City code. Amerilux is requesting the use of metal to match the existing building design that faces the south. There is also a possible plan in the future to add offices in that same area. The Plan Commission would need to approve the use of this material. 3. Gravel parking: The plans are showing the use of gravel for the trailer parking. This is proposed since there is a plan to build a storage warehouse in the location within 3 years. The owner is looking for approval for 3 years in which the new building would be added, or the lot would need to be paved.

Recommendation

Staff in Planning, Zoning, Fire, and Public Works Departments reviewed the site plan. Based on these reviews, planning staff would recommend the following:

1. Addressing and implementing any requirements submitted by Zoning, Forestry, Fire, and Public Works Departments.
2. The Plan Commission will need to approve the use of metal for the front elevation. If applicable, a timeframe should be defined.
3. The Plan Commission will need to approve the use of gravel for the trailer parking. If approved, a timeframe should be defined.
4. Meeting all other state and local regulations.



CITY OF DE PERE

APPLICATION FOR SITE PLAN REVIEW

Fee: \$ 245.00

Receipt #: 72517

Date: 5-14-12

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: Brian Peters

Mailing Address: 1212 Enterprise Dr. De Pere, WI 5415

Phone: 336-9300

Email:

I hereby appoint the following as my agent for purposes of this application:

Agent:

Name: Bayland Buildings, Inc. (David O'Brien)

Mailing Address: P.O. Box 13571 Green Bay, WI 54307

Phone: 371-6200

Email: dobrien@baylandbuildings.com

B. Property Information

Address/Location of Property: 1212 Enterprise Dr. Parcel #:

Parcel Dimension: Parcel Area:

Legal Description:

A Site Plan Review is requested as authorized by the De Pere Zoning Code, Section(s): Article XIII, Section 14.60.

Owner Signature

Agent Signature

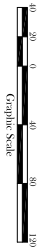
Date

5/14/2012

Date

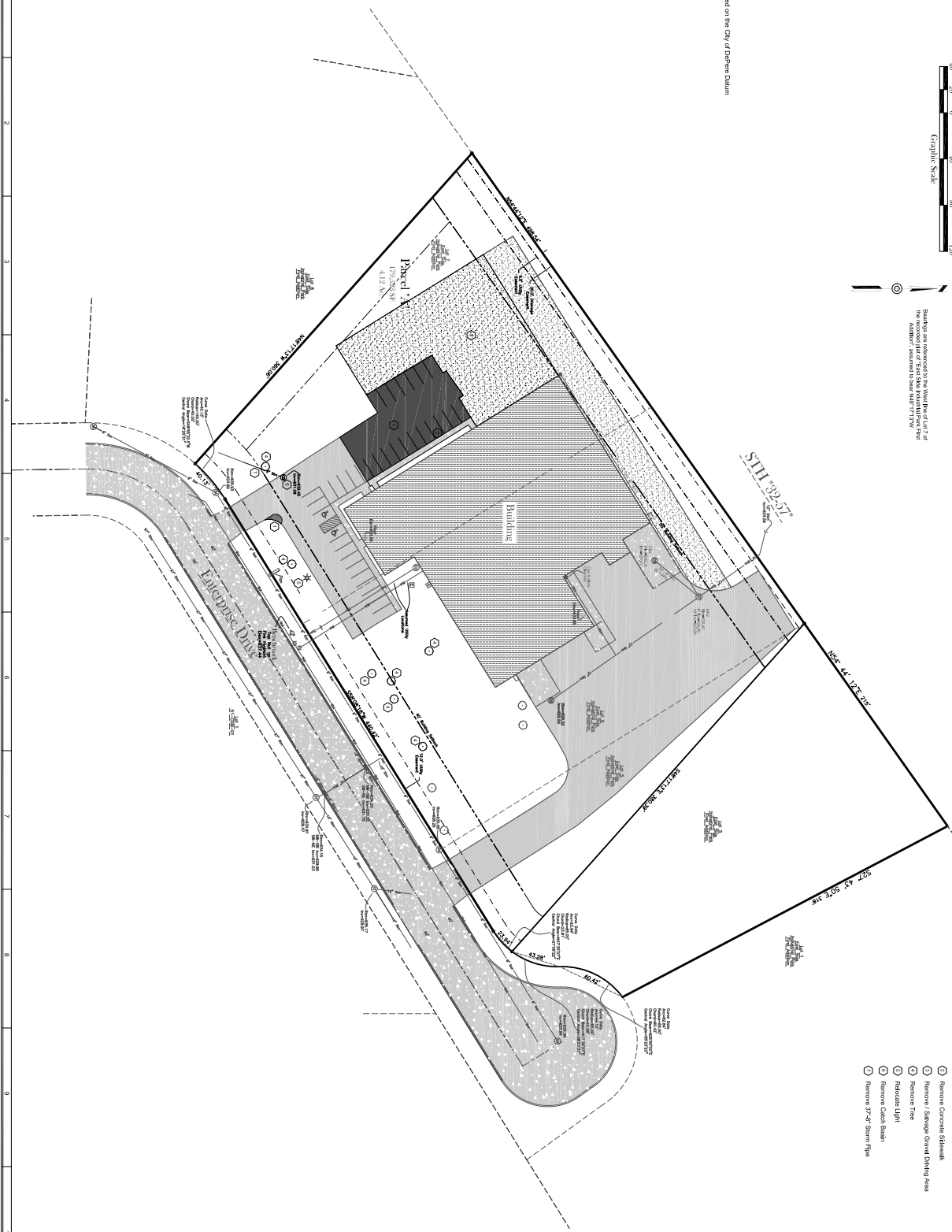
A plan consisting of all applicable information listed on the attached shall be submitted with this application. An AutoCAD drawing matching the state approved plans must be submitted in Brown County Coordinates before permits can be issued.

Site Demolition Plan



These drawings are prepared and issued by the undersigned in accordance with the provisions of the Wisconsin Statutes, Chapter 19, and the rules and regulations of the Wisconsin Department of Transportation, Chapter Trans 112. The undersigned is not responsible for the accuracy of the information furnished by the client or for the results of the construction of the project shown on these drawings.

