



Plan Commission

Regular Meeting

335 South Broadway
De Pere, WI 54115
<https://www.deperewi.gov/>

Agenda

Monday, August 22, 2022

7:00 PM

Council Chambers and Virtual

Pursuant to Wisconsin Statutes 19.84, Notice is hereby given to the public that a meeting of the **Plan Commission** of the City of De Pere will be held on **August 22, 2022 at 7:00 PM** in the **COUNCIL CHAMBERS, 2ND FLOOR CITY HALL, 335 S. BROADWAY STREET, DE PERE.**

The public may attend the meeting either in person in the Council Chambers or electronically/telephonically. Electronic or telephonic access to the meeting is provided below:

Computer/smart phone accessing <https://www.gotomeet.me/DePere>

OR

You can also dial in using your phone.

United States (Toll Free): [1 866 899 4679](tel:18668994679)

United States: [+1 \(312\) 757-3117](tel:+13127573117)

Access Code: 154-883-285

This meeting may also be rebroadcast on Spectrum Cable Channel 4 and AT&T U-verse Channel 99 throughout the week and available on demand at <http://deperewi.com/>.

Call to Order

1. Roll Call
2. Approval of the minutes of the July 25, 2022 Plan Commission meeting.
3. Public comments upon matters not on the agenda. Comments made during the public comment period shall pertain only to matters under the jurisdiction of the Plan Commission. §6-3(f) DPMC.
4. Consideration and possible action for a new 6-foot wide non-exclusive easement to be granted to AT&T for fiber fed service under the sidewalk located south from 313-321 Main AV (Part of city owned Parcel WD-917-2). *
5. Consideration and possible action on an amended Precise Implementation Plan for a proposed drive-in or convenience food establishment at 1610 Lawrence DR (Parcel WD-D0015-2-1). *
6. Discussion about the City's proposed DRAFT Zoning Map.

Adjournment

Any person wishing to attend this meeting, who, because of disability, requires special accommodations should contact the City Planner's office at 339-4043 by noon on the day of the meeting so that arrangements can be made.

*Items with an asterisk require City Council approval.

Agenda Sent To:

Alderspersons

City Administrator

Mayor

Department Heads
TV, Newspapers & Radio Stations
Kress Family Library
De Pere Chamber of Commerce
Matthew Grimm, AT&T
Alfred Teleron, MRV Architects INC
Land Gallery LLC



City of De Pere, Wisconsin

Request For Plan Commission Action

MEETING DATE: August 22, 2022

DEPARTMENT: Planning

FROM: Kelly Barker

SUBJECT: Approval of the minutes of the July 25, 2022 Plan Commission meeting.

ATTACHMENTS:

- PC_Jul2022_Minutes_Draft (PDF)



Plan Commission

Regular Meeting

335 South Broadway
De Pere, WI 54115
<https://www.deperewi.gov/>

Draft Minutes

Monday, July 25, 2022

7:00 PM

Council Chambers and Virtual

Call to Order

The meeting was called to order at 7:00 PM by Mayor James Boyd

Attendee Name	Title	Status	Arrived
James Boyd	Mayor	Present	
Brenda Busch	Commissioner	Present	
Dan Carpenter	Aldersperson	Present	
Mark Higgins	Commissioner	Present	
Dean Raasch	Aldersperson	Present	
Shane Raymaker	Commissioner	Present	
Grant Schilling	Commissioner	Present	

Also present: Development Services Director Daniel Lindstrom, City Planner Peter Schlein, and members of the public.

2. Approval of the minutes of the June 27, 2022 Plan Commission meeting.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Brenda Busch, Commissioner
SECONDER:	Dean Raasch, Aldersperson
AYES:	Boyd, Busch, Carpenter, Higgins, Raasch, Raymaker, Schilling

3. Public comments upon matters not on the agenda. Comments made during the public comment period shall pertain only to matters under the jurisdiction of the Plan Commission. §6-3(f) DPMC.

There were no public comments.

RESULT:	DISCUSSED
----------------	------------------

4. Consideration and possible action on an extraterritorial 4 lot certified survey map at 4609 Cottonwood LN in the Town of Ledgeview (Parcel D-2027). *

City Planner Peter Schlein reviewed the extraterritorial CSM at 4608 Cottonwood Lane in the Town of Ledgeview. He explained that this CSM was previously reviewed by the Plan Commission in 2019 but the approval expired. Therefore, another review is required. Mark Higgins moved, seconded by Grant Schilling, to approve the CSM and forward it to the Common Council. Upon vote, motion carried unanimously. Common Council is expected to review the CSM on August 2, 2022.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Mark Higgins, Commissioner
SECONDER:	Grant Schilling, Commissioner
AYES:	Boyd, Busch, Carpenter, Higgins, Raasch, Raymaker, Schilling

5. Consideration and possible action to change the following four street names within the recorded Mystic Creek subdivision plat: N Stellita CI changing to N Midnight Star CI; S Stellita CI changing to S Midnight Star CI; Beasle CT changing to Black Shadow CT; and Meyer WY changing to Diamond Breeze WY. *

City Planner Peter Schleinz reviewed the street name change request for four street names in the Mystic Creek subdivision. Four or five agencies reviewed the street name changes and one agency, the De Pere Engineering Department, listed five reasons for its objections. Staff does not make a recommendation on street name changes. Ald. Raasch asked the reason for the change. Mayor Boyd moved, seconded by Ald. Raasch, to open the meeting. Upon vote, motion carried unanimously. Steve Bieda, with Mau & Associates addressed the commission. He explained that the street name changes came about later in the process as new investors became part of the project. Mayor Boyd moved, seconded by Ald. Raasch, to close the meeting. Upon vote, motion carried unanimously. Ald. Carpenter stated that he is not in favor of the name changes so late in the process. Mark Higgins and Ald. Raasch both agreed with Ald. Carpenter. Ald. Raasch asked if this is unique to have a name change request. Development Services Director Daniel Lindstrom stated that it is not unique for a street name change to be requested. Ald. Raasch made a motion, seconded by Mark Higgins, to deny the street name change request. Upon vote, motion carried unanimously.

RESULT:	DEFEATED [UNANIMOUS]
MOVER:	Dean Raasch, Alderperson
SECONDER:	Mark Higgins, Commissioner
AYES:	Boyd, Busch, Carpenter, Higgins, Raasch, Raymaker, Schilling

6. Consideration and possible action on a precise implementation plan for a proposed drive-in or convenience food establishment at 1360 Scheuring RD (Parcel WD-D0021-4). *

City Planner Peter Schleinz reviewed the precise implementation plan for a proposed Starbucks restaurant at 1360 Scheuring Road. Additional landscaping has been added on the north and sound ends of the site. Staff recommended approval of the PIP with no conditions of approval remaining. Planning & Engineering staff were all satisfied with the results of the traffic impact study. Mayor Boyd moved, seconded by Ald. Raasch, to approve the PIP and forward it to the Common Council for final approval. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	James Boyd, Mayor
SECONDER:	Dean Raasch, Alderperson
AYES:	Boyd, Busch, Carpenter, Higgins, Raasch, Raymaker, Schilling

7. Consideration and Possible Action on Request of Alderperson Hansen to Amend Chapter 46, De Pere Municipal Code, Requiring Planting of Street Trees in new Residential Subdivisions.*

Ald. Hansen presented his memo to request an amendment to Chapter 46, De Pere Municipal Code, requiring planting of street trees in new residential subdivisions. Ald. Hansen noted that five different area municipalities currently require street trees. He highlighted the benefits of street trees and discussed the financial impact of street tree costs. Mayor Boyd moved, seconded by Ald. Raasch, to open the meeting. Upon vote, motion carried unanimously. Renee Gash, a De Pere resident and member of the De Pere Sustainability Commission spoke on the benefits of street trees. Mayor Boyd moved, seconded by Ald. Raasch to close the meeting. Upon vote, motion carried unanimously. Ald. Carpenter stated that planting more trees will cause more work and more cost to the City. Grant Schilling noted that it would add cost, but argued that it would improve the aesthetic of the City, which is important. Mayor Boyd stated that if you incentivize

people, they will purchase trees, which is better than requiring street trees. He added that City staff provides residents the opportunity to purchase trees twice a year. Ald. Raasch stated that he is pro-trees and that it is the homeowner's choice to plant trees, not the City's job to mandate them. He is not in agreement of requiring street trees. Mayor Boyd stated that he would be interested in hearing from a developer to get their opinion on street trees. Development Services Director Daniel Lindstrom stated that staff could prepare a survey regarding street trees, but cautioned that it would open up many more questions in our development process. Marty Kosobucki, the Parks & Recreation Director, spoke about his experience with street trees. He worked for the Town of Bellevue when they implemented their street tree program twenty years ago. He spoke about both the pros and cons of street trees. Ald. Carpenter moved, seconded by Mark Higgins, to refer the item back to staff. Upon vote, motion carried unanimously.

RESULT:	REFERRED BACK TO STAFF [UNANIMOUS]
MOVER:	Dan Carpenter, Alderperson
SECONDER:	Mark Higgins, Commissioner
AYES:	Boyd, Busch, Carpenter, Higgins, Raasch, Raymaker, Schilling

8. Consideration and possible action regarding a new 2-foot wide easement and occupancy permit in the alley between the 400 BLK of Main AV and Reid ST.*

Development Services Director Daniel Lindstrom reviewed the request for a new 2-foot wide easement in the alley between the 400 block of Main Avenue and Reid Street. There are several private light poles and light pole bases in the area of the alley that is to be reconstructed. Staff recommended approval of the new easement and occupancy permit request and forwarding it to the Common Council for final approval. Ald. Raasch moved, seconded by Mayor Boyd, to approve the easement. Upon vote, motion carried unanimously.

RESULT:	ADOPTED [UNANIMOUS]
MOVER:	Dean Raasch, Alderperson
SECONDER:	James Boyd, Mayor
AYES:	Boyd, Busch, Carpenter, Higgins, Raasch, Raymaker, Schilling

Adjournment

Mayor Boyd moved, seconded by Brenda Busch, to adjourn the meeting at 8:16 PM. Upon vote, motion carried unanimously.

Respectfully submitted,
Kelly Barker



City of De Pere, Wisconsin

Request For Plan Commission Action

MEETING DATE: August 22, 2022

DEPARTMENT: Planning

FROM: Kelly Barker

SUBJECT: Public comments upon matters not on the agenda. Comments made during the public comment period shall pertain only to matters under the jurisdiction of the Plan Commission. §6-3(f) DPMC.



City of De Pere, Wisconsin

Request For Plan Commission Action

MEETING DATE: August 22, 2022

DEPARTMENT: Planning

FROM: Peter Schlein

SUBJECT: Consideration and possible action for a new 6-foot wide non-exclusive easement to be granted to AT&T for fiber fed service under the sidewalk located south from 313-321 Main AV (Part of city owned Parcel WD-917-2). *

ATTACHMENTS:

- PC Report - 6' easement (DOCX)
- Application Form (PDF)
- Location Map (PDF)
- De Pere Easement - 17 Aug 2022 (PDF)
- Exhibit A - 27 Dec 2021 (PDF)

- ITEM 4:** Consideration and possible action for a new 6-foot wide non-exclusive easement to be granted to AT&T for fiber fed service under the sidewalk located south from 313-321 Main AV (Part of city owned Parcel WD-917-2). *

SITE MAP



REQUESTED ACTION:	New non-exclusive Easement Request. *	
	<i>A new 6-foot wide easement provides AT&T fiber fed service to 313 Main AV.</i>	
COMMON DESCRIPTION:	South from 313-312 Main Between the 400 BLK of Main AV and Reid ST.	
ZONING:	B-1 (Central Business District).	
SURROUNDING LAND USES:	Office, residential, and retail uses (B-1) in all directions.	
COMPREHENSIVE PLAN:	Commercial	
APPLICANT/OWNER:	<u>Applicant</u> Matthew Grimm, Manager Wisconsin Bell INC DBA AT&T 205 S Jefferson ST Green Bay, WI 54301	<u>Owner</u> City of De Pere 335 S Broadway ST De Pere, WI 54115

SITE HISTORY:	The area developed for downtown business use prior to the earliest 1938 air photographs.
STAFF REVIEW:	AT&T is requesting a new 6-foot wide non-exclusive easement from the City of De Pere. An easement will allow AT&T to provide fiber fed service to 313 Main AV. AT&T and city staff to established that any above ground additions within the easement would need to be City approved, additions could not block the sidewalk, and any relocation of facilities due to a city project would be paid for by AT&T, not the city.
STAFF RECOMMENDATION:	Staff recommends APPROVAL of the new non-exclusive easement request and forwarding the recommendation to the Council for its final approval at a future meeting. Any final easement and occupancy permit language will be subject to the final approval of the City Attorney's office.

	CITY OF DE PERE APPLICATION FOR RELEASE OF EASEMENTS & NEW EASEMENTS	Fee: \$ 368.00
		Receipt #: _____
		Date: _____

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Wisconsin Bell, Inc. DBA AT&T	Authorized Representative Mathew Grimm	Title Manager	
Mailing Address 205 S Jefferson St.	City Green Bay	State WI	ZIP Code 54301
Email Address mg3758@att.com	Phone Number (incl. area code) 262 565 7236	Fax Number (incl. area code)	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) City of De Pere	Contact Person Daniel Lindstrom	Title Director of Development Services	
Mailing Address 335 S Broadway	City De Pere	State WI	ZIP Code 54115
Email Address	Phone Number (incl. area code) 920 339 4043x3	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description 317 Main Ave.	Parcel No. WD-917-2
---	-------------------------------

SECTION 4: Easement Information

Existing Zoning:	Commercial
Present Use of Parcel:	
Proposed Use of Parcel:	Communications/utilities

Submit the following with application:

- 1-Scaled exhibit map identifying easement.
- 2-Legal description for easement.
- 3-Sample of document(s) the petitioner will use for recording purposes.
- 4-Summary/description of reason why easement needs to be release and or created.
- 5-Statement from all affected utilities indicating they agree with release and/or new easement.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) City of De Pere	Title	Phone Number
Signature of Applicant		Date Signed

TO BE COMPLETED BY CITY STAFF

Easement Release authorized by the De Pere Municipal Code, Chapter 46.	
--	--

Existing
ATT Fiber
Handhole

Place a
11"x17"x24"
Handhole

317 MAIN AV

313
MAIN AV

321
MAIN AV

KEY PROPERTY
MANAGEMENT LLC

LIFE CHURCH
GREEN BAY INC

313 MAIN IN
DE PERE LLC

DEPERE CITY OF

E SALES INC

PHE WI LLC

AT&T request a strip easement for the purposes of placing fiber optic cable and and access handhole. The fiber is needed to satisfy an AT&T fiber fed service ordered by the occupants of 313 Main Av.

The intent is place the fiber under the existing sidewalk via directional bore.

<

THIRD ST

AT&T - WISCONSIN NON-EXCLUSIVE EASEMENT

DOCUMENT NUMBER

UT_A027HVVH

For a valuable consideration of one dollar (\$1.00), receipt of which is hereby acknowledged, the undersigned, **CITY OF DE PERE** (Grantor) hereby grants and conveys to **Wisconsin Bell Inc., d/b/a. AT&T - Wisconsin, a Wisconsin Corporation**, and its affiliates and licensees, successors and assigns (collectively "Grantees") a non-exclusive easement in, under, over, upon and across the Easement Area (described below), for the purposes of and in order to construct, reconstruct, modify, supplement, maintain, operate and/or remove facilities for the transmission of signals used in the provision of communication, video and/or information services and/or any other services or uses for which such facilities may be used including, but not limited to, equipment cabinets or enclosures and support posts or pads, cables, wires, pedestals or other above-ground cable or wire enclosures, marker posts and signs, and other related or useful equipment, fixtures, appurtenances and facilities, together with the right to have commercial electrical service extended across the Easement Area to provide service to such facilities and the right of ingress and egress across the Property and the Easement Area for the purpose of access to and use of the easement granted herein.

RETURN ADDRESS:
Matthew D Grimm
435 S. 95TH ST..
Milwaukee, WI. 53214
PARCEL NUMBER: WD-917-2

The property is legally described as: PART OF LOTS 8 AND 9 OF "ORIGINAL PLAT OF WEST DE PERE", IN SECTION 21, TOWNSHIP 23 NORTH, RANGE 20 EAST, CIT OF DE PERE, BROWN COUNTY, WISCONSIN

The Non-Exclusive Easement Area is legally described as: see exhibit "A" for legal description.

The property is commonly known as: 0 MAIN AVE., DE PERE, WI.

The Grantor represents and warrants to the Grantee that Grantor is the true and lawful owner of the Property and has full right and power to grant and convey the rights conveyed herein.

Grantee hereby agrees to restore all property disturbed by its activities in use of the easement to the condition existing prior to the disturbance.

Grantee shall have the right to remove or trim such trees and brush in the Easement Area as is necessary to exercise the rights conveyed herein.

The Grantor shall not construct improvements in the Easement Area or change the finish grade of the Easement Area without the consent of the Grantee.

The Grantor agrees that, due to the exclusive nature of the grant herein conveyed, no other use of the Easement Area shall be made by anyone, including Grantor, without the consent of the Grantee.

This Easement is binding upon and shall inure to the benefit of the heirs, successors, assigns, and licensees of the parties hereto.

The City has approval authority over anything placed above ground and will not impeded use of the sidewalk.

Any relocation of utilities due to a city project will be paid for by AT&T, not the City.

SIGNED THIS _____ DAY OF _____, 2022.

GRANTOR: **CITY OF DE PERE**

(Signature)

(Signature)

(Printed)

(Printed)

(Title)

(Title)

ACKNOWLEDGMENT

State of Wisconsin)
)
County of Brown)

I, _____, being a notary public in and for the state and county aforesaid, do hereby certify that

personally known to me to be the same persons whose name is subscribed to the foregoing instrument, appeared before me this day in person and acknowledged that they signed and delivered the said instrument as their free and voluntary act for the uses and purposes therein set forth.

Given under my hand and notarial seal this ____ day of _____, 2022.

Notary Public

My Commission expires: _____

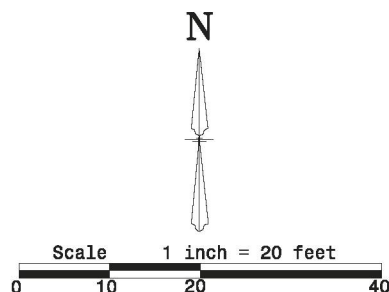
This document was drafted by Gerald A. Friederichs, Wis. Bar Member No. 1014144, AT&T - Wisconsin Legal Department, 14th, Floor, 722 North Broadway, Milwaukee, WI 53202

Insertions by: Matthew D Grimm ROW Manager for AT&T

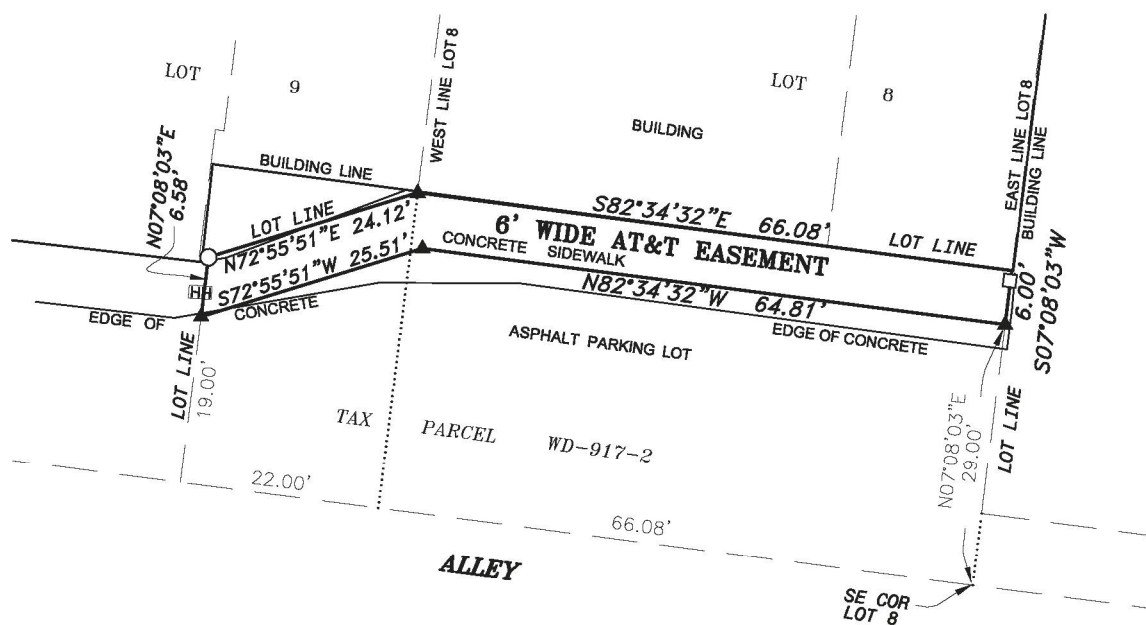
EXHIBIT "A" FOR AT&T EASEMENT

LEGAL DESCRIPTION OF AT&T NON-EXCLUSIVE EASEMENT:

PART OF LOTS 8 AND 9 OF "ORIGINAL PLAT OF WEST DE PERE", IN SECTION 21, TOWNSHIP 23 NORTH, RANGE 20 EAST, CITY OF DE PERE, BROWN COUNTY, WISCONSIN, DESCRIBED AS FOLLOWS:
 COMMENCING AT THE SOUTHEAST CORNER OF SAID LOT 8; THENCE NORTH 07 DEGREES 08 MINUTES 03 SECONDS EAST 29.00 FEET, ALONG THE EAST LINE OF SAID LOT 8, TO THE POINT OF BEGINNING; THENCE NORTH 82 DEGREES 34 MINUTES 32 SECONDS WEST 64.81 FEET; THENCE SOUTH 72 DEGREES 55 MINUTES 51 SECONDS WEST 25.51 FEET; THENCE NORTH 07 DEGREES 08 MINUTES 03 SECONDS EAST 6.58 FEET, ALONG THE WEST LINE OF THE EAST 22 FEET OF SAID LOT 9; THENCE NORTH 72 DEGREES 55 MINUTES 51 SECONDS EAST 24.12 FEET; THENCE SOUTH 82 DEGREES 34 MINUTES 32 SECONDS EAST 66.08 FEET, ALONG THE NORTH LINE OF THE SOUTH 35 FEET OF SAID LOT 8; THENCE SOUTH 07 DEGREES 08 MINUTES 03 SECONDS WEST 6.00 FEET, ALONG THE EAST LINE OF SAID LOT 8, TO THE POINT OF BEGINNING.



Andrew J. Shie
 12/27/2021



UT# A027HVH

FOX VALLEY LAND SURVEYING

4321 W. College Ave., Suite 200
 Appleton, WI 54914

920-474-5025

PROJECT NO. 232021-2

LEGEND

- 1/2" REBAR FOUND
- CHISELED "+" FOUND, 1' SOUTH OF TRUE
- ▲ PAINT MARK SET
- HH EXISTING HANDHOLE



City of De Pere, Wisconsin

Request For Plan Commission Action

MEETING DATE: August 22, 2022

DEPARTMENT: Planning

FROM: Peter Schleinz

SUBJECT: Consideration and possible action on an amended Precise Implementation Plan for a proposed drive-in or convenience food establishment at 1610 Lawrence DR (Parcel WD-D0015-2-1). *

ATTACHMENTS:

- PC Report - Amended PIP - Taco Bell (DOCX)
- PIP & Site Plan - PRELIMINARY - 02 Aug 2022 (PDF)

- ITEM 5:** Consideration and possible action on an amended Precise Implementation Plan for a proposed drive-in or convenience food establishment at 1610 Lawrence DR (Parcel WD-D0015-2-1). *

SITE MAP



REQUESTED ACTION: Amended Precise Implementation Plan (PIP) request.

Plan Commission reviewed a Precise Implementation Plan for the former bank on the site in February 2005.

COMMON DESCRIPTION: 1610 Lawrence DR, located along USH 41, north and west from the Lawrence DR and Scheuring RD intersection. The site does not have street frontage along Lawrence DR or Scheuring RD.

ZONING: HWY 41-A PDD (Highway 41 Business Corridor: District A with a Planned Development District overlay).

SURROUNDING LAND USES: Hotel (HWY 41-A PDD) to the northeast.
Convenience store/gas station/restaurant (HWY 41-A PDD) to the southeast.
Business Park to the south.
USH 41 and Town of Lawrence to the west.

COMPREHENSIVE PLAN: Commercial.

APPLICANT / OWNER: Authorized Representative
Alfred Teleron, Project Architect
MRV Architects INC
5105 Tollview DR, Suite 201
Rolling Meadows, IL 60008

Property Owner
Land Gallery LLC
4781 Hayes RD
Madison, WI 53704-7343

SITE HISTORY:

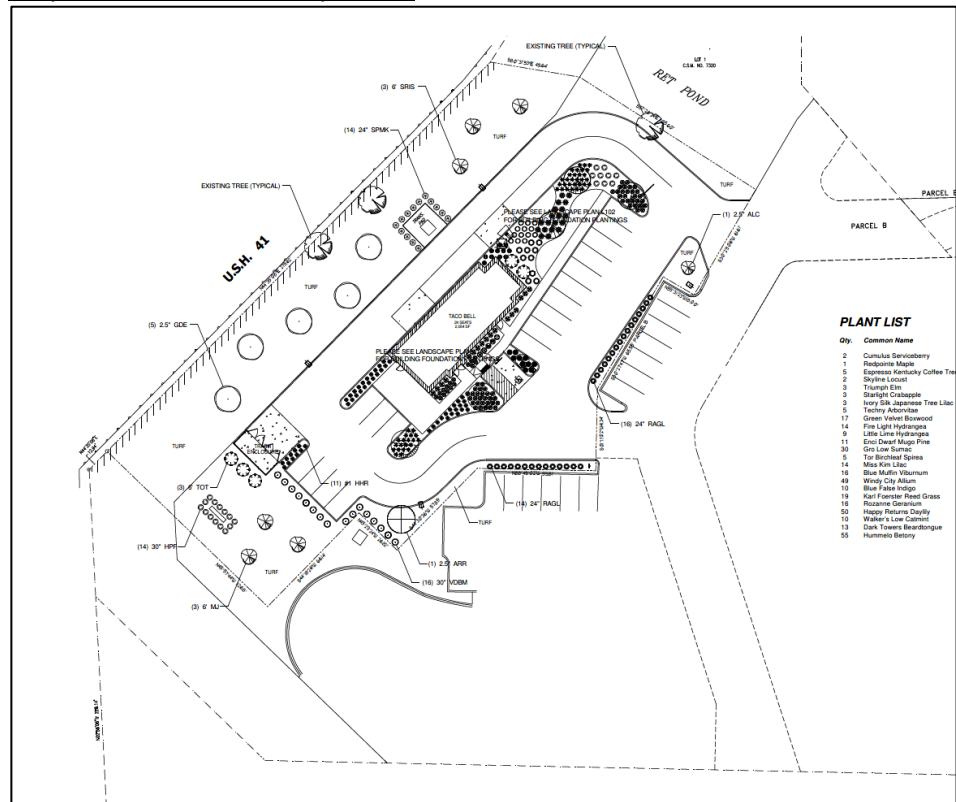
The agricultural site was developed as a commercial development in the 1980's. In 2002 the City approved the Walmart/Menards Planned Development District (PDD), which included the parcel. A PIP was approved for a drive-through bank (Anchor Bank) on the property in 2005 and later sold to Nicolet Bank. The PDD allowed a "drive-in or convenience food establishments" use.

**PROJECT SUMMARY
AND STAFF REVIEW:**

Planned Development District (PDD) projects require a multistep review process including rezoning, a General Development Plan (GDP), and a Precise Implementation Plan (PIP). This staff report covers the final Amended PIP step of the process.

The amended PIP proposes the removal of a formal bank and constructing a new drive-in or convenience food establishment (Taco Bell). The entry/exit drives remain the same. The proposed new building is smaller than the former bank. The parking lot and drive-through are reconfigured.

Proposed PIP Site Landscape Plan:



Project Summary

The applicant provided the attached information for the PIP review. The project scope includes constructing a new 2,054 SF Taco Bell restaurant with a one-lane drive-through window and a pass lane beside the drive-through lane. The site is designed to accommodate 6 employee and 12 patron vehicles with 18 stalls (12 are required). The drive-through stacking accommodates 9 vehicles (8 are required). Building elevations and renderings are included with the PIP.



Proposed Uses

The PIP document and plans should be relabeled as a “Precise Implementation Plan” and use the term *“drive-in or convenience food establishments”* to reference a permitted use in the PDD overlay district.

Proposed Yard Requirements

No proposed variations from the zoning district requirements.

Proposed Building façade materials

The primary building façade includes the following approvable materials with colors in parentheses: Hardie board siding and trim (gray, cyberspace, purple), painted architectural panel tower (weathered rustic), building cantilevers (black).

Proposed Parking

No proposed variations from the zoning district requirements.

Proposed access

The primary access is from two existing drives that connect the property to the existing Kwik Trip drive lanes. Both drives will be two-way. The only street frontage is along I-41, and there is visibility from Scheuring RD, but direct driveway access is prohibited.

Proposed Signage

The PIP identifies four wall signs and one monument sign. The petitioner agreed to reduce the number and type of permitted signs to an allowable level prior to the project being reviewed by Common Council. It is staff’s understanding that the pole sign may remain, but the wall signage may need to be reduced to one or possibly two, but not four.

Landscaping

The developer included a robust Landscape Plan. In particular, staff asked for trees to be added along the freeway to beautify the property; 8 trees are proposed to be added to the two existing trees on the west side of the building. There are additional trees and landscaping features on the other sides of the building.

Conclusion

The PIP complies with most of the City's development design standards including building design, landscaping, signage, parking/loading, and accommodation of pedestrian traffic (including bicycle traffic). The remaining concerns and conditions have been added as conditions of approval for the project, and the developer agreed to address all of the conditions before the PIP is forwarded to the Common Council for a final decision.

STAFF RECOMMENDATION: Staff recommends approval of the Precise Implementation Plan (PIP) for a proposed drive-in or convenience food establishment at 1610 Lawrence DR, subject to the conditions referenced below:

ENGINEERING:

1. Sheet CE-1 Comments.
 - a. Provide developer name and street address.
 - b. Provide site address.
 - c. In the plan index, the specifications and details are on sheet CE-6 and CE-7.
2. Sheet CE-3 Comments.
 - a. Sheet is incorrectly numbered as CE-2 on bottom right.
 - b. Drive through aisle and driving lane around the north and west side of the building need to be 24-feet wide total. Currently is laid out as 23-feet wide.
 - c. Additional review will need to be made regarding storm water management for this site. The northern flume discharges into a retention pond owned by Kwik Trip property. Regional treatment pond needs to be reviewed as well.
 - d. Parking lot striping should be called out as 4-inch thick.
 - e. This property is not abutting a City water main. Additional clarification on the water service to this property will be provided by Eric Zygarlicke, our water department supervisor. He can be reached at 920-339-4063. (See Water Department conditions).
 - f. Specify the water meter size. Larger meters may have a multi-month procurement period.
3. Sheet CE-4 Comments.
 - a. Sheet is incorrectly numbered as CE-3 on bottom right.
 - b. On the catch basins and inlets table, clarify if structure 5056 is supposed to be 5046 or something else.
 - c. Provide WisDNR Soil Loss Sediment Discharge calculations and corresponding map.
 - d. Identify where the tracking pad is specified for this site. If there is none or an alternative, identify so for approval.
4. Sheet CE-5 Comments
 - a. Sheet is incorrectly numbered as CE-4 on bottom right.
 - b. Identify if there is a storm lateral connecting to the building for roof

- drains or sump pump lines.
- c. On the catch basins and inlets table, identify if structure 5056 supposed to be 5046 or something else.
- 5. On Sheet CE-7, provide pavement sections.

FORESTRY:

- 1. The comments state that it is the option of the contractor to decide if they would turn the burlap down on the balled and burlapped stock. This should not be an option as the burlap should be removed from at least the top 1/3-1/2 in order to follow proper practices and WDNR recommendations.

HEALTH:

- 1. Provide detailed kitchen layout with equipment and finish schedule.

PLANNING:

- 1. Correct the incorrect zoning category that is listed in the narrative. The zoning is HWY 41-A District with a PDD Overlay.
- 2. The project is not a General Development Plan. Revise the entire document (narrative and plans) to reference that the project is an "Amended Precise Implementation Plan."
- 3. The site plan has four wall signs and only one wall sign is permitted per street frontage due to having only one street frontage on I-41. Remove excess signage and identify the size (length, width, square footage) within the site plan and describe each sign clearly within the PIP narrative. There may be potential options (not guaranteed) for a second wall sign, but the potential options require discussion with staff.
- 4. Suggestion related to design: Can the 'employee only' access door be moved to the opposite side of the building so it is not as easily visible to the public approaching the building?
- 5. Clarify that landscaping has been placed between the walkway and the building on the east side. Landscaping is visible in the Landscape Plan but it is not visible in the color renderings.
- 6. Confirmation the recorded access easement will grant access to a new owner. If not, the access easement must be amended to reflect legal access.

WATER:

- 1. The new facility at 1610 will be required to have its own direct water service connection to the City supply separate from Kwik Trip at 1620. A connection to the water main on Lawrence Drive would be the best option.
- 2. Legal documentation will be required showing the easement agreements with Kwik Trip and/or the Hotel allowing for the new water service to be installed through those properties.
- 3. The current connection downstream from Kwik Trip's water service will need to be abandoned once the new water service is installed.
- 4. Verify the water meter size. Meter orders are 6 to 12 months out.

MRV ARCHITECTS, INC.

5105 Tollview Dr., Suite 201, Rolling Meadows, IL 60008

Ph. (224) 318-2140 – Email: alfredt@mrvarch.com

June 21, 2022

City of De Pere
335 S. Broadway
De Pere, WI 54115

Project Narrative

The applicant, Neil Borkan, intends to relocate his existing Taco Bell quick-service restaurant at 1501 Main Ave. to build a new freestanding building with an accessory drive-thru at the address 1610 Lawrence Dr. The lot is currently zoned HWY41-DISTA, which means approval is required through an Amended General Development Plan / Precise Implementation process is required.

When designing a site geared towards the operation of a Taco Bell, it is important for us to meet certain criteria and standards. Operationally, that means providing enough of a drive-through stack to handle higher volumes of traffic. Per Article X-14-56(2)(z), at stack of at least 8 cars is required. At 9 cars, this is more than enough to service customers quickly and efficiently. Even during peak hours, customers may easily navigate throughout the site with the addition of a full bypass lane. As designed vehicular circulation will remain uninhibited at all times.

With regard to off-street parking, all requirements as described in Article X-14-55 are indicated as being met. 100% of the proposed standard parking spaces are designed at nine feet (9.0') wide and eighteen and one-half feet (18.5') long. Similarly, the one handicap space is designed at sixteen feet (16.0') wide and eighteen and one-half feet (18.5') long. Access aisles serving parking spaces are all shown to be at least twenty-four feet (24.0') as required. In addition, the amount of parking spaces comply with the requirements set forth in the Zoning Ordinance for Restaurant (fast food) uses. With a 482 SF dining room and a maximum of 6 employees working during a shift, 16 parking spaces are required. 18 parking spaces are proposed.

Special care has been given to site illumination. The way light poles and fixtures have been placed is in compliance with Article X-14-55(7)(e). Off-street parking areas are illuminated sufficiently and are located such that lighting on public streets is minimized so as to not create a nuisance.

Although the percentage of pervious surfaces is less than that of the site's current state, we are improving the overall beauty of the site with the introduction of a variety of new, native landscape elements.

We understand the sensitivity to create a building with an architecturally pleasing exterior appearance and comfortable, while functional, interior experience. The natural tones and exterior finish materials of the building complement its surroundings making it an appropriate fit for the neighborhood.

Regarding the business' hours of operation – the building is expected to run 7 days a week. The dining room will remain open from 8 A.M. daily and close at 11 P.M. daily. On weekdays, the

MRV ARCHITECTS, INC.

5105 Tollview Dr., Suite 201, Rolling Meadows, IL 60008

Ph. (224) 318-2140 – Email: alfredt@mrvarch.com

drive-thru shall remain operational until midnight. During the weekend, this would be extended to 2 A.M.

Overall, the relocation will prove beneficial to the community by providing a valuable service in an all-new freestanding building and well-functioning drive-thru. We look forward to presenting this project to you and hearing your feedback. Please feel free to contact me with any further questions regarding the request for review.

Sincerely,
Alfred Teleron
Project Architect
MRV Architects, Inc.