Notes:
- Elevations are based on the City of Dodge Datum



SHEET KEY NOTES:

- ① Remove Asphalt Parking Lot
- ② Remove Concrete Slabwork
- ③ Remove / Salvage Ground Driveway Area
- ④ Remove Tree
- ⑤ Reduce Light
- ⑥ Remove Catch Basin
- ⑦ Remove 37'-0" Storm Pipe

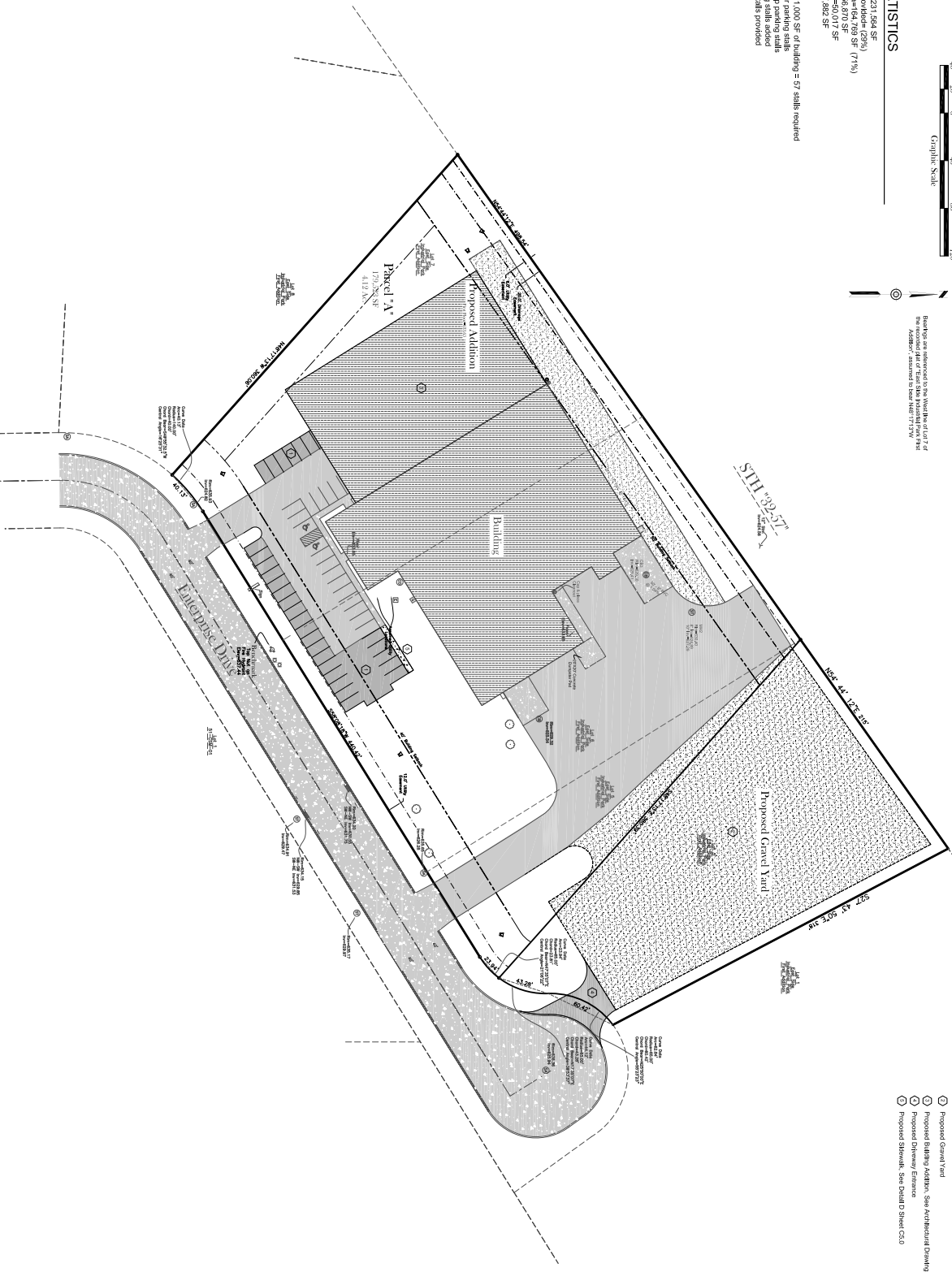
BAYLAND BUILDINGS		AMERILUX ADDITION		SITE DEMOLITION PLAN
		NO.	REVISION DESCRIPTION	

Mach IV
Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-5765 Fax: 920-569-5767

A horizontal graphic scale for Figure 1. It consists of a long horizontal bar divided into 10 equal segments. The segments alternate between black and white, starting with a black segment on the left. Below the bar, the numbers 40, 20, 0, 40, 80, and 120 are printed, corresponding to the segment boundaries. The label 'Graphic Scale' is written vertically to the left of the bar.

- Total site area=231,564 SF
- Green space provided= (29%)
- Impervious area=164,769 SF (71%)
 - Building=56,870 SF
 - Pavement=50,017 SF
 - Gravel=57,882 SF

- BearHugs are referenced to the West line of Lot 7 of the recorded plat of "East Side Industrial Park Phase 1" Addendum, assumed to bear N40°17'13"W.



- ① Proposed Parking Area. See Detail B Sheet C5.0
- ② Proposed Gravel Yard
- ③ Proposed Building Addition. See Architectural Drawings
- ④ Proposed Off-ramp Entrance
- ⑤ Proposed Staircase. See Detail D Sheet C5.0

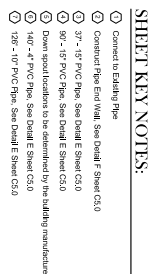
SITE LAYOUT

Engineering & Surveying LLC

211 N. Broadway, Suite 114, Green Bay, WI 54303
PH:920-569-5765 Fax: 920-569-5767

[illegible]

Additional¹, assumed to bear NaO¹⁷13W



Mach IV

Engineering & Surveying LLC

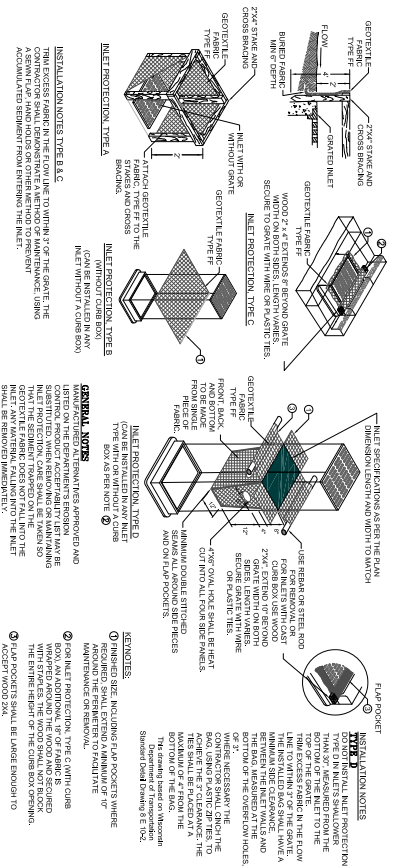
211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-5765 Fax: 920-569-5767

A horizontal graphic scale for Figure 1. It consists of a series of alternating black and white rectangular blocks. Below the blocks, numerical values are marked: 40, 20, 0, 40, 80, and 120. The scale is used to measure the length of the bars in the chart.

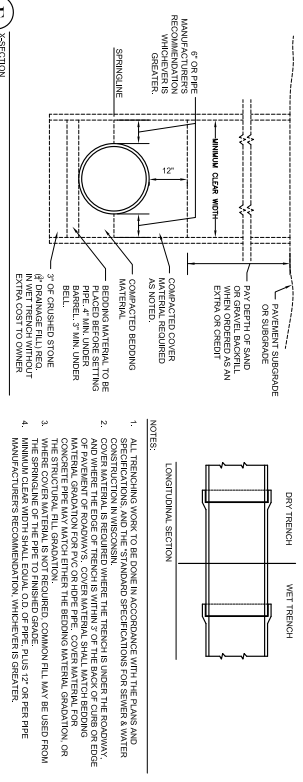
BeerTops are referenced to the West line of Lot 7 of the recorded plat of East Side Industrial Park Phase Addition, assumed to bear N40°17'13"W



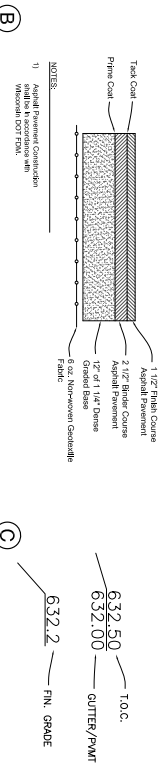
 Mach IV Engineering & Surveying LLC 211 N. Broadway, Suite 114, Green Bay, WI 54303 PH: 920-569-5765 Fax: 920-569-5767 PROFESSIONAL SEAL		BAYLAND BUILDINGS AMERILUX ADDITION GRADING & EROSION CONTROL		DATE: 5-14-2012 DRAWN BY: Randy Welter CHECKED BY: PROJECT# 017424-2 SHEET NUMBER C4.0 OF 5 DRAWING NUMBER 526	
NO.		REVISION DESCRIPTION			



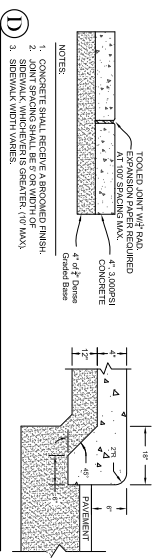
A Inlet Protection Type D



E STANDARD PIPE BEDDING DETAIL

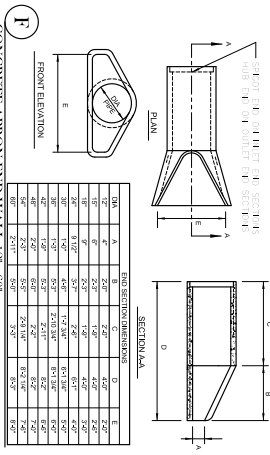


B Heavy Duty Asphalt Pavement Section



D CONCRETE SIDEWALK

C SPOT GRADE KEY



F CONCRETE APRON END WALL 12'-0"

NO.	REVISION DESCRIPTION

BAYLAND BUILDINGS

AMERILUX ADDITION

DETAILS

PROFESSIONAL
SEAL

Mach IV

Engineering & Surveying LLC

211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-5765 Fax: 920-569-5767

DATE: 5-14-2012

DRAWN BY: Randy/Hunter

CHECKED BY:

PROJECT: 0176-02-12

SHEET NUMBER

C5.0 OF 5

DRAWING NUMBER

526

PROPOSED BUILDING ADDITION FOR:
112-6727
WISCONSIN; COUNTY OF:

SCALE VERIFICATION
THIS BAR MEASURES 1" ON ORIGINAL.
ADJUST SCALE ACCORDINGLY.

Source of Copyright
 The following are the copyright owner's name, address and telephone number, and the copyright owner's name, address and telephone number, and the copyright owner's name, address and telephone number.

JOB NUMBER:

SALES REP:
SHAWN MUELLER
(920) 371-2546

DRAWN BY:

DATE: 4-18-12

REVISION:

A

ISSUED FOR:

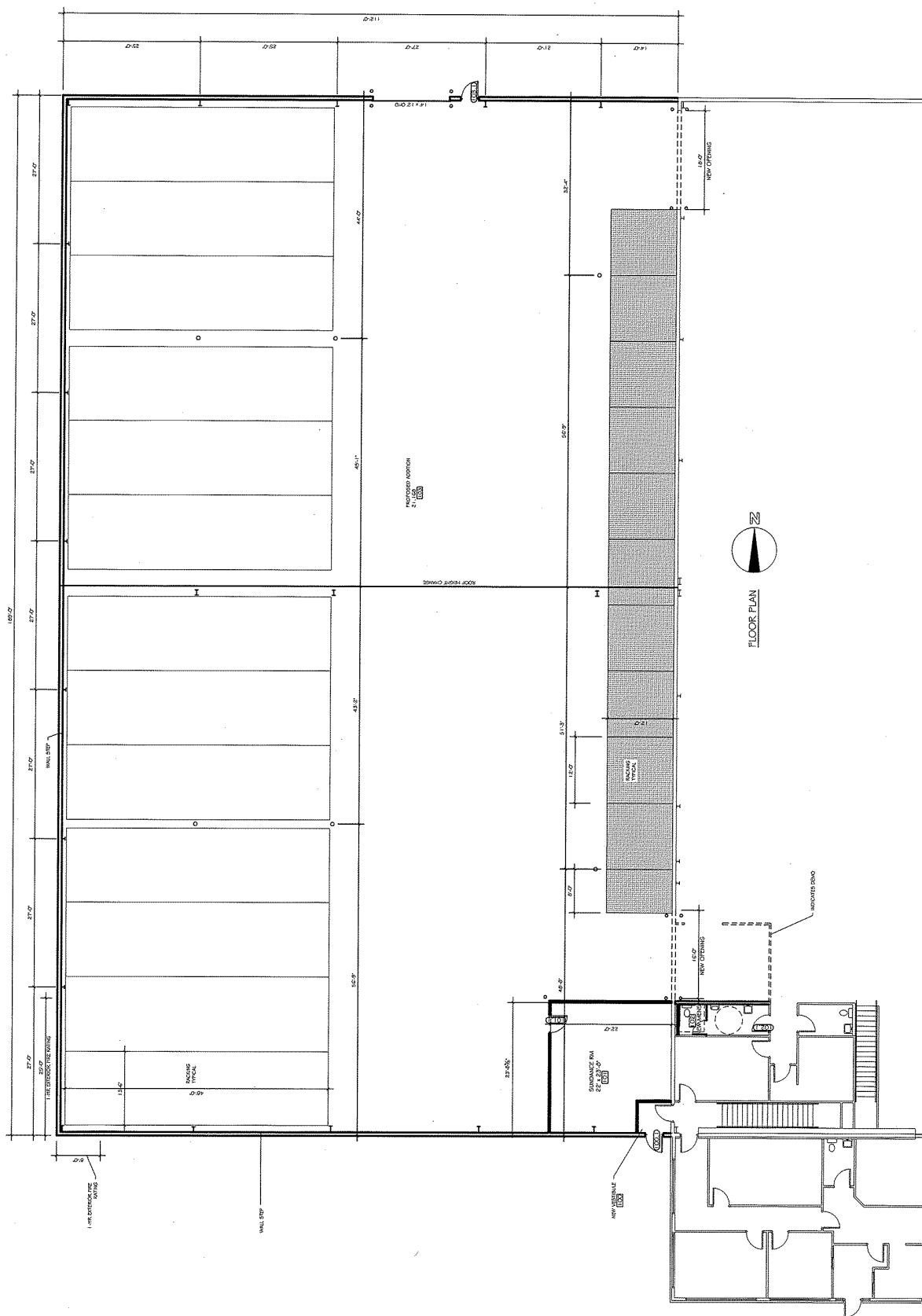
☐ PRIMARY
 3/10/1999

☐	PRELIMIN
☐	BID SET

☐	BID SET
☐	CONSTRICTION

SHEET

A1.1



EXISTING CONDITIONS
FIELD VERIFY ALL DIMENSIONS,
ELEVATIONS, AND CONDITIONS
PRIOR TO CONSTRUCTION

APPROVED

DATE	CONTRACT SIGNATURE
DATE	BUYER REPRESENTATIVE

Item #5: Review a Right of Way Vacation Request from the west side of Fifth Street, north of Main Avenue. Applicant: City of De Pere.

The attached map shows the proposed area to be vacated on Fifth Street. The area would be used for the proposed redevelopment of the northeast corner of Fifth Street and Main Avenue. It would be a five (5) foot strip that runs along parcels WD-389-2 and WD-389-2-1. The map shows the existing curb line in comparison to the area proposed to be vacated. Based on our review, staff feels that the vacation request does not have an impact on the existing street right of way, and that the vacation request would be in the best interest for the City in the redevelopment of this site.

Recommendation:

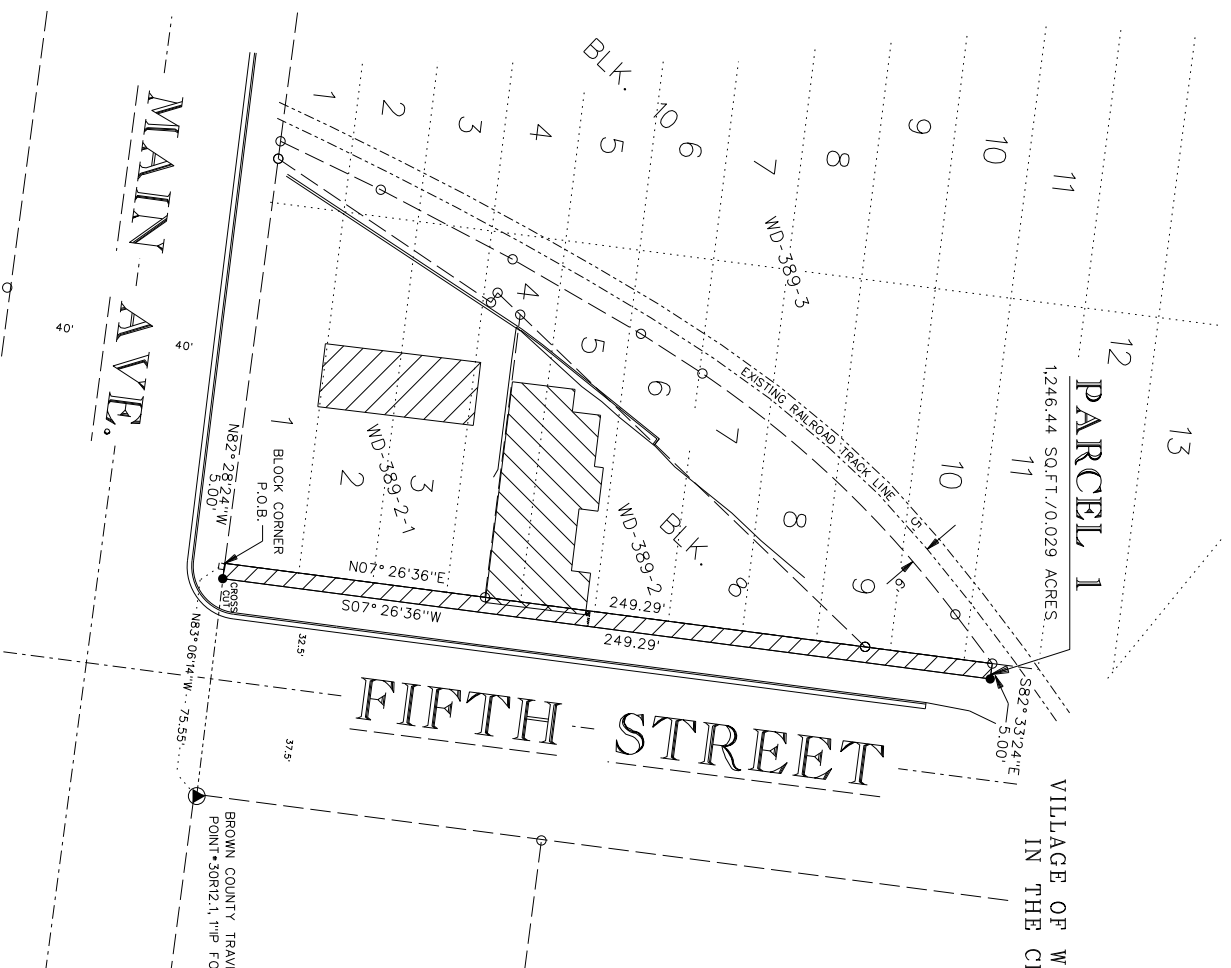
Staff would recommend approval of the vacation, and that the proposed vacation request be sent to the Common Council for the required hearing.