GENERAL DEVELOPMENT PLAN

ZONING INFORMATION	
ZONING:	HWY 41 BUSINESS DISTRICT A
SITE AREA:	43,550 S.F. / 0.999 ACRES
BUILDING AREA:	2,054 S.F.
DRIVE-THRU STACKING:	9 CARS
FLOOR AREA RATIO:	0.05
PARKING CALCULATION:	PROPOSED = 17 STANDARD STALLS + 1 ADA STALL STANDARD PARKING DIMENSIONS: 18'-6" x 9'-0"
IMPERVIOUS SURFACE AREA/PERCENTAGE OF SITE AREA:	PROPOSED: 19,339 SF (PERVIOUS) + 24,211 SF (IMPERVIOUS) = 43,550 SF (TOTAL) 55% IMPERVIOUS SURFACE.
SETBACKS:	NORTH: 101'-4" EAST: 56'-7" WEST: 66'-0 1/2" SOUTH: 133'-10"
SIGNAGE:	SIGNS PERMITTED FOR HWY 41 DISTRICTS: - POLE SIGN -- MAX # OF SIGNS = 1 SIGN -- MAX AREA = 150 SF -- LIGHTING ALLOWED = YES -- MAX HEIGHT = 35 FT -- MIN. CLEARANCE = 15 FT -- SETBACK = 0 FT PROPOSED: - ONE (1) 150 SF, 35 FT TALL, POLE SIGN -- SETBACK = 15 FT -- LIGHTING = YES - ONE (1) 3.98 SF, 5 FT TALL, DIRECTIONAL SIGN

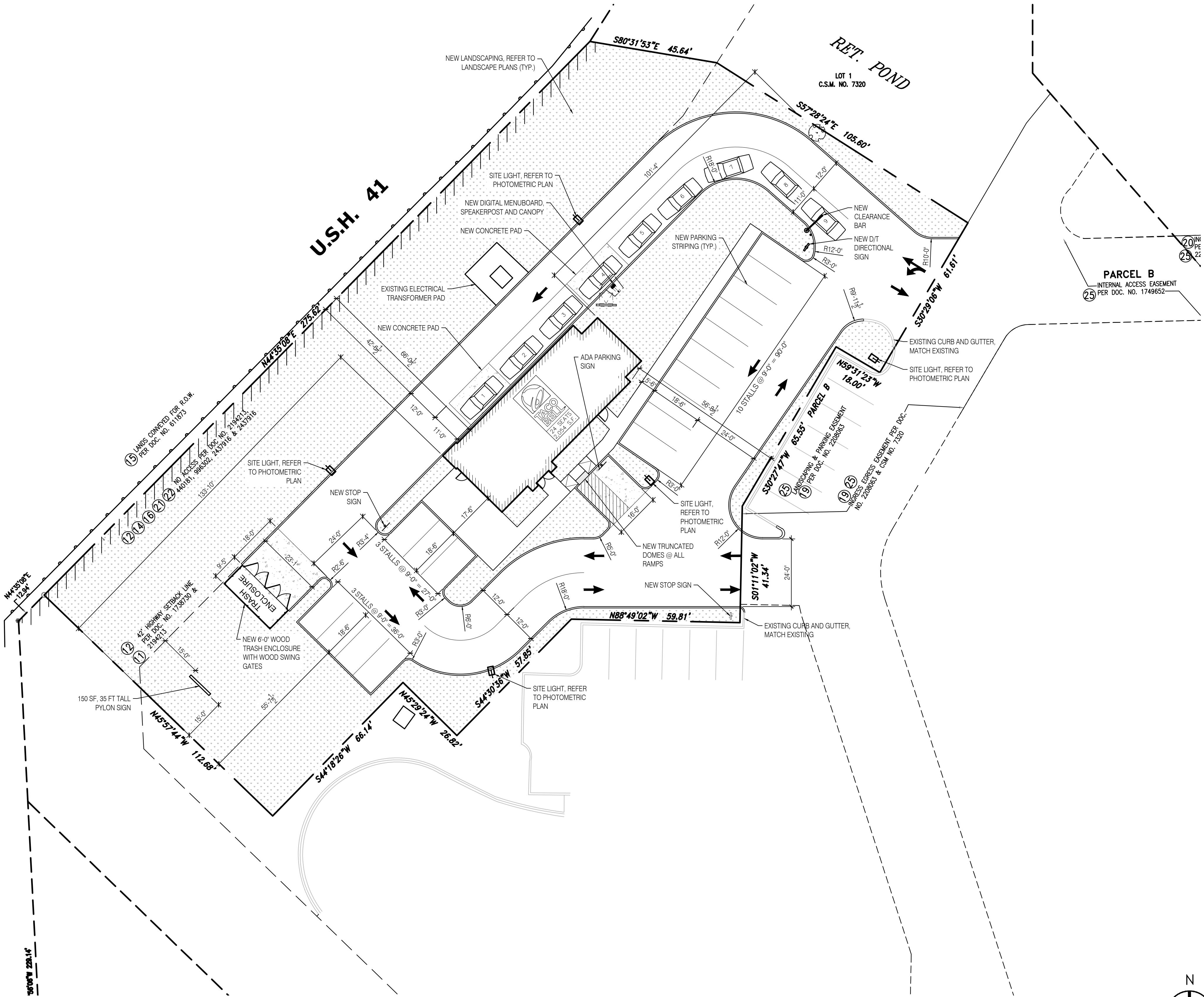
ZONING INFORMATION

B



LOCATION MAP

A



SITE PLAN

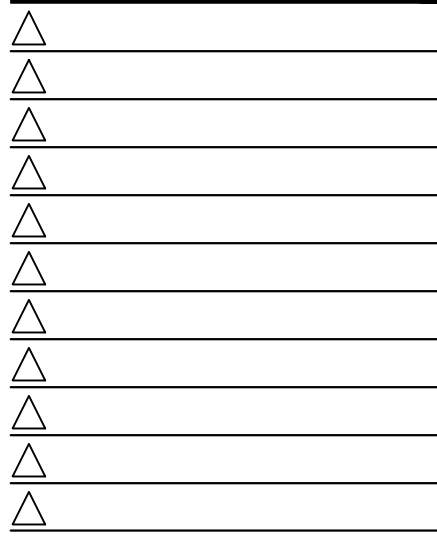
1" = 20'

1

MRV
ARCHITECTS, INC.

5105 TOLLVIEW DR., SUITE 201
ROLLING MEADOWS, IL 60008
TEL: 224-318-2140

MRV ARCHITECTS, INC. 2022
ALL DRAWINGS, SPECIFICATIONS, PLANS AND CONCEPTS ARE INSTRUMENTS OF SERVICE AND THEREFORE ARE PROPERTY OF MRV ARCHITECTS, INC. THEY MAY NOT BE REUSED, COPIED OR REPRODUCED WITHOUT PERMISSION AND EXPRESS WRITTEN CONSENT FROM MRV ARCHITECTS, INC.



CONTRACT DATE:
BUILDING TYPE: ENDEAVOR
PLAN VERSION: JUNE 2022
SITE NUMBER:
STORE NUMBER:

TACO BELL

1610 LAWRENCE DRIVE
DE PERE, WI 54115



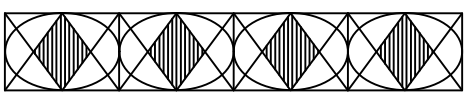
SITE PLAN

SP1.0

PLOT DATE:

MRV

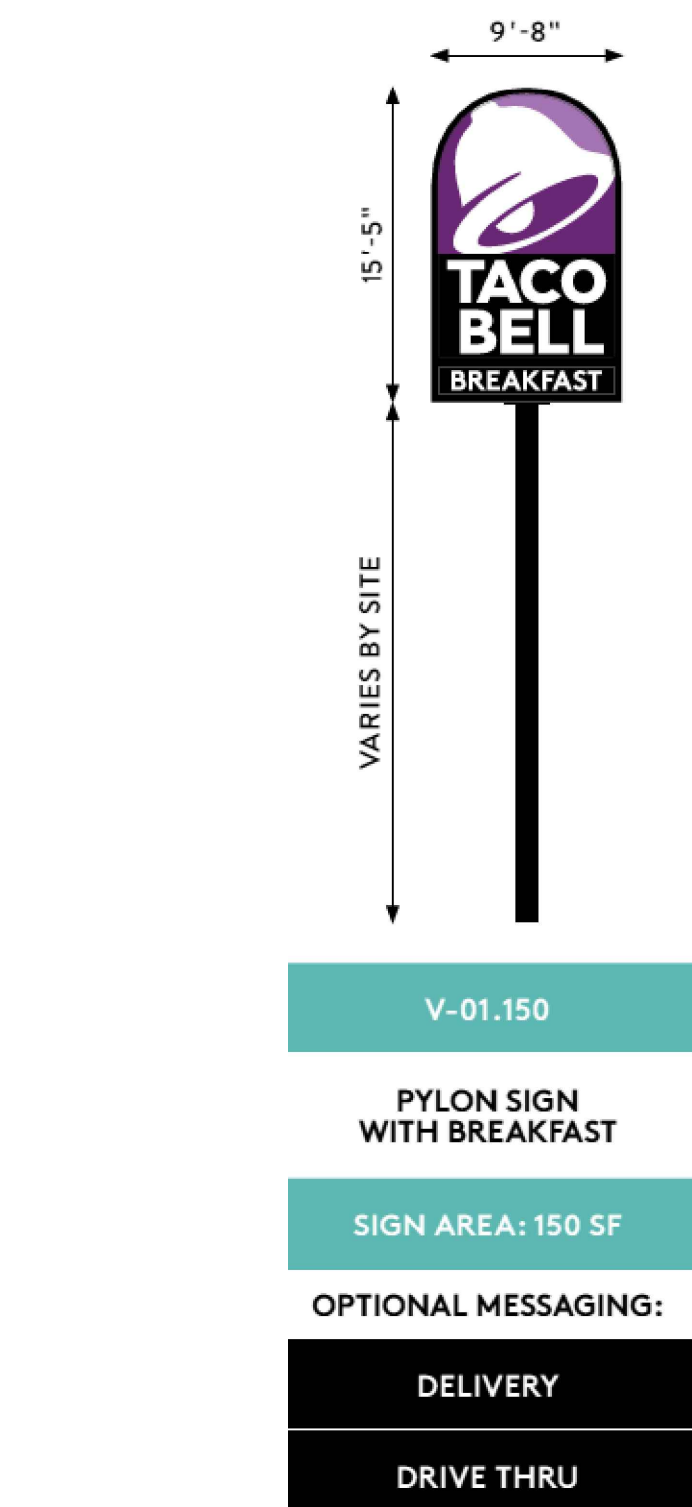
ARCHITECTS, INC.



5105 TOLLVIEW DR., SUITE 201
ROLLING MEADOWS, IL 60008
TEL: 224-318-2140

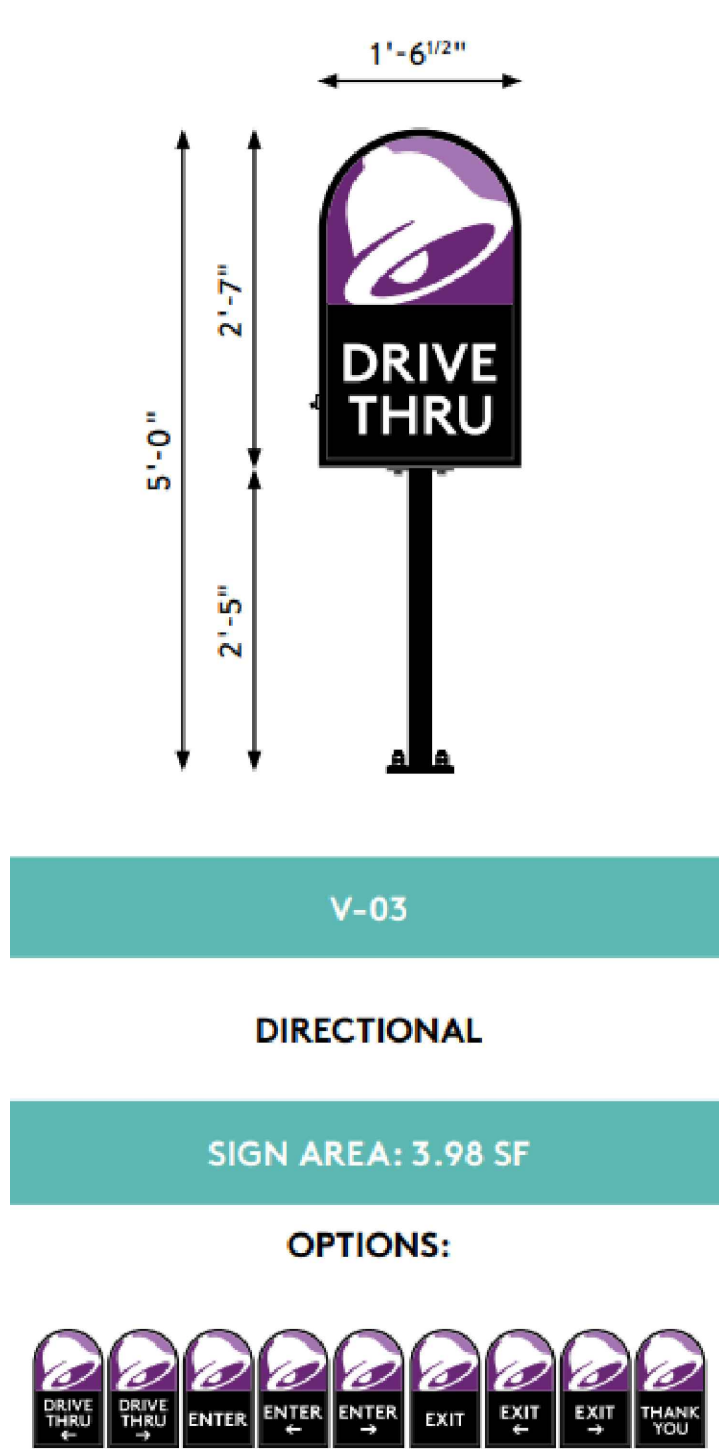
MRV ARCHITECTS, INC. 2022

ALL DRAWINGS, SPECIFICATIONS, PLANS AND CONCEPTS ARE INSTRUMENTS OF SERVICE AND THEREFORE ARE PROPERTY OF MRV ARCHITECTS, INC. THEY MAY NOT BE REUSED, COPIED OR REPRODUCED WITHOUT PERMISSION AND EXPRESS WRITTEN CONSENT FROM MRV ARCHITECTS, INC.



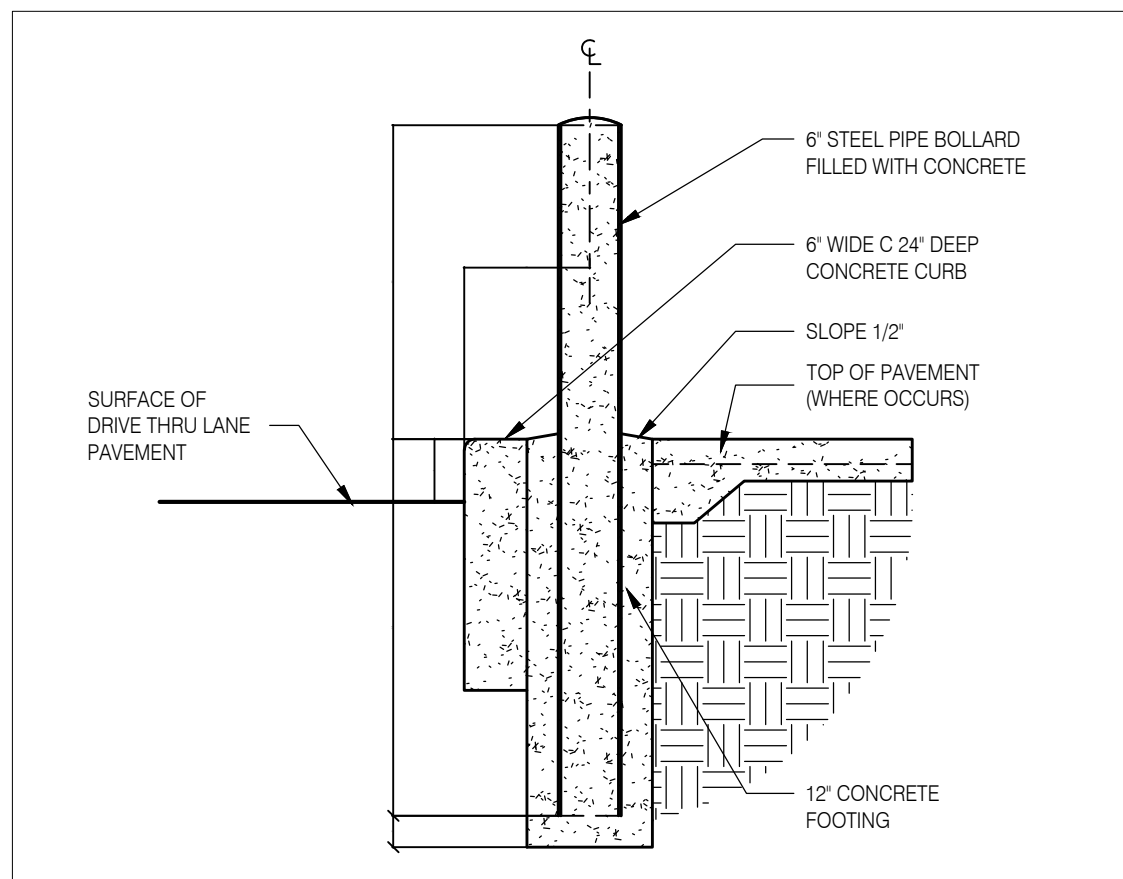
PYLON SIGN

5



DIRECTIONAL SIGN

4



BOLLARD AT DRIVE-THRU

N.T.S.

3

- SOW FOR DMB INSTALL AND VENDORS
- RSCS TO SUPPLY DMB AND CABLE
 - SIGN VENDOR TO SUPPLY ANCHOR BOLTS AND BOLT PATTERN TO GC.
 - SITE SURVEY - SIGN VENDOR
- NEW BUILD
- TRENCHING/ CONDUIT- GC
 - FORMING/ FOUNDATION/ ANCHOR BOLTS - GC
 - DMB INSTALL - SIGN VENDOR
 - DMB CABLE PULL - SIGN VENDOR
 - DMB FINAL CONNECTION AND SYSTEM CHECK - SIGN VENDOR
 - ELECTRICAL - PULL BY GC - DEDICATED CIRCUIT

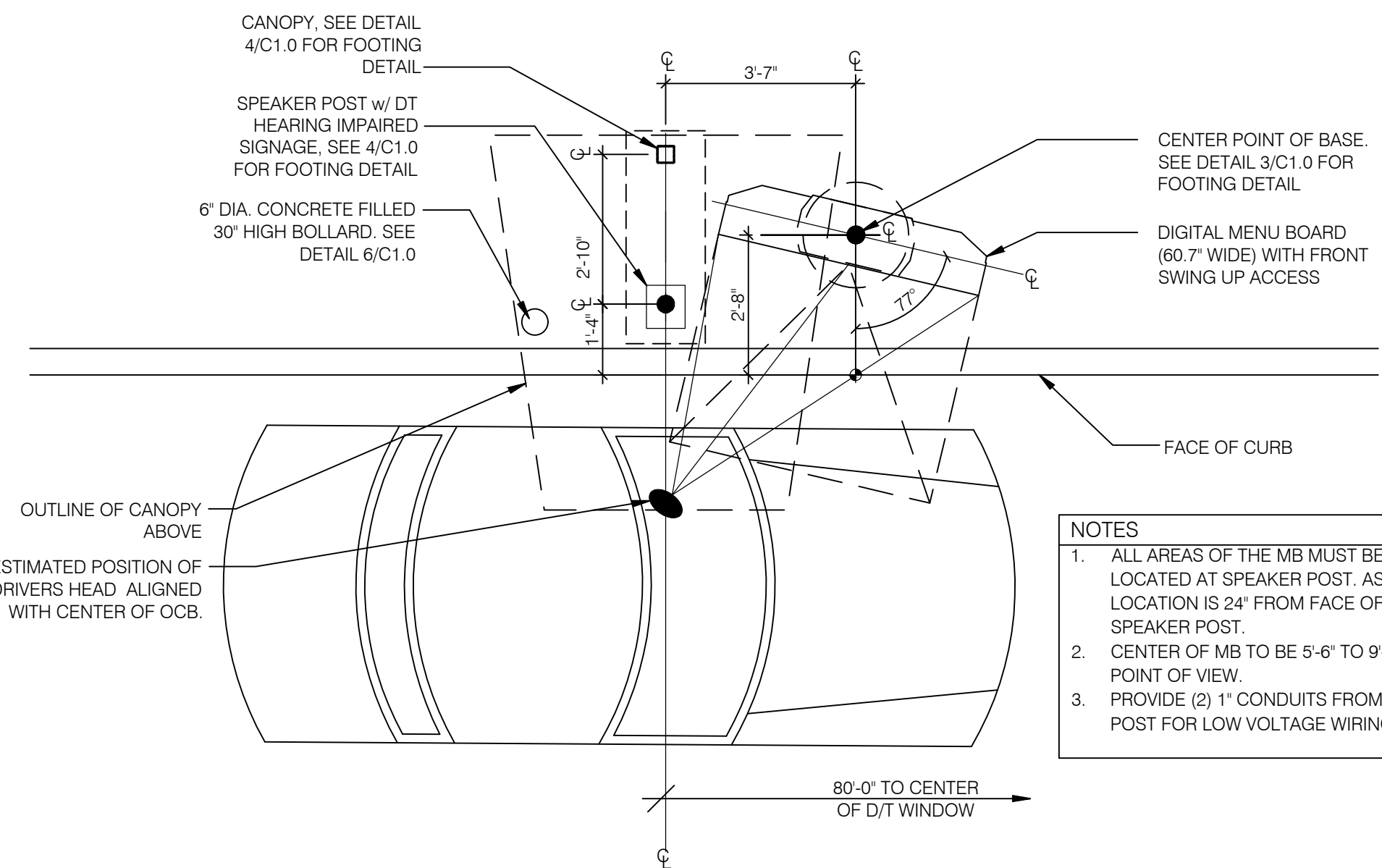
- REMODEL (SUCCESSOR MANDATORY - MIDTERM OPTIONAL FOR FZ)
- EXISTING FOOTING (SKIP TO STEP 4) - SIGN VENDOR
 - TRENCHING/ CONDUIT - SIGN VENDOR
 - FORMING/ FOUNDATION/ ANCHOR-BOLTS (SKIP TO STEP 5) - SIGN VENDOR
 - ANCHOR BOLTS - SIGN VENDOR
 - DIGITAL MD INSTALL - SIGN VENDOR
 - DMB CABLE PULL - SIGN VENDOR
 - DMB FINAL CONNECTION AND SYSTEM CHECK - SIGN VENDOR

- JUST DMB INSTALL
- PERMITTING - SIGN VENDOR
 - EXISTING FOOTING (SKIP TO STEP 4) - SIGN VENDOR
 - TRENCHING/ CONDUIT - SIGN VENDOR
 - FORMING/ FOUNDATION/ ANCHOR-BOLTS (SKIP TO STEP 5) - SIGN VENDOR
 - ANCHOR BOLTS - SIGN VENDOR
 - DIGITAL MD INSTALL - SIGN VENDOR
 - DMB CABLE PULL - SIGN VENDOR
 - DMB FINAL CONNECTION AND SYSTEM CHECK - SIGN VENDOR

	REMODEL	NEW BUILDING	RETROFIT
FOUNDATION IS FURTHER THAN 6'	RECOMMEND NEW FOUNDATION WORK FOUNDATION PERFORMED BY GC	N/A	RECOMMEND NEW FOUNDATION WORK PERFORMED BY GC
USING EXISTING FOUNDATION (ALTHOUGH NOT RECOMMENDED)	-	N/A	-
INTEGRATED CANOPY EXISTS	-	N/A	-
BOLLARDS NEEDED - DO NOT PLACE IN FRONT OF MENUBOARD	WORK PERFORMED BY SIGNAGE INSTALLER	WORK PERFORMED BY SIGNAGE INSTALLER	WORK PERFORMED BY SIGNAGE INSTALLER

MENU BOARD SOW

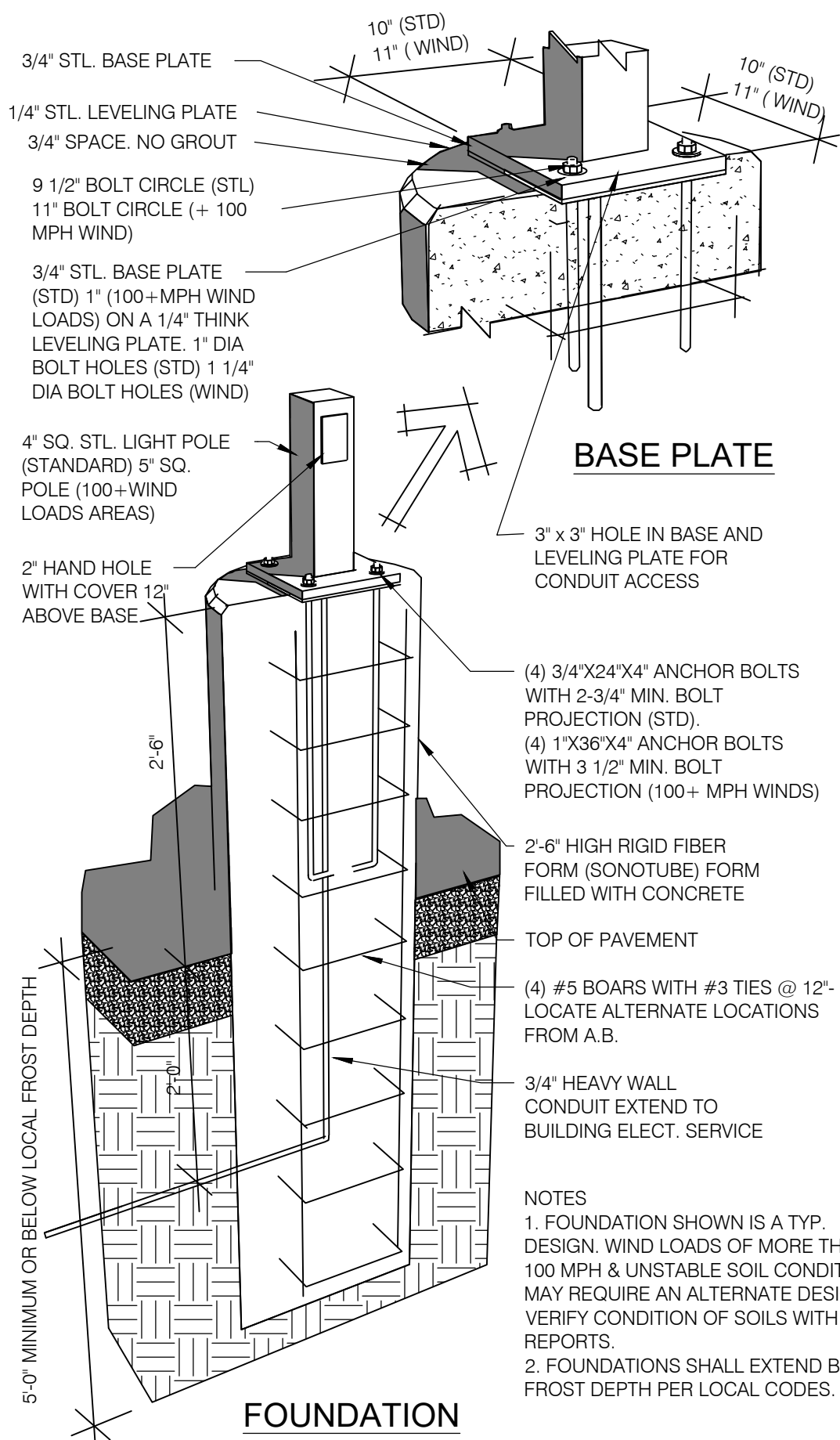
1



ENLARGED MENU BOARD DETAIL

3/8" = 1'-0"

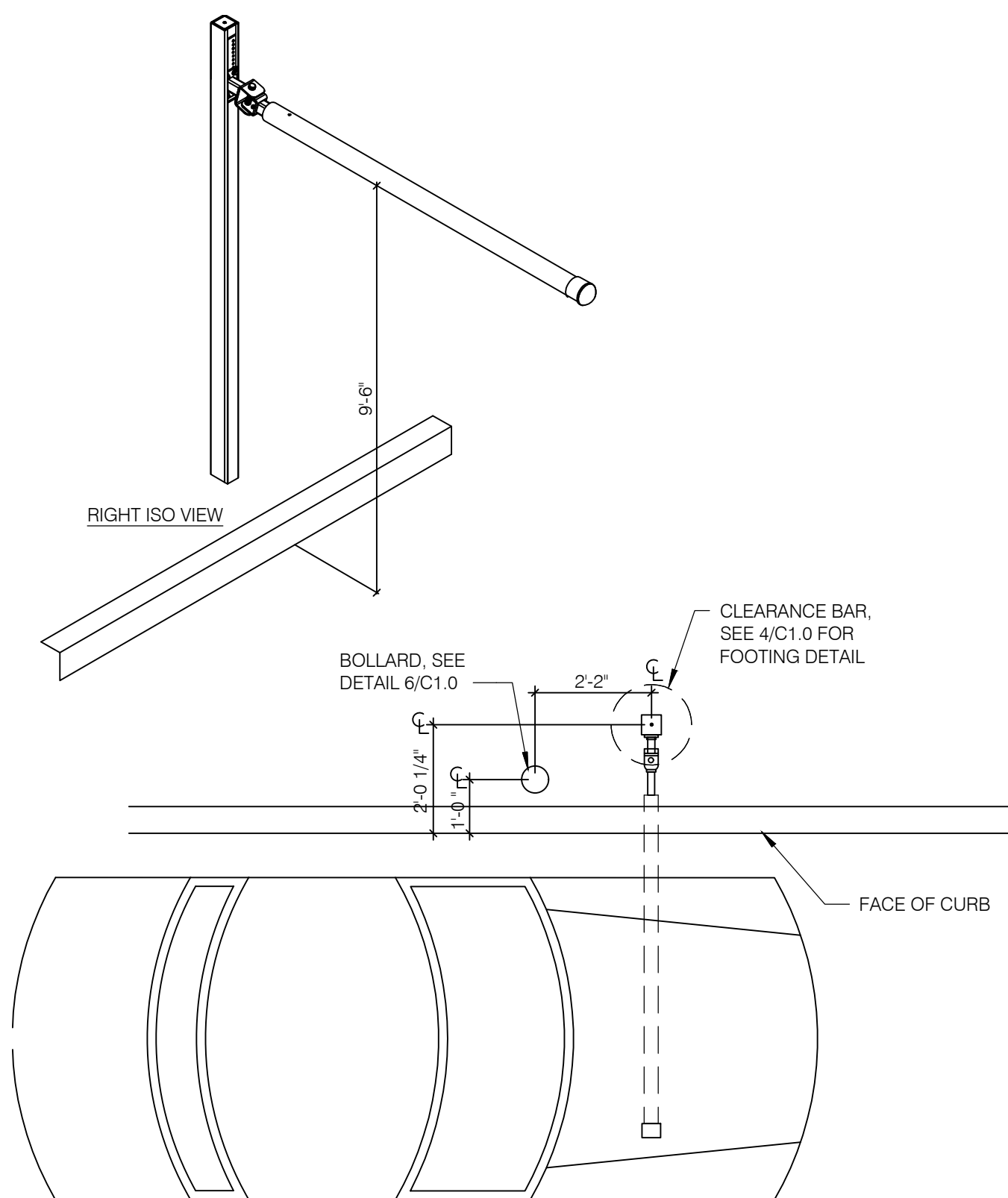
2



LIGHT POLE FOOTING

N.T.S.

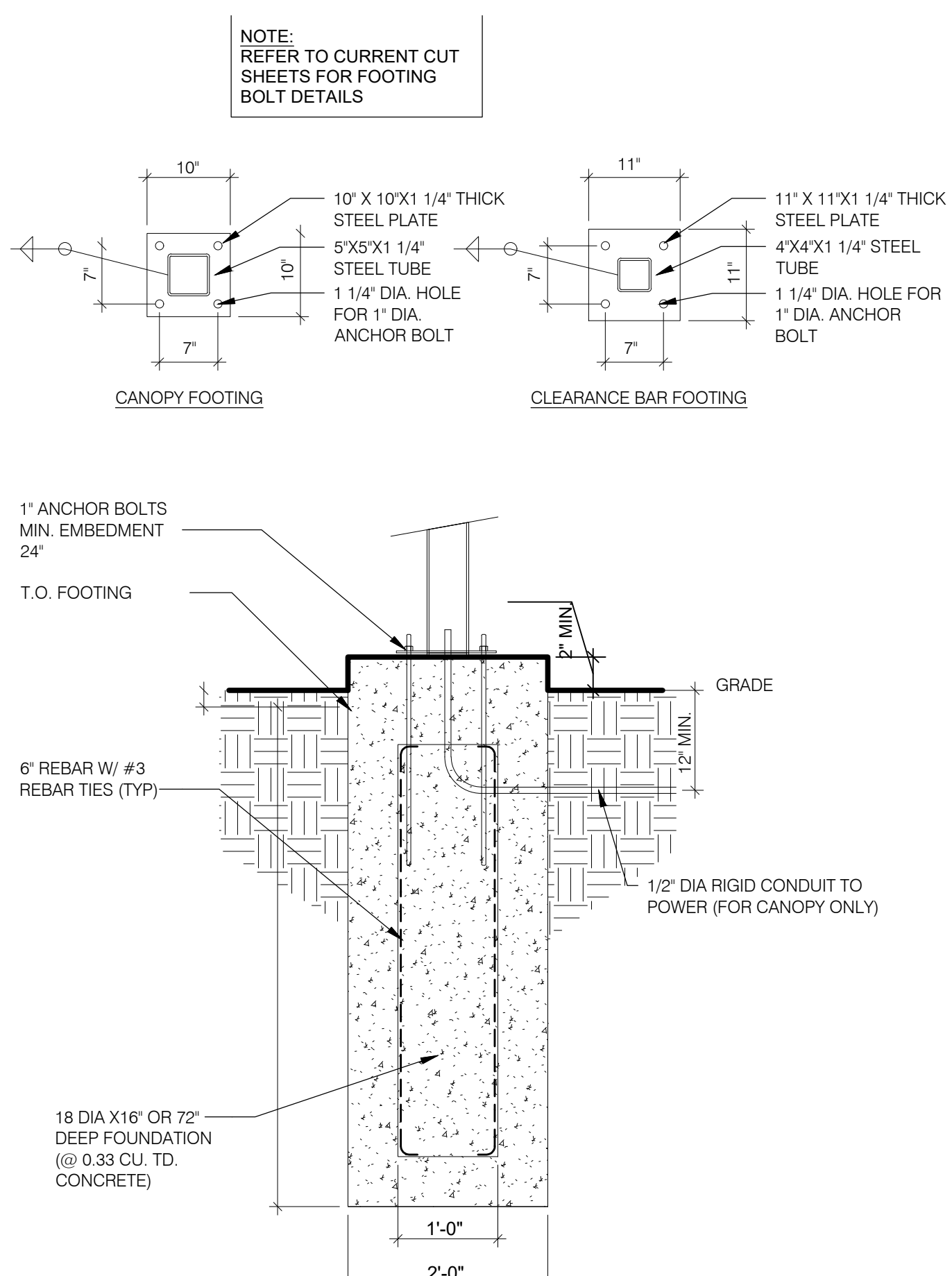
9



PORTAL PLACEMENT DETAIL

N.T.S.