PLAT OF SURVEY

PART OF THE WESTERLY RIGHT OF WAY OF FIFTH STREET
ACCORDING TO THE RECORDED PLAT OF ADDITIONS TO THE
VILLAGE OF WEST DE PERE BY THE DE PERE AND NEW YORK IRON COMPANY, LOCATED
IN THE CITY OF DE PERE, WEST SIDE OF FOX RIVER, BROWN COUNTY, WISCONSIN

PARCEL 1

1,246.44 SQ.FT./0.029 ACRES



CLIENT: CITY OF DE PERE

DESCRIPTION: PART OF THE WESTERLY RIGHT OF WAY
OF FIFTH STREET ACCORDING TO THE RECORDED PLAT OF ADDITIONS TO THE VILLAGE OF
WEST DE PERE BY THE DE PERE AND NEW YORK IRON COMPANY, LOCATED IN THE CITY OF
DE PERE, WEST SIDE OF FOX RIVER, BROWN COUNTY, WISCONSIN, MORE FULLY DESCRIBED BELOW:

BEGINNING AT THE SOUTHEAST CORNER OF BLOCK 8 OF THE RECORDED PLAT OF ADDITIONS
TO THE VILLAGE OF WEST DE PERE BY THE DE PERE AND NEW YORK IRON COMPANY; THENCE
N07°26'36\"E, 249.29 FEET; THENCE S82°33'24\"E, 5.00 FEET; THENCE S07°26'36\"W, 249.29
FEET; THENCE N82°28'24\"W, 5.00 FEET TO THE POINT OF BEGINNING.

PARCEL CONTAINS 1,246.44SQ.FT./0.029 ACRES MORE OR LESS.

PARCEL 1IS TO BE ADDED TO TAX PARCEL WD-389-2, WHICH IS ADJACENT AND DOES NOT
REQUIRE A CERTIFIED SURVEY MAP. PARCEL 1IS NOT INTENDED TO BE A SEPARATE BUILDABLE LOT.

SURVEYOR'S CERTIFICATE: I, TRACY S. ONDIK, REGISTERED LAND SURVEYOR, HEREBY CERTIFY THAT
THE ABOVE DESCRIBED PROPERTY WAS SURVEYED AND MAPPED UNDER MY DIRECT SUPERVISION
AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF.

TRACY S. ONDIK S-2620

DATE: _____

LEGEND

- --1.312\" x 2.4\" IRON PIPE WEIGHING
1.68 LBS/LIN. FOOT SET
- ⊕ --1\" IRON PIPE FOUND UNLESS
NOTED OTHERWISE



SCALE 1\" = 40'
BEARINGS REFERENCED TO THE NORTH LINE
OF MAIN AVENUE, ASSUMED
BEARING N82°28'24\"W

Soletski Surveying, LLC
Civil Drawings, Consulting Services & Land Planning
3025 Pioneer Rd, Suite C
Green Bay, WI 54311
(920)965-0040 Fax (920)965-0041

**Item #6: Review Chapter 14 of the De Pere Zoning Code to include rummage sale regulations.
Applicant: City of De Pere.**

The City of De Pere is beginning to field more questions and complaints related to rummage sales. In most cases, individuals usually have one or two rummage sales in a year, and it relates to spring or fall cleanup. However, we are beginning to see more situations where individuals are conducting weekly or bi-weekly rummage sales, which are adversely affecting neighboring properties. Our existing code does have provisions for home occupations and commercial operations, but we do not have a clear definition for rummage sales.

The City Attorney was able to research code adopted from other municipalities. The best approach for addressing the issue is to amend the City's Zoning Ordinance (Chapter 14), specifically, Article 14-03 - Definitions, and the permitted uses in Article 14-38 - R-1, Single Family Residence District.

The definition section will now define a rummage sale, and limits sales on a residential property to no more than three (3) times per calendar year with a maximum duration of 72 hours per sale. The update to the permitted uses allows for rummage sales to occur, and by default would also apply to our other residential districts.

Recommendation:

Staff would recommend approval of the proposed code amendment, and be forwarded to the Common Council for approval.

ORDINANCE 12-
AMENDING CHAPTER 14 DE PERE MUNICIPAL CODE
TO INCLUDE RUMMAGE SALE REGULATIONS

THE COMMON COUNCIL OF THE CITY OF DE PERE DO ORDAIN AS
FOLLOWS:

Section 1. §14-03(154), **Definitions**, is hereby created to read:

Rummage Sale. The sale of personal household goods on a residential property. The term rummage sale shall include garage sales, lawn sales, yard sales, attic sales, moving sales and the like; provided however that rummage sales are allowed on a residential property no more than three (3) times per calendar year with a maximum duration of 72 hours per sale.

and subsequent definitions renumbered accordingly.

Section 2. §14-38(1), **R-1 Single Family Residence District Permitted uses**, is amended by adding the following:

(i) Rummage sales as defined in this chapter.