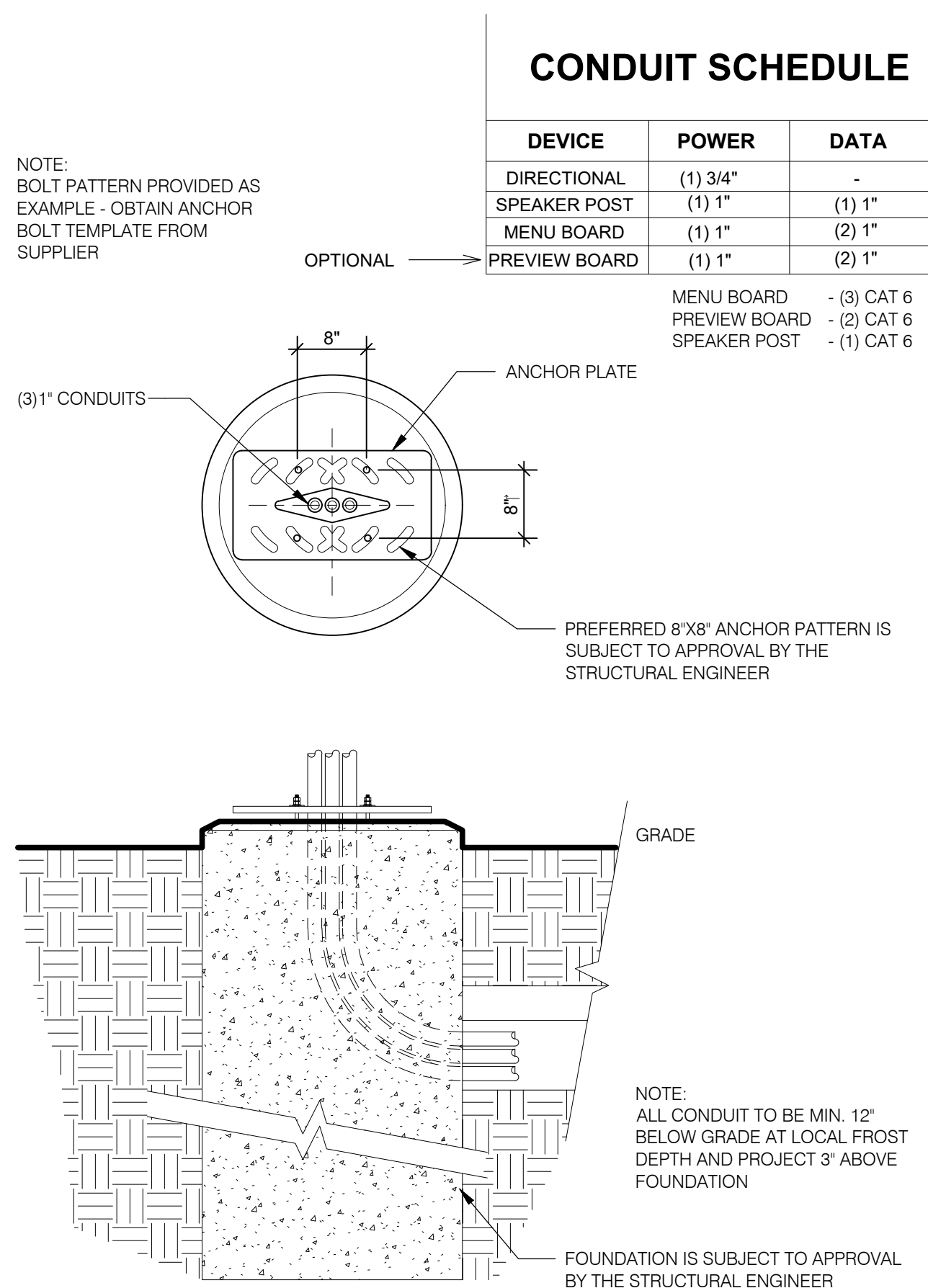
8



CLEARANCE BAR AND CANOPY FOOTING

N.T.S.

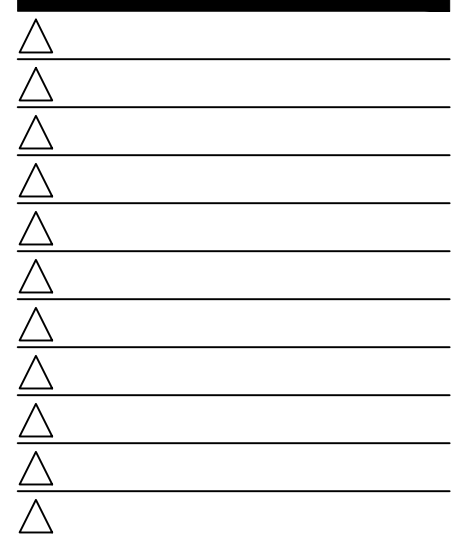
7



MENU FOUNDATION

N.T.S.

6



CONTRACT DATE:

BUILDING TYPE: ENDEAVOR

PLAN VERSION: JUNE 2022

SITE NUMBER:

STORE NUMBER:

TACO BELL

1610 LAWRENCE DRIVE
DE PERE, WI 54115



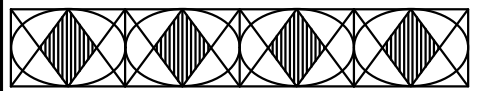
SITE DETAILS

SP1.1

PLOT DATE:

MRV

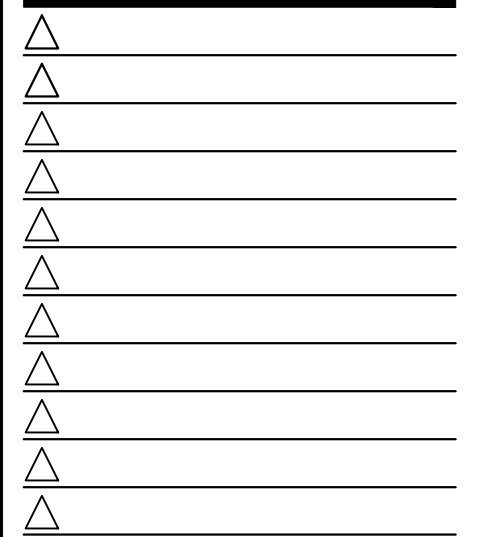
ARCHITECTS, INC.



5105 TOLLVIEW DR., SUITE 201
ROLLING MEADOWS, IL 60008
TEL: 224-318-2140

MRV ARCHITECTS, INC. 2022

ALL DRAWINGS, SPECIFICATIONS, PLANS AND CONCEPTS ARE INSTRUMENTS OF SERVICE AND THEREFORE ARE PROPERTY OF MRV ARCHITECTS, INC. THEY MAY NOT BE REUSED, COPIED OR REPRODUCED WITHOUT PERMISSION AND EXPRESS WRITTEN CONSENT FROM MRV ARCHITECTS, INC.



CONTRACT DATE:
BUILDING TYPE: ENDEAVOR
PLAN VERSION: JUNE 2022
SITE NUMBER:
STORE NUMBER:

TACO BELL

1610 LAWRENCE DRIVE
DE PERE, WI 54115



PHOTOMETRIC
PLAN

SP2.0

PLOT DATE:

TACO BELL
DE PERE, WI
PREPARED BY: JOHN BUJAKE
ACCUSERV LIGHTING & EQUIPMENT
877-707-7378
jbujake@accu-serv.com
JUNE 9, 2022

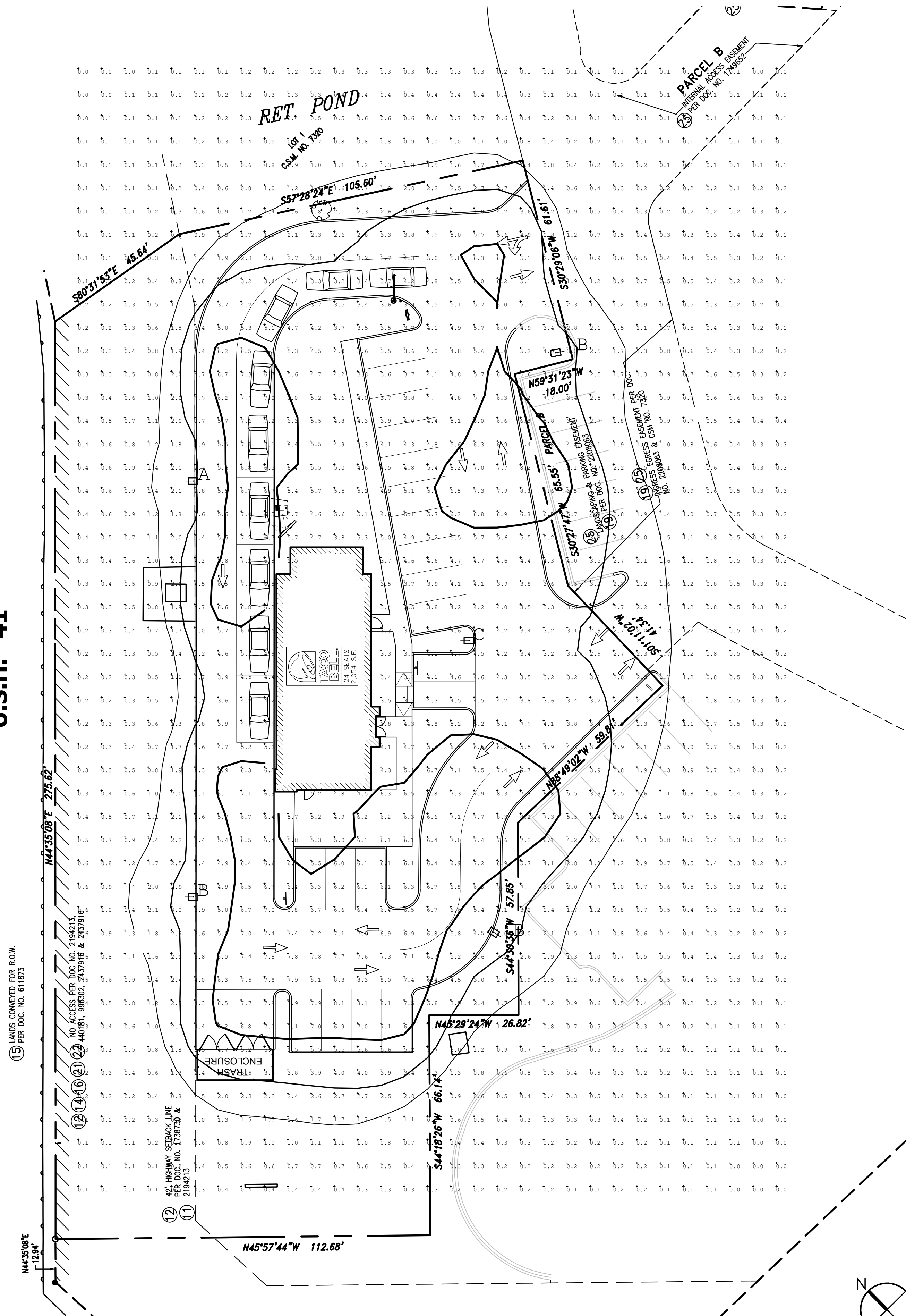
Calculation Summary					
Label	Avg	Max	Min	Avg/Min	Max/Min
EXTENDED	2.41	8.3	0.0	N.A.	N.A.
PARKING LOT & DRIVE-THRU SURFACE	5.49	8.3	2.3	2.39	3.61

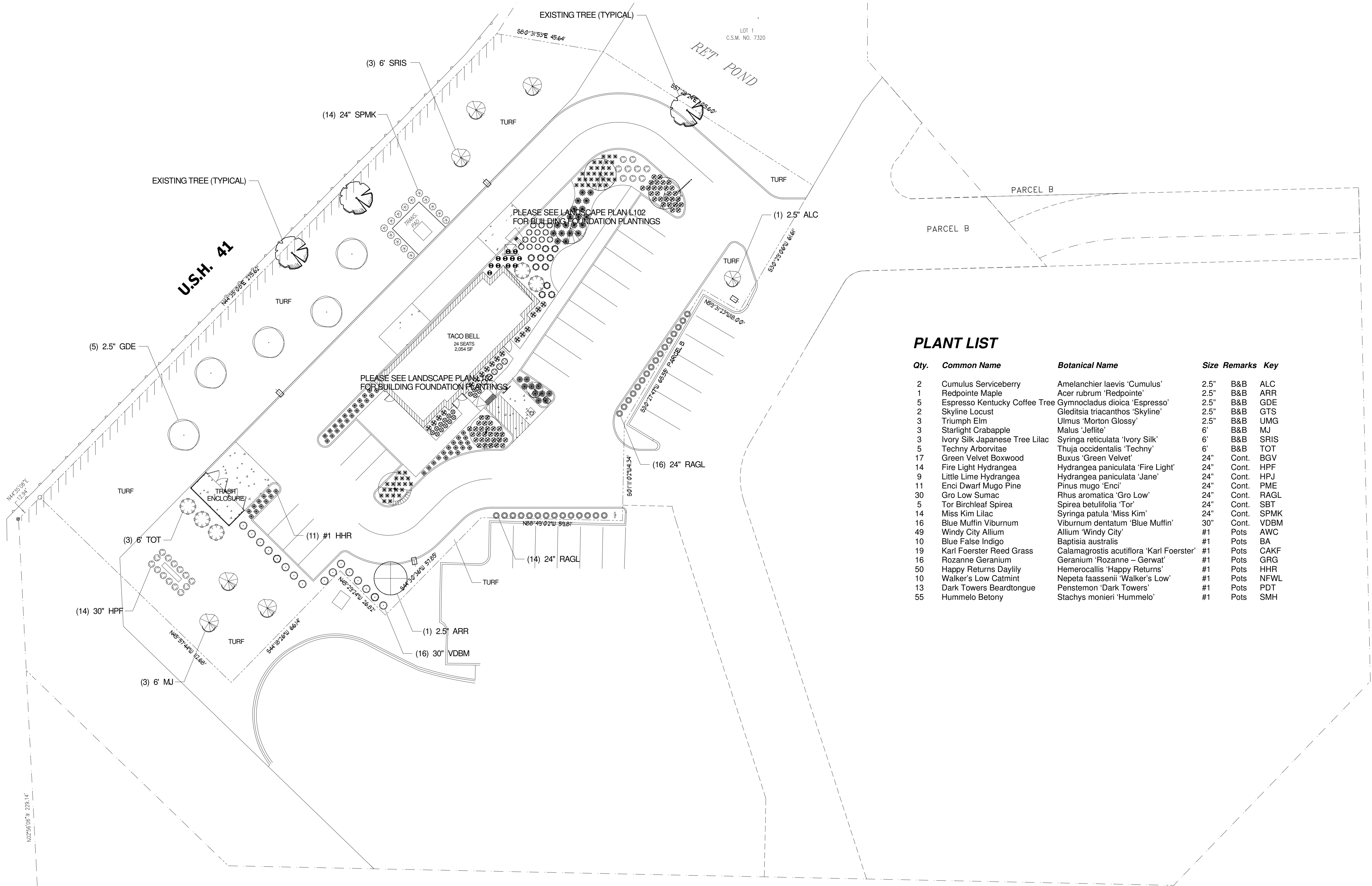
LIGHT LEVELS ARE MAINTAINED FOOT-CANDLES, INITIAL LEVELS ARE SLIGHTLY HIGHER

Luminaire Schedule						
Symbol	Qty	Label	Arrangement	Luminaire Lumens	LLF	Description
	1	A	SINGLE	45277	0.900	VP-2-320L-315-4K7-3-UNV-A-DBT / SES-25-40-01-F-B4-DBT
	3	B	SINGLE	44436	0.900	VP-2-320L-315-4K7-4W-UNV-A-DBT / SES-25-40-01-F-B4-DBT
	1	C	Single	45496	0.900	VP-2-320L-315-4K7-5QW-UNV-A-DBT / SES-25-40-01-F-B4-DBT

FIXTURES ARE 312W 4000K LED
POLES ARE 25'-0" WITH AN OVERALL FIXTURE HEIGHT OF 27'-6" A.F.G.

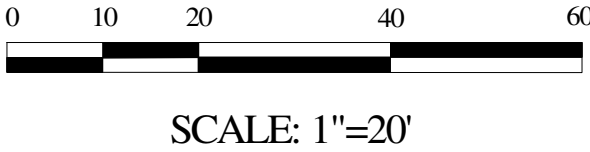
U.S.H. 41





PLANT LIST

Qty.	Common Name	Botanical Name	Size	Remarks	Key
2	Cumulus Serviceberry	Amelanchier laevis 'Cumulus'	2.5"	B&B	ALC
1	Redpointe Maple	Acer rubrum 'Redpointe'	2.5"	B&B	ARR
5	Espresso Kentucky Coffee Tree	Gymnocladus dioica 'Espresso'	2.5"	B&B	GDE
2	Skyline Locust	Gleditsia triacanthos 'Skyline'	2.5"	B&B	GTS
3	Triumph Elm	Ulmus 'Morton Glossy'	2.5"	B&B	UMG
3	Starlight Crabapple	Malus 'Jeffite'	6'	B&B	MJ
3	Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	6'	B&B	SRIS
5	Techny Arborvitae	Thuja occidentalis 'Techny'	6'	B&B	TOT
17	Green Velvet Boxwood	Buxus 'Green Velvet'	24"	Cont.	BGV
14	Fire Light Hydrangea	Hydrangea paniculata 'Fire Light'	24"	Cont.	HPF
9	Little Lime Hydrangea	Hydrangea paniculata 'Jane'	24"	Cont.	HPJ
11	Enci Dwarf Mugo Pine	Pinus mugo 'Enci'	24"	Cont.	PME
30	Gro Low Sumac	Rhus aromatica 'Gro Low'	24"	Cont.	RAGL
5	Tor Birchleaf Spirea	Spirea betulifolia 'Tor'	24"	Cont.	SBT
14	Miss Kim Lilac	Syringa patula 'Miss Kim'	24"	Cont.	SPMK
16	Blue Muffin Viburnum	Viburnum dentatum 'Blue Muffin'	30"	Cont.	VDBM
49	Windy City Allium	Allium 'Windy City'	#1	Pots	AWC
10	Blue False Indigo	Baptisia australis	#1	Pots	BA
19	Karl Foerster Reed Grass	Calamagrostis acutiflora 'Karl Foerster'	#1	Pots	CAKF
16	Rozanne Geranium	Geranium 'Rozanne - Gerwat'	#1	Pots	GRG
50	Happy Returns Daylily	Hemerocallis 'Happy Returns'	#1	Pots	HHR
10	Walker's Low Catmint	Nepeta faassenii 'Walker's Low'	#1	Pots	NFWL
13	Dark Towers Beardtongue	Penstemon 'Dark Towers'	#1	Pots	PDT
55	Hummelo Betony	Stachys monieri 'Hummelo'	#1	Pots	SMH



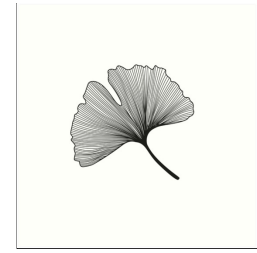
REVISIONS:

DOWDEN DESIGN GROUP
LANDSCAPE ARCHITECTURE, DESIGN & PLANNING
P.O. BOX 415, LIBERTYVILLE, IL 60048
DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

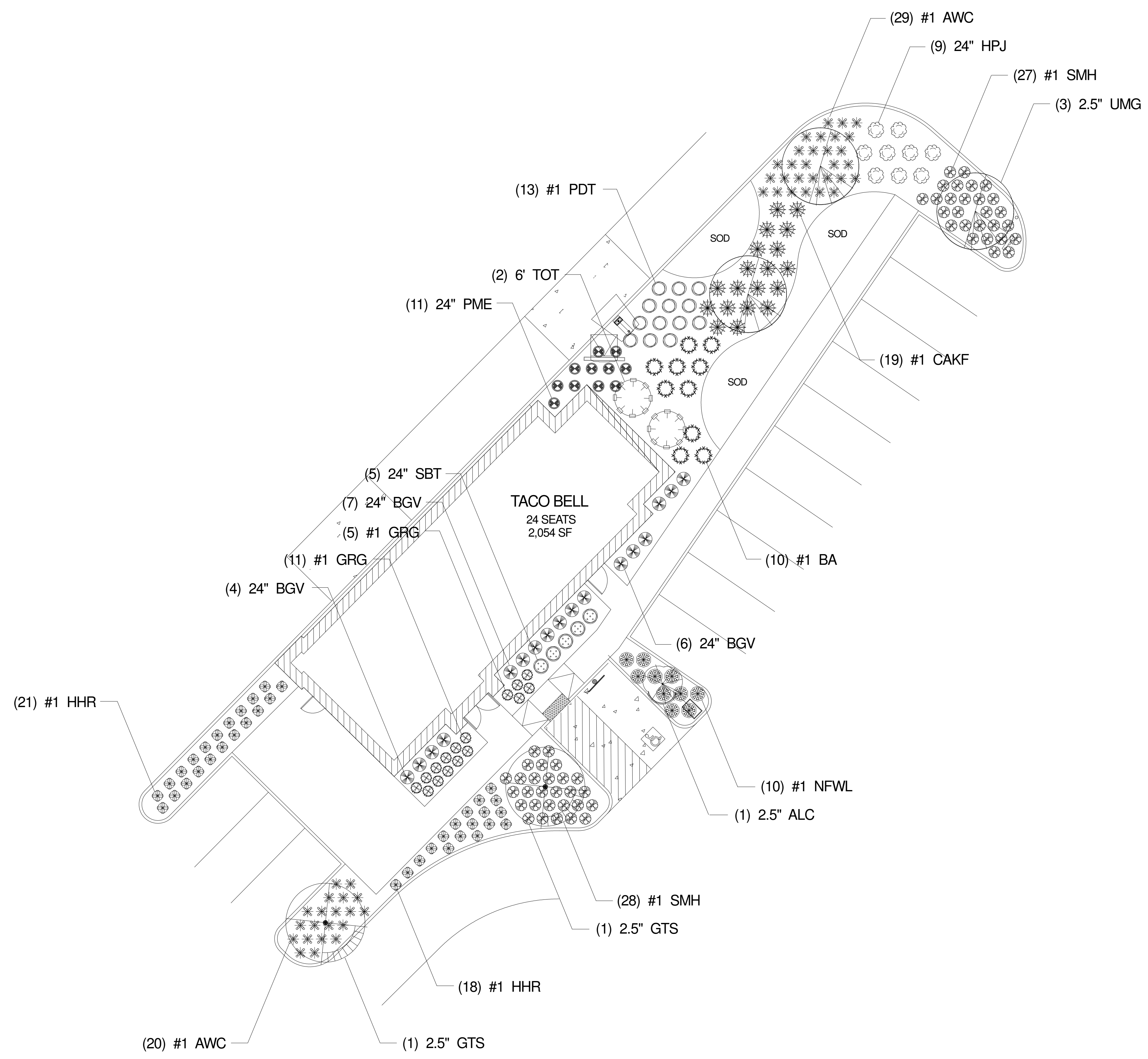
TACO BELL
1610 LAWRENCE DRIVE
DE PERE, WISCONSIN

LANDSCAPE PLAN

DATE: 07/05/22
SCALE: 1"=20'
DRAWN: CJD



L101



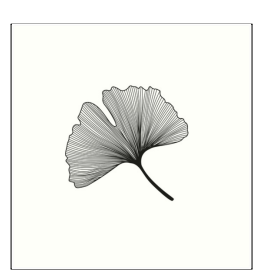
REVISIONS:

DOWDEN DESIGN GROUP
LANDSCAPE ARCHITECTURE, DESIGN & PLANNING
P.O. BOX 415, LIBERTYVILLE, IL, 60048
DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

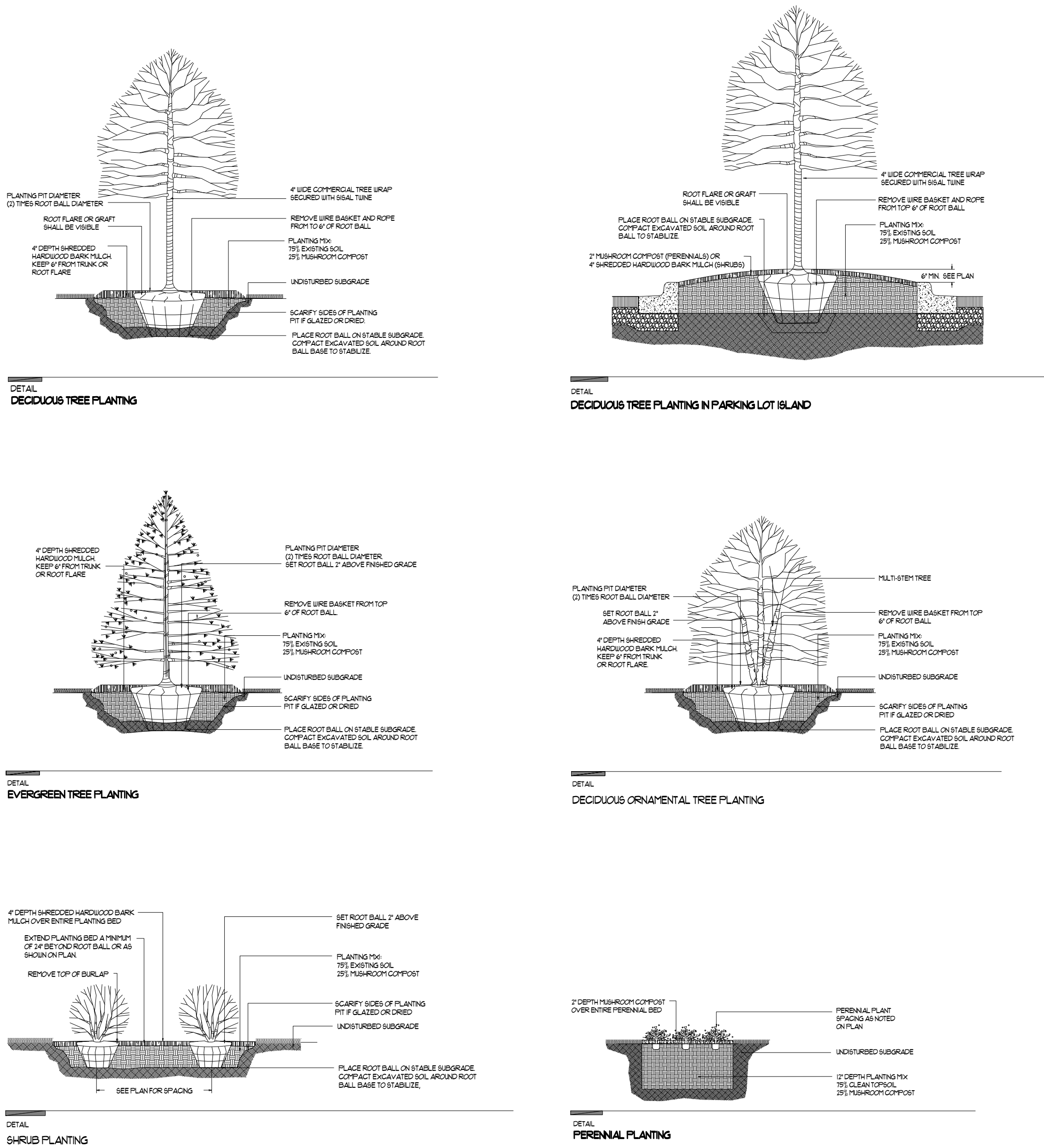
TACO BELL
1610 LAWRENCE DRIVE
DE PERE, WISCONSIN

LANDSCAPE PLAN

DATE: 07.05.22
SCALE: 1"=10'
DRAWN: CID



L102



MAINTENANCE SCHEDULE

Common Name	Botanical Name	MAINTENANCE
Cumulus Serviceberry	Amelanchier laevis 'Cumulus'	Schedule 1
Redpointe Maple	Acer rubrum 'Redpointe'	Schedule 2
Espresso Kentucky Coffee Tree	Gymnocladus dioica 'Espresso'	Schedule 2
Skyline Locust	Gleditsia triacanthos 'Skyline'	Schedule 2
Triumph Elm	Ulmus 'Morton Glossy'	Schedule 2
Starlight Crabapple	Malus 'Jeflita'	Schedule 1
Ivory Silk Japanese Tree Lilac	Syringa reticulata 'Ivory Silk'	Schedule 1
Techny Arborvitae	Thuja occidentalis 'Techny'	Schedule 2
Green Velvet Boxwood	Buxus 'Green Velvet'	Schedule 4
Fire Light Hydrangea	Hydrangea paniculata 'Fire Light'	Schedule 3
Little Lime Hydrangea	Hydrangea paniculata 'Jane'	Schedule 3
Enci Dwarf Mugo Pine	Pinus mugo 'Enci'	Schedule 4
Gro Low Sumac	Rhus aromatica 'Gro Low'	Schedule 3
Tor Birchleaf Spirea	Spirea betulifolia 'Tor'	Schedule 3
Miss Kim Lilac	Syringa patula 'Miss Kim'	Schedule 3
Blue Muffin Viburnum	Viburnum dentatum 'Blue Muffin'	Schedule 3
Windy City Allium	Allium 'Windy City'	Schedule 5
Blue False Indigo	Baptisia australis	Schedule 5
Karl Foerster Reed Grass	Calamagrostis acutiflora 'Karl Foerster'	Schedule 5
Rozanne Geranium	Geranium 'Rozanne – Gerwat'	Schedule 5
Happy Returns Daylily	Heemerocallis 'Happy Returns'	Schedule 5
Walker's Low Catmint	Nepeta faassenii 'Walker's Low'	Schedule 5
Dark Towers Beardtongue	Penstemon 'Dark Towers'	Schedule 5
Hummelo Betony	Stachys monieri 'Hummelo'	Schedule 5

- 1) Flowering ornamentals shall be pruned, shortly after flowering, to maintain the preferred shape and height.
- 2) Shade trees shall be pruned, as necessary, to maintain the preferred canopy density and height from grade. Upright evergreens will require almost no pruning but can be reviewed each spring for aesthetics, height and width.
- 3) Deciduous shrubs shall be allowed to fill in the area in which they were planted and pruned, shortly after flowering, so they do not overgrow the area.
- 4) Evergreen shrubs shall be pruned annually, or as required, to maintain an aesthetic size and shape. The Green Velvet Boxwood can be maintained as individual plants or pruned to form a hedge. Boxwood shall be pruned in spring before they flush. The Enci Dwarf Mugo Pine shall be pruned in spring and only the new growth shall be pruned.
- 5) Perennial flowers and ornamental grasses shall be pruned to 2"-3" above grade during fall or spring cleanups.

NOTES:

- 1) The Landscape Contractor shall provide and install all plant materials in the quantities and sizes sufficient to complete planting as shown on the Landscape Plans. All plants shall comply with the requirements of the current American Standard for Nursery Stock published by The American Nursery and Landscape Association. Plants shall meet size, genus, species and variety and be in good health, free of insects, diseases or defects. No "park grade" materials shall be accepted. Trees not exhibiting a central (or single) leader will be rejected unless noted in the plant list as multi-stem. Quantity lists are supplied for convenience. The Landscape Contractor shall verify all quantities and, in case of a discrepancy, the drawn plan shall prevail over the plant list. No plants are to be changed or substituted without approval of the Owner or a representative of James Dowden & Associates, Inc.
- 2) All plants shall be watered during the first 24-hour period following installation. A watering schedule must be agreed upon with the Owner (before plantings are installed) of whom, when and how plant materials are to be properly watered. The Landscape Contractor shall verify proper watering is being done for the establishment and health of all plant materials. The Landscape Contractor shall warranty all plant materials for one year from the time of installation and project acceptance.
- 3) Plants shall be balled and burlapped unless otherwise noted on the Landscape Plans. No root bound materials shall be accepted and all synthetic or plastic materials shall be removed at the time of planting. It is the option of the Landscape Contractor to roll back burlap from the top of the root ball.
- 4) Recommended mulch depth is four inches (4") of shredded hardwood bark. The Landscape Contractor shall avoid over-mulching and the creation of "mulch volcanoes." Mulch Beds shall extend a minimum of two feet (2') beyond the center of a tree or shrub. Mulch must be pulled back at least two inches (2") from the base of a tree so the base of the trunk and root crown are exposed.
- 5) Prepare all perennial beds with one cubic yard of garden compost per 100 sf and the compost shall be rototilled to an 8" depth.
- 6) All plants shall be set plumb. It is the option of the landscape contractor to stake deciduous trees but it is also the responsibility of the Landscape Contractor to guarantee the plants remain plumb until the end of the guarantee period.
- 7) Trees shall be installed a minimum of five feet (5') horizontally from underground electrical feeders, sanitary sewers, sanitary services, water mains, and water services. Trees shall be installed a minimum of ten feet (10') horizontally from utility structures including, but not limited to, manholes, valve vaults and valve boxes. Shade trees shall be a minimum of ten feet (10') from all light poles and all shrubs shall be a minimum of three to five feet (3'-5') from all fire hydrants.
- 8) The Landscape Contractor shall locate the existence of all underground utilities prior to starting work. The Landscape Contractor must also keep the pavement and work areas in neat and orderly condition throughout the construction process. The Landscape Contractor shall acquaint himself with, And verify, Working conditions in advance of submitting a proposal. Failure to recognize inherent responsibilities does not relieve the contractor of obligations due to miscalculations.
- 9) Property owners shall be responsible for maintaining all landscaping shown on the approved plans throughout the life of the development.
- 10) Turf shall be Premium Bluegrass Mix seed in all disturbed areas.
- 11) Once a Landscape Plan has been approved and a Building Permit issued, the Planning and Zoning Administrator may authorize minor revisions to the approved Landscape Plan including the substitution of equivalent planting and ground covers where such revisions do not diminish the benefits of the approved Landscape Plan. As such, revisions shall require the written approval of the Planning and Zoning Administrator.
- 12) Trees and shrubs shall not be located closer than ten (10) feet to fire hydrants, transformers, or other above ground utilities.
- 13) Bare root plants shall not be allowed.
- 14) All planted areas and landscaped islands shall receive a four (4) inch layer of shredded hardwood bark mulch.

PREMIUM BLUEGRASS SEED MIX (4-5 LBS/1000 S.F.)

MIX %	SEED	GERMINATION	ORIGIN
22.82%	AWARD KENTUCKY BLUEGRASS	85%	OR
22.22%	NUGLADE KENTUCKY BLUEGRASS	85%	OR/WA
17.79%	JACKPOT KENTUCKY BLUEGRASS	85%	OR/WA
16.11%	EVEREST KENTUCKY BLUEGRASS	85%	OR
9.98%	FIESTA 4 PERENNIAL RYEGRASS	90%	MN
9.97%	HANCOCK PERENNIAL RYEGRASS	90%	MN
1.11%	INERT MATTER		

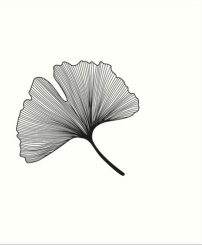
REVISIONS:

DOWDEN DESIGN GROUP
LANDSCAPE ARCHITECTURE, DESIGN & PLANNING
P.O. BOX 415, LIBERTYVILLE, IL, 60048
DOWDENDESIGNGROUP.COM PHONE: (847) 362-1254

TACO BELL
1610 LAWRENCE DRIVE
DE PERE, WISCONSIN

PLANTING DETAILS
AND NOTES

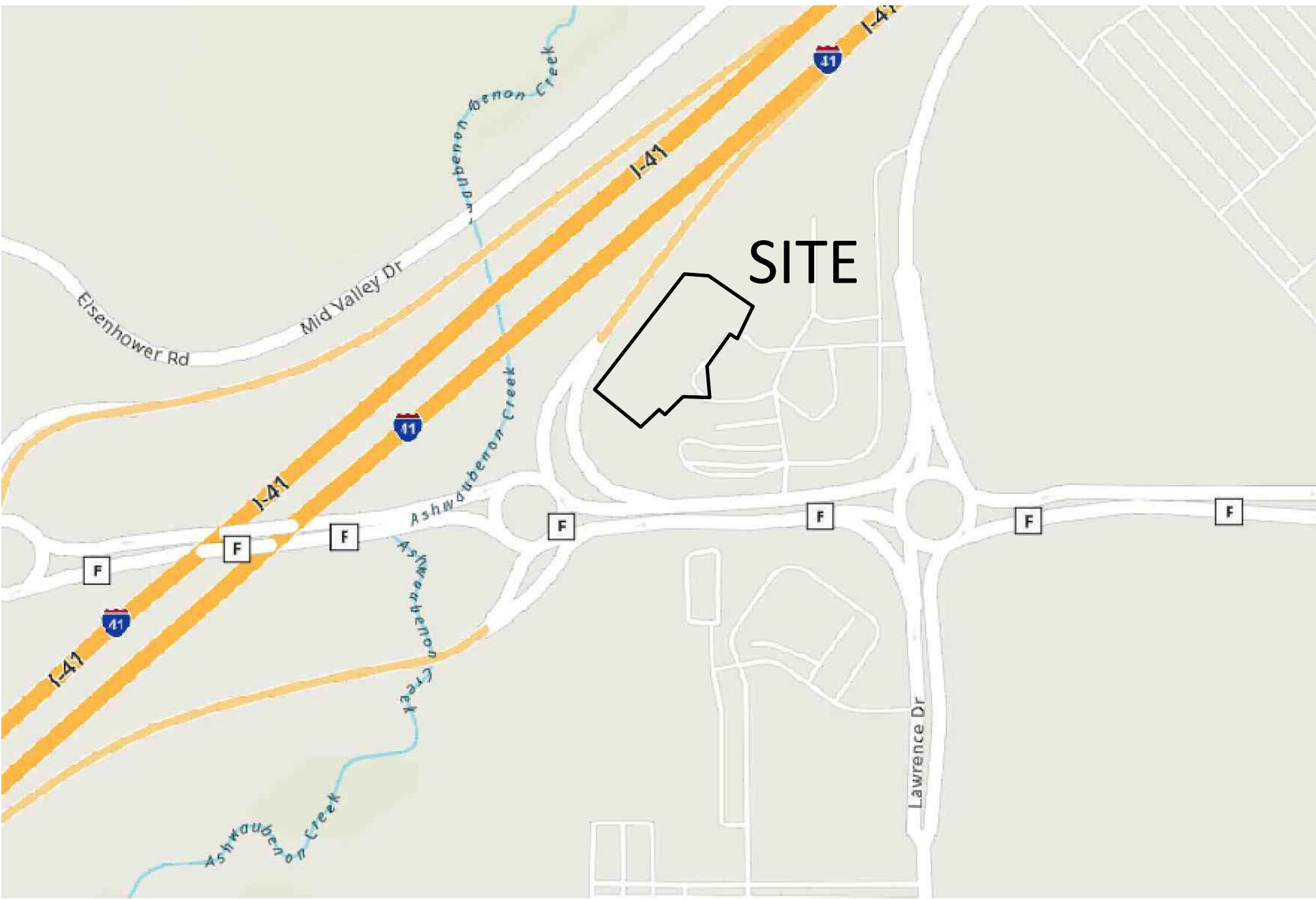
DATE: 07.05.22
SCALE: NONE
DRAWN: CID



L103

SITE CONSTRUCTION PLANS FOR TACO BELL CITY OF DE PERE, WISCONSIN

VICINITY MAP



DEVELOPER:

Albor Restaurant Group

Name
Street Address
City, State Zip

ARCHITECT:

MRV Architects, Inc.