Section 3. All ordinances or parts of ordinances in conflict herewith are hereby repealed.

Section 4. This ordinance shall take effect on and after its passage and publication as provided by law.

Adopted by the Common Council of the City of De Pere, this 5th day of June, 2012.

APPROVED:

Michael J. Walsh, Mayor

Vicki L. Scray, Deputy Clerk

Ayes:_____

Nays:_____

Item #7: Review for 2012, concept of Traditional Neighborhood Design (TND) to incorporate into zoning code. Applicant: City of De Pere.

Our Comprehensive Plan recommends the adoption of a Traditional Neighborhood Design (TND) zoning district. This concept is found in Chapters 1, 2, and 5 of the Comprehensive Plan, where it is promoted as a viable mixed-use development option.

The attached information gives a summary, and details the concept of TND. Staff will present the concept at the Plan Commission meeting.

Recommendation:

Staff is looking for feedback on the TND concept, and its possible use in the City.

Traditional Neighborhood Design

As part of the City of De Pere's Comprehensive Plan, it is our goal to implement Traditional Neighborhood Design (TND) into the community. The state of Wisconsin has already taken steps and shown its support of this Smart Growth philosophy by requiring all cities and villages with a population over 12,500 residents incorporate ordinances that permit these types of developments.



Northwood Crossing, OR Alleyway w/rear-facing garages



Glenwood Park (TND), GA revitalized neighborhood town center



Middleton Hills, WI typical TND w/front porches, minimal front yard setbacks, absence of driveways



Bradburn, CO Preserved natural open space through Traditional Neighborhood Design

Traditional Neighborhood Design Characteristics

The goal of TND application is to increase efficiencies of residential development around a pedestrian oriented "town center", emphasizing the neighborhood as one functional unit rather than an individual parcel or home. The City of De Pere's Land Use and Housing Goals are to promote viable mixed-use developments like this through characteristics of traditional neighborhood design. For the City to accomplish this it should look at other municipalities who have successfully implemented TND's. These neighborhoods are recognizable through their mixed housing which supports different income levels and age groups; neighborhood-scale commercial uses to meet day-to-day needs; narrower streets with alleyways which eliminate visual impact of garages and direct driveway access to the street; and smaller lots, provided the home designs are reflective of traditional designs, including usable front porches, varied architectural design, and minimal front yard setbacks. Additional characteristics include:

- Multiple street connections for residents to conveniently walk or bike
- Open spaces such as specialized squares, playgrounds, and parks
- Higher density development which decreases loss of agricultural land

The following images show commercial and residential layouts, not using Traditional Neighborhood Design principles. This type of development separates public and commercial uses from residential, putting more reliance on automobiles, roads, and higher speeds to get from one place to the next. In images 2 and 3 the TND layout of Bradburn, CO is defined by its multiple street connections for pedestrians and vehicles, mixed uses with commercial and residential within close proximity, and preservation of natural open spaces.



Image 1: Example "Sprawl" layouts (existing)

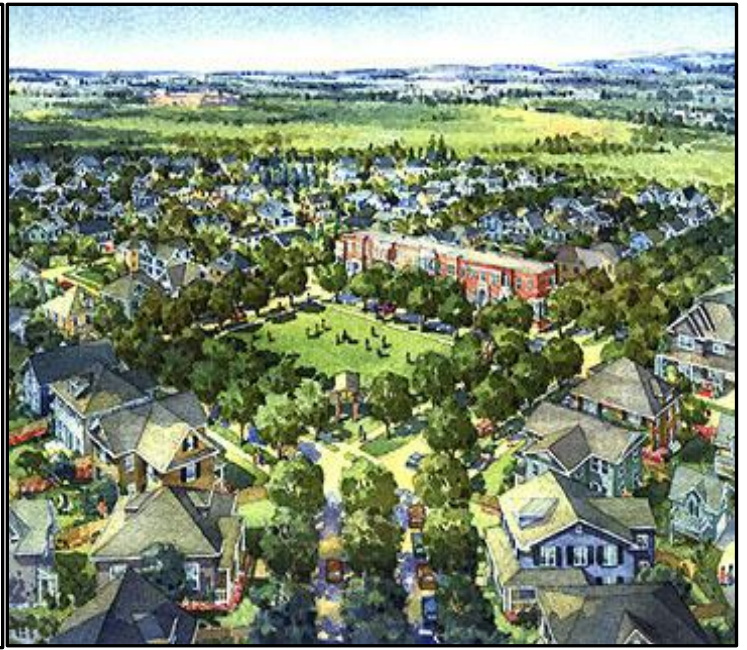


Image 2 and 3: Bradburn, CO Traditional Neighborhood Design layout

Traditional Neighborhood Implementation

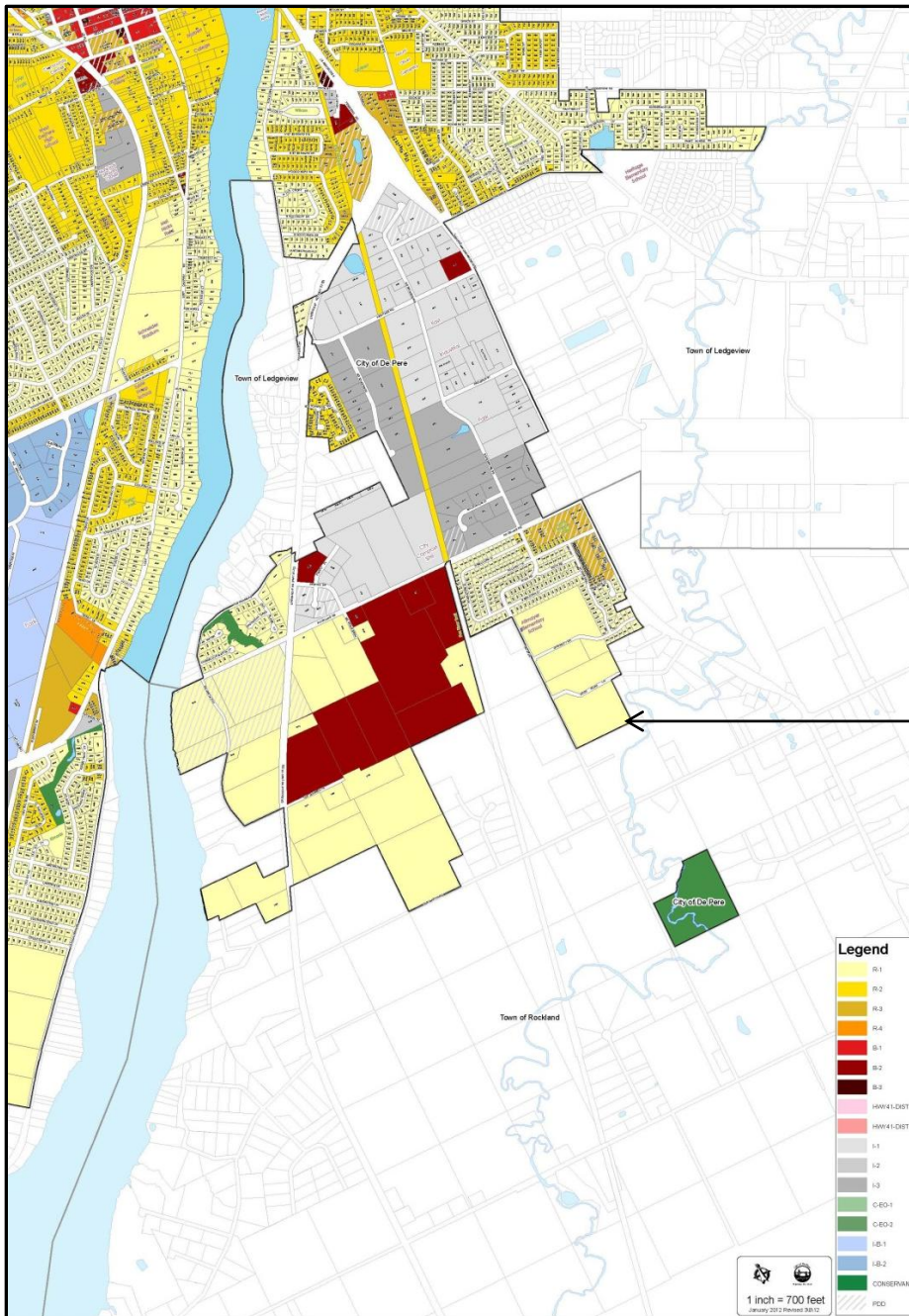
Many Wisconsin cities have in fact implemented Traditional Neighborhood Designs into their communities and zoning codes already. Middleton, WI has successfully implemented a TND into its zoning code and developed its own TND neighborhood, Middleton Hills. Below is an aerial photo of the Middleton Hills, WI neighborhood in relation to the City of Middleton. This neighborhood encompasses most, if not all the characteristics of Traditional Neighborhood Design with its own “town center”, mixed housing, retail, and other mixed uses (neighborhood as one functional unit), interconnected street network, preserved natural open space, and all easily walk-able to the residents who live there.



Middleton Hills (TND), WI

Middleton, WI Downtown

Middleton's zoning code compared to the current City of De Pere zoning code is similarly structured with the exception of a TND District. In addition to its residential, business, industrial, agricultural, and planned development districts it has an additional district specifically zoned for TND's. Like the other residential districts it outlines all the characteristics that make up a Traditionally Designed Neighborhood including its size, land use regulations, residential use areas, mixed use areas, density, parking requirements, and architectural requirements. The code also defines the procedural requirement which is identical to that of the Planned Development District (PDD).



Example location of TND Neighborhood in De Pere

Menasha, WI also implemented TND's into its zoning code. It has 16 basic zoning districts one of which is specifically distinguished as a TND using Traditional Neighborhood Design for developments incorporating areas of one hundred acres or more.

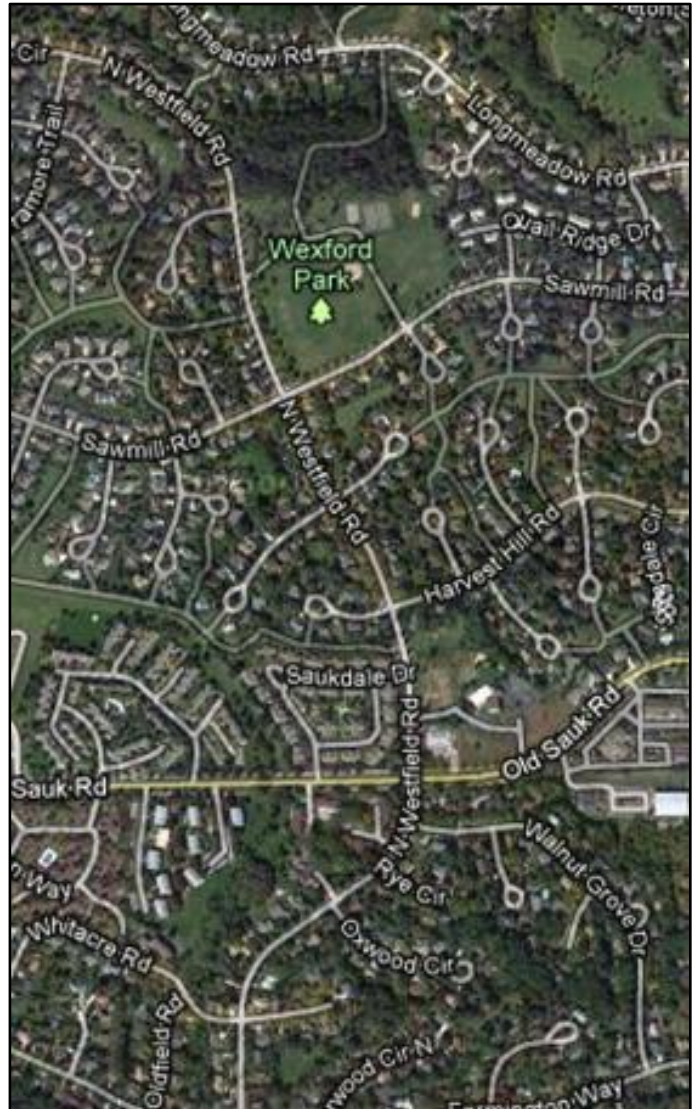
As part of Wisconsin's Smart Growth law, the UW Extension created a model ordinance for traditional neighborhood development. The law states this model should only be used as a guide and that each community should adapt the verbiage and concepts to fit that community. While Menasha, WI followed the model ordinance almost verbatim, other communities like Sun Prairie and Delafield, WI who have Traditional Neighborhood Developments, only adjusted their current ordinances with TND characteristics.