Alfred Teleron
5105 Tollview Dr., Suite 201
Rolling Meadows, IL 60008
(224) 318-2140 office

ENGINEER:

Site Engineering Services

Martin D. Worden, PE
2920 Oakwood Road
Hartland, WI 53029
(262) 367-4960 office
marty.worden@att.net email



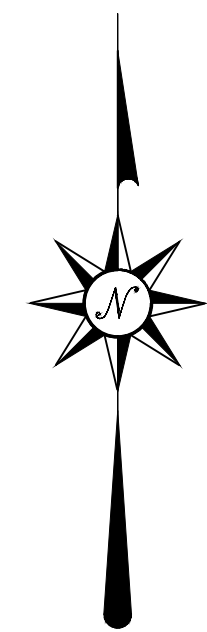
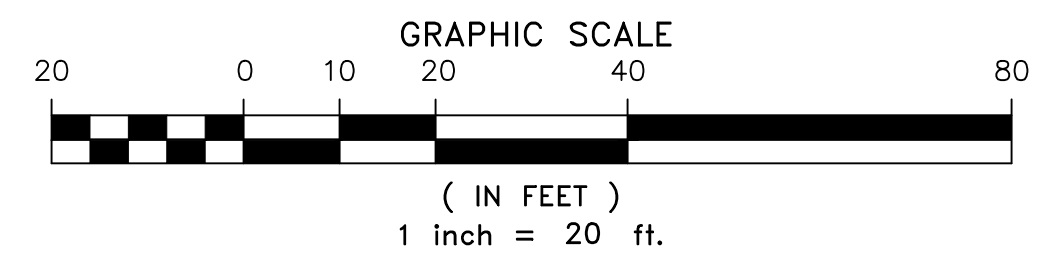
PLAN INDEX

SHEET NO.	DESCRIPTION
CE-1	COVER SHEET
CE-2	SITE DEMOLITION PLAN
CE-3	SITE PLAN
CE-4	GRADING & EROSION CONTROL PLAN
CE-5	PLUMBING PLAN
CE-6	SPECIFICATIONS & DETAILS

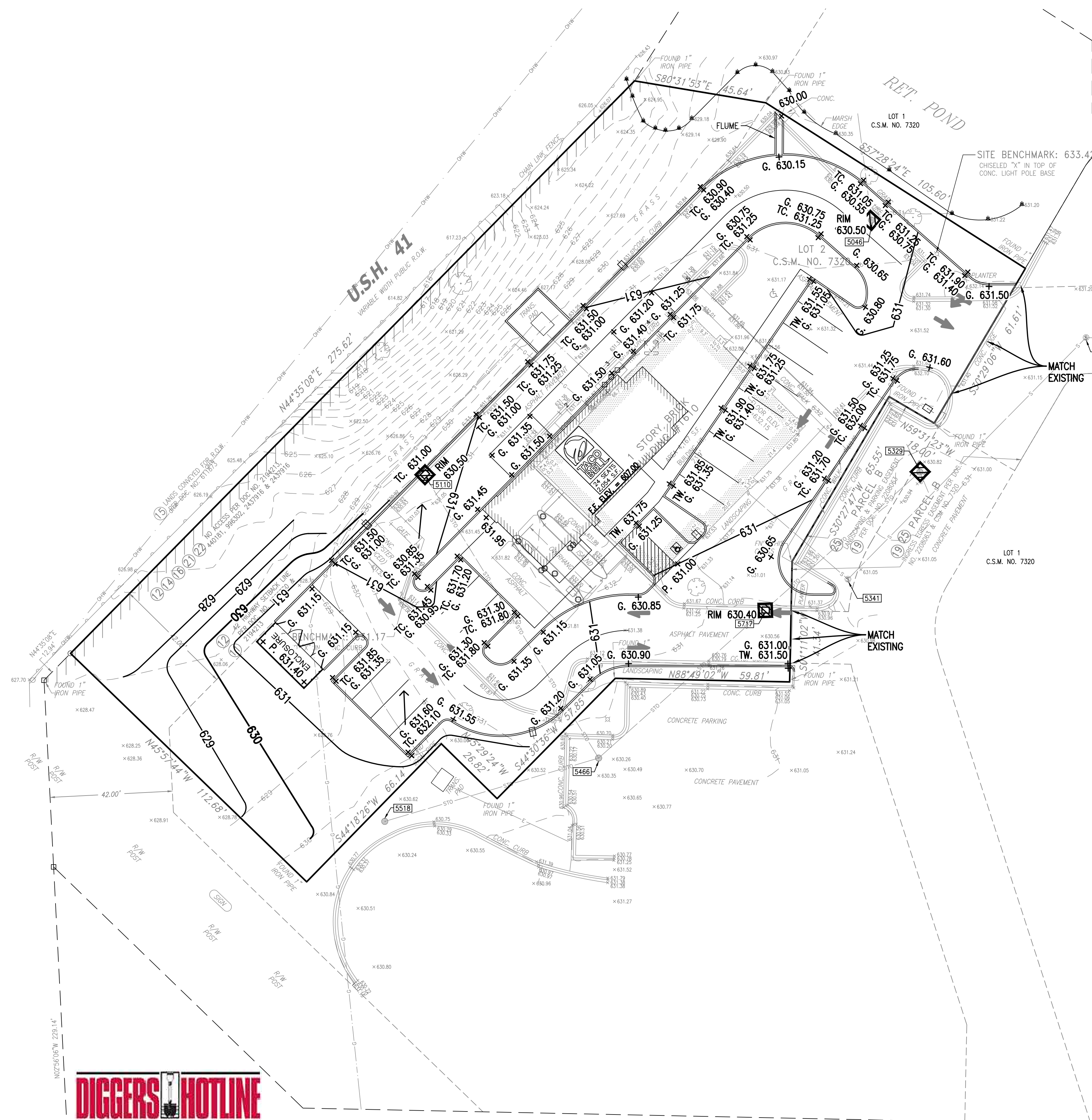
PLAN DATE: July 29, 2022

REVISIONS	ISSUE DATE	SHEET NO.'S	ISSUED FOR:

SCALE:
PROJECT NO. 22027
DATE: 7/29/2022
SHEET NUMBER
CE-1



SCALE: 1"=20' PROJECT NO. 22027 DATE: 7/29/2022 SHEET NUMBER CE-2		SITE DEMOLITION PLAN for Taco Bell 1610 Lawrence Drive City of De Pere, Brown County, Wisconsin 54313		Site Engineering Services  2920 Oakwood Road Hartland, WI 53029 262-367-4960 office marty.worden@att.net email Martin D. Worden, PE Civil Engineer/Consultant		PROJECT TEAM PROJECT MANAGER: initials PROJECT ENGINEER: initials DESIGNER: initials CAD TECHNICIAN: LDH	ISSUE —	DESCRIPTION	DATE x-xx-xx
								ADDED PARKING SUMMARY	4/07/2016



LEGEND

- +P. 61.50 PAVEMENT GRADE
- +G. 61.50 GUTTER GRADE
- +T.C. 61.50 TOP OF CURB GRADE
- +TW. 61.50 TOP OF WALK GRADE
- RIM 61.50 PROPOSED CATCH BASIN/ELEV
- 62 PROPOSED CONTOURS
- 62 EXISTING CONTOURS
- x SILT FENCE
- INLET GRATE SCREEN
- TRACKING PAD

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

TOPOGRAPHIC SURVEY PROVIDED BY:
CHAPUT LAND SURVEYS
234 WEST FLORIDA STREET
MILWAUKEE, WI 53204
DATED 5/12/2022 BY: DONALD C. CHAPUT, PLS

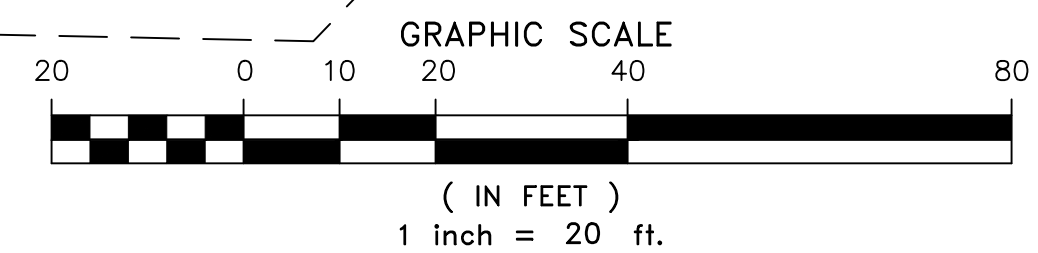
CATCH BASINS & INLETS #4139						
Point No.	Description	Direction	Size	Material	Depth / Invert (ft)	Elevation (ft)
5717	Rim	-	-	-	-	630.38
	BOTTOM	-	-	-	4.6	625.78
5329	Rim	-	-	-	-	630.67
	Pipes	NW	12"	CONC.	5	625.67
	Pipes	SE	12"	CONC.	5	625.67
	Pipes	SW	15"	CONC.	4.9	625.77
5056	Rim	-	-	-	-	630.49
	Pipes	NW	12"	CONC.	3.75	626.74
5110	Rim	-	-	-	-	630.5
	Pipes	SE	8"	PVC	3.7	626.80
5466	Rim	-	-	-	-	630.07
	Pipes	NE	15"	PVC	3.75	626.32
	Pipes	SW	15"	PVC	3.75	626.32
	Pipes	NW	8"	PVC	3.7	626.37
5518	Rim	-	-	-	-	629.98
	Pipes	ne	15"	PVC	3.35	626.63

SANITARY #4139						
Point No.	Description	Direction	Size	Material	Depth / Invert (ft)	Elevation (ft)
5341	Rim	-	-	-	-	631.1
	Pipes	N	-	CONC.	9.8	621.30
	Pipes	S	-	CONC.	9.7	621.40
	Pipes	W	-	CONC.	9.6	621.50
5355	Rim	-	-	-	-	631.15
	Pipes	NE	12"	PVC	10.1	621.05
	Pipes	SW	12"	PVC	10.2	620.95

DIGGERS HOTLINE

Toll Free (800) 242-8511
Milwaukee Area (414) 259-1181
Hearing Impaired TDD (800) 542-2289
www.DiggersHotline.com

C.T.H. F SCHEURING ROAD
VARIABLE WIDTH PUBLIC R.O.W.



Site Engineering Services

2920 Oakwood Road
Hartshorn, WI 53029
262-367-4960 office
morty.worden@siteengservices.com email

Martin D. Worden, PE
Civil Engineer/Consultant

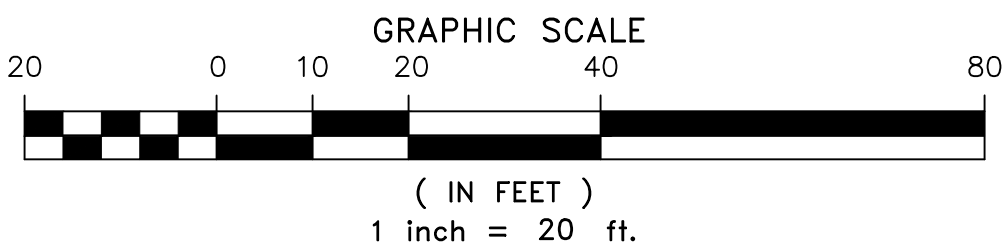
GRADING & EROSION CONTROL PLAN
for
Taco Bell
1610 Lawrence Drive
City of De Pere, Brown County, Wisconsin 54313

SCALE: 1"=20'
PROJECT NO. 22027
DATE: 7/29/2022
SHEET NUMBER
CE-3

DATE
PROJECT TEAM
PROJECT MANAGER: intals
PROJECT ENGINEER: intals
DESIGNER: intals
CAD TECHNICIAN: LDH

DESCRIPTION
ISSUE
PROJECT TEAM
PROJECT MANAGER: intals
PROJECT ENGINEER: intals
DESIGNER: intals
CAD TECHNICIAN: LDH

5.b



SITE PLUMBING PLAN

for
Taco Bell

Site Engineering Services

2920 Oakwood Road
Milwaukee, WI 53209
262-367-4960 office
morty.worden@siteengservices.com email
Martin D. Worden, PE
Civil Engineer/Consultant



PROJECT TEAM	ISSUE	DESCRIPTION	DATE
PROJECT MANAGER: intals	1		
PROJECT ENGINEER: intals			
DESIGNER: intals			
CAD TECHNICIAN: LDH			

THE INFORMATION SHOWN ON THIS DRAWING CONCERNING TYPE AND LOCATION OF UNDERGROUND UTILITIES IS NOT GUARANTEED TO BE ACCURATE OR ALL INCLUSIVE. THE CONTRACTOR IS RESPONSIBLE FOR MAKING HIS OWN DETERMINATIONS AS TO THE TYPE AND LOCATION OF UNDERGROUND UTILITIES AS MAY BE NECESSARY TO AVOID DAMAGE THERETO.

TOPOGRAPHIC SURVEY PROVIDED BY:
CHAPUT LAND SURVEYS
234 WEST FLORIDA STREET
MILWAUKEE, WI 53204
DATED 5/09/2022 BY: DONALD C. CHAPUT, PLS

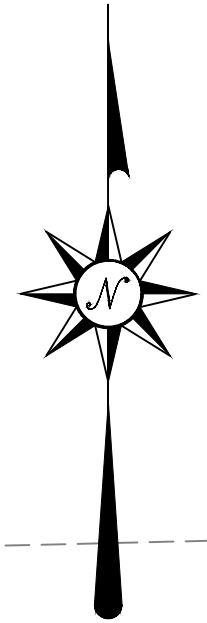
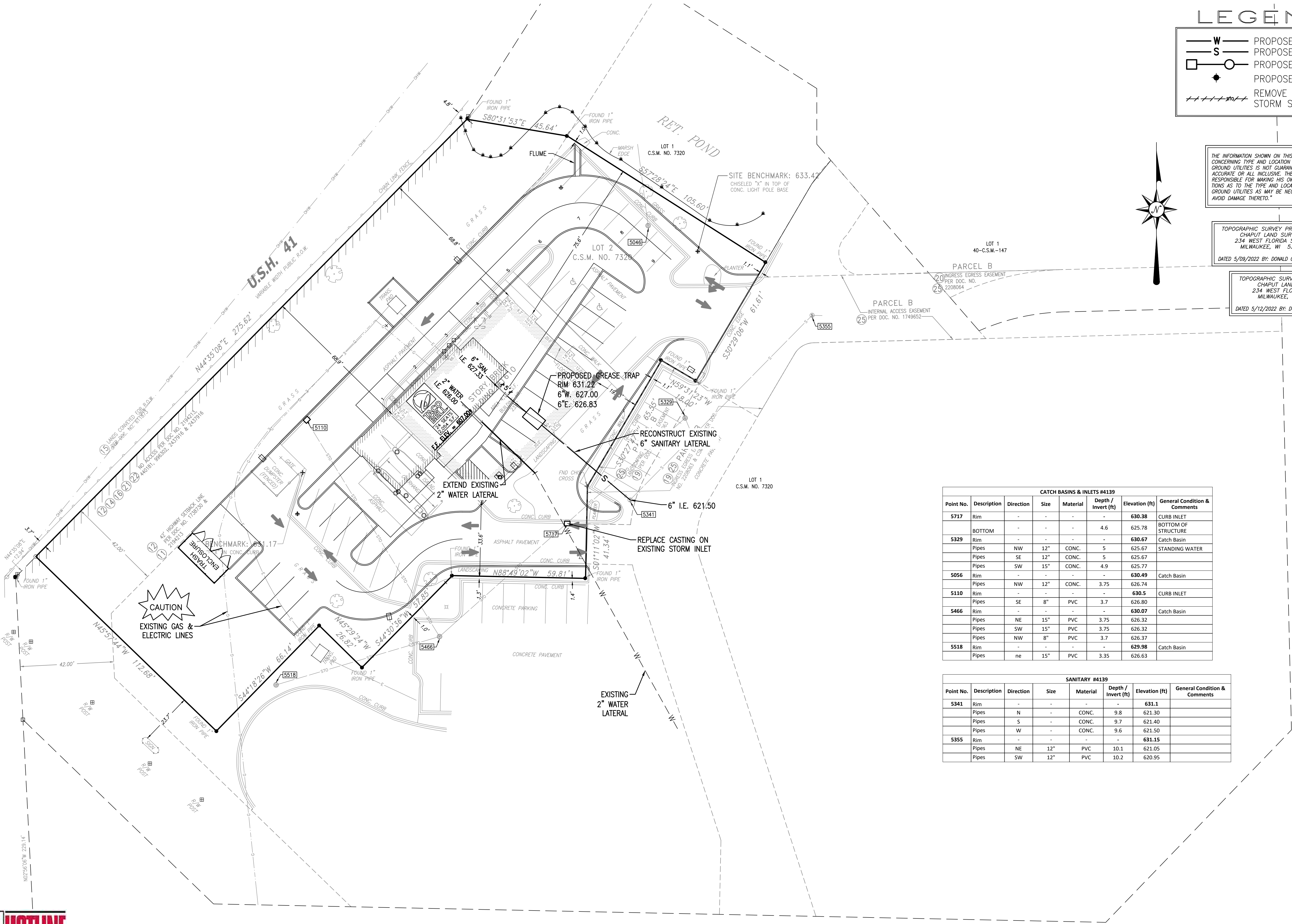
TOPOGRAPHIC SURVEY PROVIDED BY:
CHAPUT LAND SURVEYS
234 WEST FLORIDA STREET
MILWAUKEE, WI 53204
DATED 5/12/2022 BY: DONALD C. CHAPUT, PLS