Additional Graphics:

Middleton Hills in Middleton, WI (TND)



Middleton, WI Neighborhood (non-TND)



Item #8: Review an extraterritorial request for a one (1) lot CSM, located in the Town of Ledgeview, Parcel D-417-4. Applicant: Steven Zeitler.

Steven Zeitler has submitted a one (1) lot CSM request. The single lot is 2.00 Acres (87,120 square feet). The CSM has defined the restrictive covenants, which outline the soil erosion control methods and surface water drainage requirements.

Recommendation:

Staff would recommend approval of the CSM, and that it be forwarded to the Common Council for approval.



CITY OF DE PERE

APPLICATION FOR CSM REVIEW

Fee: \$ 300.00

Receipt #: 71941

Date: 9-20

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: BLAISE BUILDINGS
Mailing Address: 3395 Carter Lane
Phone: 983-0615 Fax #: _____
E-Mail Address: Blaiser b@yahoo.com
Signature: Blaise Blaiser Date: 10/28/11

I hereby appoint the following as my agent for purposes of this application:

Agent:

Name: Steven E Zeidler
Mailing Address: 7410 Hidden Valley Rd, Maribel WI
Phone: 920-863-8411 Fax #: 54227
E-Mail Address: Zeidler99@AOL.com
Signature: Steve Zeidler Date: 10/28/11

B. Property Information

Address/Location of Property: 3395 Carter Lane
De Pere, WI 54115
Parcel #: Parcel D-417-4

NOTE: Please submit thirteen (13) copies of the CSM if property is located within the City or two (2) copies of the CSM if the property is located within the extraterritorial jurisdiction.

A CSM Review is requested as authorized by the De Pere Municipal Code, Chapter 46.

Signed: Steve Zeidler
Applicant/Agent

Dated: 10/28/11

CERTIFIED SURVEY MAP

PART OF THE NORTH 1/2 OF PRIVATE CLAIM 40 EAST SIDE FOX RIVER,
TOWN OF LEDGEVIEW, BROWN COUNTY, WISCONSIN

Surveyors Certificate:

I, Steven E. Zeitler, Registered Land Surveyor, do hereby certify that I have surveyed, divided, and mapped the land described hereon; that I have made such survey and map by the direction of the owners listed hereon; and that I have complied with the provisions of Chapter 236 Section 236.34 of the Wisconsin Statutes, the Town of Ledgeview, City of De Pere and the Brown County Planning Commission in surveying, dividing and mapping the heron described parcel of land and that the map hereon is a true and correct representation of the exterior boundary and the division of it.

Steven E. Zeitler RLS # 1749 Date

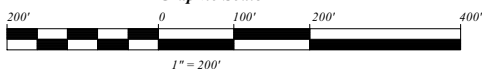
DESCRIPTION:

Part of the North 1/2 of Private Claim 40, East Side Fox River, Town of Ledgeview, Brown County, Wisconsin described as;
Commencing at the Northeast Corner of Private Claim 40; thence along the northerly line of said Private Claim 40 North 64°04'13" West 3,018.15 feet; thence South 25°41'58" West 794.92 feet to the point of beginning;
thence continuing South 25°41'58" West 361.18 feet to the northerly line of Carter Road; thence along said line North 64°05'55" West 211.56 feet; thence North 10°11'58" East 129.72 feet; thence North 24°06'34" East 236.41 feet; thence South 64°05'55" East 252.79 feet to the point of beginning.
Subject to easements and right of ways of record.

Legend

- ⊙ 1" iron pipe found
 - 1" X 18" iron pipe (set) min. wt. 1.13 lb./lin./ft./cap
- Bearings referenced to the northerly line of Private Claim 40 ESFR assumed N64°04'13" W

Graphic Scale



RESTRICTIVE COVENANT

1. The property owners, at the time of construction, shall implement the appropriate soil erosion control methods outlined in "Wisconsin Construction Site Best Management Practice Handbook" (Available from the Wisconsin Department of Natural Resources) to prevent soil erosion. However, if at the time of construction the Town has an adopted soil erosion control ordinance, it shall govern over this requirement. This provision applies to any grading, construction or installation related activities.
2. The land on all side and rear lot lines shall be graded by the owner and maintained be abutting property owners to provide for adequate drainage of surface water.



CERTIFIED SURVEY MAP

PART OF THE NORTH 1/2 OF PRIVATE CLAIM 40 EAST SIDE FOX RIVER,
TOWN OF LEDGEVIEW, BROWN COUNTY, WISCONSIN

OWNERS CERTIFICATE:

As owner, I hereby certify that I caused the land described on this map to be surveyed, divided, mapped and dedicated as represented hereon; I also certify that this Certified Survey Map is required to be submitted to the Town of Ledgeview, City of DePere and the Brown County Planning Commission, for approval or objection in accordance with current Land Subdivision Ordinances.

Blaise M Bildings

STATE OF WISCONSIN)

BROWN COUNTY)SS

Personally came before me this ____ day of _____,
2011 the above named owners, to me known to be the persons who
executed the foregoing instrument and acknowledge the same.

Notary Public

Steven E. Zeitler

My commission expires 1/13/13

TOWN OF LEDGEVIEW APPROVAL:

Approved by the Town of Wrightstown, Brown County
Wisconsin, on the ____ day of _____, 2011.

Sarah Burdette Town Clerk

BROWN COUNTY PLAN COMMISSION APPROVAL:

Approved by the Brown County Planning Commission
this ____ day of _____, 2011

Peter Schleinz Senior Planner

CITY OF DE PERE APPROVAL:

Approved by the City of De Pere, Brown County, Wisconsin
on the ____ day of _____, 2011

Kenneth Pabich Planning & Economic Development Director

TREASURER'S CERTIFICATE

As duly elected Brown County Treasurer, we hereby certify that the records in our office show no unpaid taxes; no unredeemed tax sales and no unpaid special assessments affecting any of the lands included as of the date listed below.

for recording

Kerry M. Blaney Date
Brown County Treasurer