LEGEND

- PROPOSED WATER
- PROPOSED SAN. SEWER
- PROPOSED STORM SEWER
- PROPOSED LIGHT POLE
- REMOVE EXISTING STORM SEWER

CATCH BASINS & INLETS #4139							
Point No.	Description	Direction	Size	Material	Depth / Invert (ft)	Elevation (ft)	General Condition & Comments
5717	Rim	-	-	-	-	630.38	CURB INLET
	BOTTOM	-	-	-	4.6	625.78	BOTTOM OF STRUCTURE
5329	Rim	-	-	-	-	630.67	Catch Basin
	Pipes	NW	12"	CONC.	5	625.67	STANDING WATER
	Pipes	SE	12"	CONC.	5	625.67	
	Pipes	SW	15"	CONC.	4.9	625.77	
5056	Rim	-	-	-	-	630.49	Catch Basin
	Pipes	NW	12"	CONC.	3.75	626.74	
5110	Rim	-	-	-	-	630.5	CURB INLET
	Pipes	SE	8"	PVC	3.7	626.80	
5466	Rim	-	-	-	-	630.07	Catch Basin
	Pipes	NE	15"	PVC	3.75	626.32	
	Pipes	SW	15"	PVC	3.75	626.32	
	Pipes	NW	8"	PVC	3.7	626.37	
5518	Rim	-	-	-	-	629.98	Catch Basin
	Pipes	ne	15"	PVC	3.35	626.63	

SANITARY #4139							
Point No.	Description	Direction	Size	Material	Depth / Invert (ft)	Elevation (ft)	General Condition & Comments
5341	Rim	-	-	-	-	631.1	
	Pipes	N	-	CONC.	9.8	621.30	
	Pipes	S	-	CONC.	9.7	621.40	
	Pipes	W	-	CONC.	9.6	621.50	
5355	Rim	-	-	-	-	631.15	
	Pipes	NE	12"	PVC	10.1	621.05	
	Pipes	SW	12"	PVC	10.2	620.95	

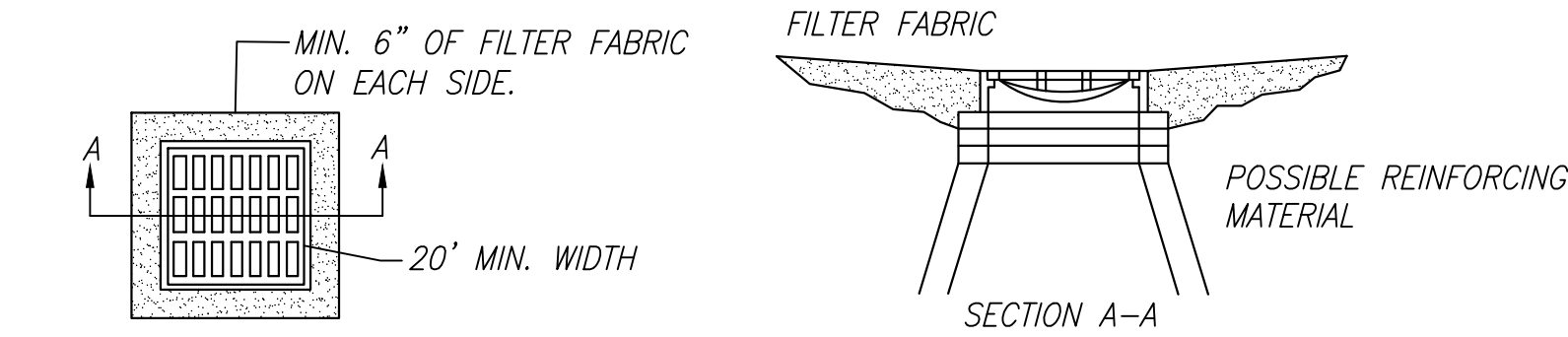


General Construction Notes:

1. No fill shall be placed on a wet, or soft, subgrade. The subgrade shall be proof rolled before any base material is placed.
2. The Contractor shall maintain site drainage throughout the construction period. This may include the excavation of temporary ditches, or pumping to alleviate water ponding.
3. The Contractor shall notify the project owner and the municipality forty-eight (48) hours prior to the start of construction.
4. The Municipality shall have the authority to inspect, approve, and reject the construction of the improvements detailed in this project.
5. The Contractor shall indemnify the owner, the Engineer, the Municipality, and their agents from all liability involved with the construction, installation, and testing of the work on this project.
6. The Bidder shall be solely responsible for determining quantities, and shall state such quantities in his proposal. He shall base his bid on his own estimate of the work required and shall not rely on the Engineer's Opinion of quantities.
7. The Contractor is responsible for verifying soil conditions prior to the start of construction. A Geotechnical Report may be available from the Owner.
8. The Contractor is responsible for examining all site conditions prior to the start of construction. If site conditions do not match the plans, the Contractor shall notify the Owner and Engineer immediately, to allow for possible plan revisions.
9. The Contractor shall obtain and pay for all permits required to perform the work. The Contractor shall conduct his work according to the requirements of the permits.
10. The Contractor is responsible to field verify all utility information shown on the plans prior to the start of construction. The Contractor shall call Digger's Hotline to notify the utilities of his intentions, and to request field marking of all existing utilities.
11. Silt fence, inlet screens, and other erosion control facilities shall be installed prior to construction, or other land disturbing activity.

Grading and Erosion Control Notes:

1. The proposed improvements shall be constructed according to the Wisconsin Standard Specifications for Road and Bridge Construction, latest edition, and the local ordinances and specifications.
2. Grading shall consist of installation and maintenance of erosion control measures, stripping topsoil and vegetation, storage and replacement of topsoil, excavation, borrow, haul, placement of fill material, pick-up and placement of excess utility trench and footing spoils, soil compaction, fine grading, removal of excess soil from the site, and final clean-up. All materials shall be provided by the contractor.
3. Erosion Control shall consist of installation and maintenance of erosion control measures, silt fence, tracking mat, inlet screens, erosion mat, straw bales, seeding, and final clean-up. All materials shall be provided by the contractor.
4. Topsoil, and any other unsuitable soils, shall be removed prior to placing any structural fill material. All fill materials shall meet the project specifications, or be approved by the Owner's Geotechnical Engineer.
5. Place and compact satisfactory soil material in layers (maximum 10" lift thickness) to required elevations. Use solid material free of debris, vegetable matter, waste, and frozen materials, and free of particles larger than 2 inches in any dimension. Non-organic, structurally sound soils that are excavated on-site may be re-used as structural fill on-site, as directed by the Geotechnical Engineer. If sufficient volumes of on-site structural fill is not available, Contractor shall import clean structural fill material from off-site.
6. A Landscaping Plan is available from the Owner to show the final treatment of landscaped areas of the site.
7. Geotextile Fabric: Non-woven geotextile fabric with a minimum weight of 4 ounces per square yard. Acceptable products include: Geotex NW-401, by SI Geosolutions, and 120 NW, by US Fabric.



- NOTES:
1. REMOVE INLET GRATE AND PLACE A SINGLE SHEET OF FILTER FABRIC ACROSS THE OPENING. THE FABRIC SHOULD EXTEND AT LEAST 6" BEYOND THE INLET OPENING. A REINFORCING MATERIAL MAY BE REQUIRED TO PREVENT SAGGING.
 2. SEDIMENT DEPOSITS SHALL BE REMOVED AFTER EACH STORM EVENT OR AT A DEPTH OF 1". EXTREME CARE SHALL BE TAKEN NOT TO SPILL ACCUMULATED SEDIMENT INTO INLET, WHEN CLEANING OR REPLACING FILTER FABRIC.
 3. FILTER FABRIC SHALL HAVE THE FOLLOWING PROPERTIES:
 - A. GRAB STRENGTH: 100 LBS. (ASTM D-1682)
 - B. MULLEN BURST: 200 PSI MIN. (ASTM D-3786)
 - C. EQUIVALENT OPENING SIZE: BETWEEN 50 AND 140 FOR SOILS WITH MORE THAN 15% BY WEIGHT PASSING A #200 SIEVE. BETWEEN 20 AND 50 FOR SOILS WITH LESS THAN 15% BY WEIGHT PASSING A #200 SIEVE.
 - D. WATER FLOW RATE OF 10 GAL/MIN/SQ. FT. AT 50 MM CONSTANT HEAD (ASTM D-4491)
 - E. ULTRA VIOLET RADIATION STABILITY OF 90%
 - F. IF SUPPORT NETTING IS REQUIRED, NETTING SHALL BE AN INDUSTRIAL POLYPROPYLENE WITH A 3/4 INCH SPACING OR EQUIVALENT

INLET GRATE SCREEN DETAIL

Site Plumbing Notes:

1. The proposed improvements shall be constructed in accordance with the Wisconsin Administrative Code, latest edition, the Standard Specifications for Sewer and Water Construction in Wisconsin, latest edition, and the local ordinances and specifications.
2. Materials for private water laterals shall be as follows:

Water lateral shall be Type K, copper. A continuous tracer wire shall be installed for the length of the water lateral.

Valve boxes shall be Tyler or East Jordan "DD" three piece, with adapters.

Bedding and cover material for water lateral trench shall be sand.
3. The Contractor shall pressure test, chlorinate, and obtain a safe water sample before the water lateral, can be placed in service.
4. Materials for both sanitary sewer, and storm sewer pipe, manholes, and inlets, shall be as follows:

Pipe 12" diameter and larger shall be reinforced concrete, ASTM C-76, or HDPE, ASTM 2648.

Pipe smaller than 12" diameter shall be PVC, SDR-35, ASTM D-3034 with rubber gasket joints.

Trench section shall be Class B for sanitary sewer, Class C for storm sewer.

Manholes and inlets shall be precast concrete, ASTM D-478. Sanitary manholes shall have rubber joints, and chimney seals meeting ASTM C-923.

Castings for manholes and inlets shall be cast iron, Neenah or approved equal. All castings in pavement shall be "heavy duty".
5. All adjustments to manholes and inlets shall be made with precast concrete rings, or concrete brick. All manholes shall include at least one precast adjusting ring, for future adjustment. The maximum adjustment shall not exceed 12".
6. All connections to existing structures shall be cored connections.
7. The Contractor shall barricade all open excavations, especially during non-working hours.
8. Extreme caution must be followed regarding the compaction of all utility trenches. Compacted granular backfill is required in all utility trenches that are located within 5 feet of a building, pavement, or sidewalk. The cost of this material is considered incidental and shall be included in the cost of the proposed utility.
9. The Contractor is responsible for providing the Owner with a set of marked-up plans showing all changes made during the construction process.
10. A minimum 18 gauge, insulated, single-conductor, copper tracer wire shall be installed along the length of all non-metallic pipe. Tracer wire shall be installed 6" above the pipe and shall be accessible at all manholes, inlets, valves and hydrants. Tracer wire insulation color shall be blue for water, green for sanitary, and brown for storm sewer. Tracer wire conductivity shall be tested prior to installation.

Paving Notes:

1. The proposed improvements shall be constructed according to Wisconsin Standard Specifications for Road and Bridge Construction, latest edition, and the local ordinances and specifications.
2. Paving shall consist of fine grading and final compaction of the soil sub-base, and the base course material, installation of the crushed stone base course and bituminous pavement, and final clean-up. All materials shall be provided by the contractor.
3. Aggregates used for the crushed stone base shall be 1 1/2" crushed stone (traffic bound), Gradation No. 1, as defined in sub-section 304.2.6 of the Standard Specifications.
4. Aggregates used in the bituminous concrete binder course shall conform to Gradation No. 2 of sub-section 401.2.5 of the Standard Specifications. Aggregates for bituminous surface course shall conform to Gradation No. 3.
5. Hot Mix Asphalt pavement shall be Superpave E-0.3 in accordance with section 460 of the Standard Specifications.
6. Asphalt in bituminous pavement shall be Performance Graded binders (PG 64-22) in accordance with section 455 of the Standard Specifications.
7. Concrete for curb and gutter, driveways, sidewalk, ramps, and dumpster pads shall conform to the "Standard Specifications for Ready-mixed Concrete", ASTM designation C-94, and shall contain six (6) sacks of cement per cubic yard. Minimum 28 day compressive strength shall be 3,500 PSI. A curing membrane is required for all exposed concrete.
8. This contract includes pavement marking, ADA signage and traffic signage. Parking spaces, and cross-walks shall be painted with an approved traffic paint. Stripes shall be 4" wide unless otherwise noted.

Construction Sequence:

1. The Contractor shall attend a Pre-Construction Meeting with the Owner's Representative, and the City Inspector, to review the schedule and sequence of the work.
2. Verify that all the necessary plans and permits are in hand, and posted on-site as required.
3. Prior to commencing any land disturbing activities, the Contractor shall install silt fence, tracking mat, and inlet grate screens, as shown on the plans and specifications.
4. The Demolition Contractor shall remove the pavement and curbs to be demolished.
5. The Grading Contractor shall strip, and stockpile topsoil on the south end of the parking lot. The topsoil stockpile shall be enclosed by silt fence on the downhill side. Stockpile only enough topsoil for reuse on the site. Excess topsoil shall be trucked off-site.
6. The Grading Contractor shall grade the parking lot to proposed subgrade elevation. Excess soils shall be trucked off-site.
7. All proposed landscaped areas shall be covered with 4" of topsoil, seed, and mulch. Areas that are covered with topsoil during the winter shall be sprayed with polymer or tackifier.
8. Install the sewer and water laterals, and backfill the trenches.
9. Excavate for the storm sewer and install the storm sewer. Backfill the structures, and the storm sewer.
10. Fine grade the parking lot and install the crushed stone base material, and concrete curb & gutter.
11. Install asphalt pavement on the parking lot.
12. All erosion control practices shall be inspected weekly, and within 24 hours after each rain event of 1/2 inch or more.
13. The erosion control measures shall be removed after final approval by the City.
14. Approximate Construction Schedule:

8/15/22, begin construction, install erosion control measures.

8/18/22, strip topsoil, remove pavement and begin rough grading.

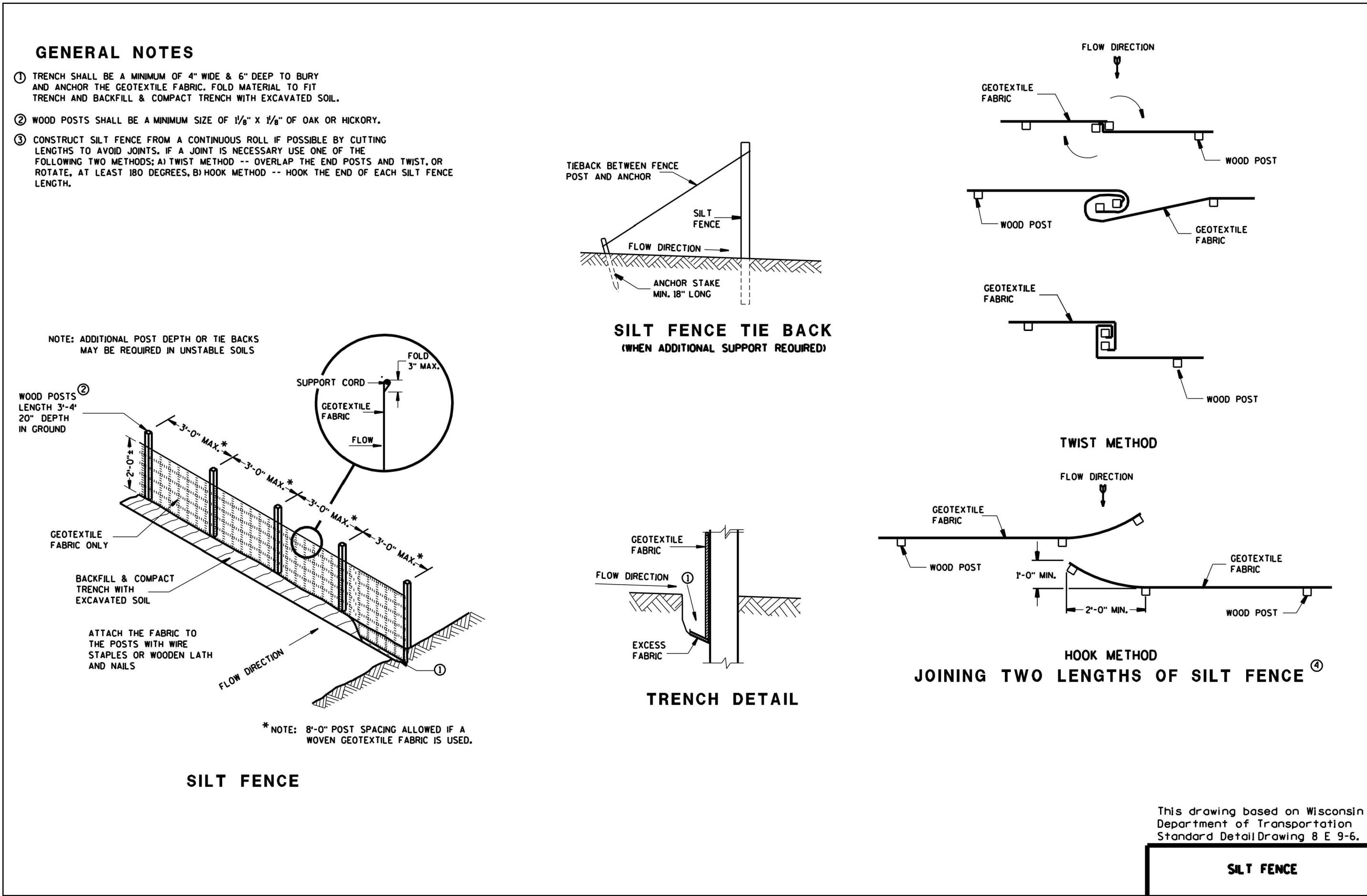
9/12/22, complete grading, begin building foundations, install sewer and water laterals.

9/19/22, complete building foundations, complete site utilities, install curb & gutter, stabilize landscaped areas of site, construct building.

10/31/22 building under roof, place crushed stone on parking lot.

11/14/22, complete parking lot paving.

12/30/22, complete all construction.



SPECIFICATIONS & DETAILS (1)

for
Taco Bell

1610 Lawrence Drive
City of De Pere, Brown County, Wisconsin 54313

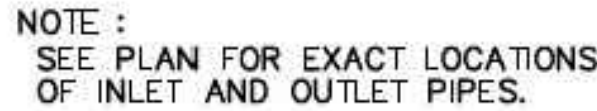
SCALE: AS NOTED

PROJECT NO. 22027

DATE: 7/29/2022

SHEET NUMBER

CE-6



ADA PARKING SIGNS



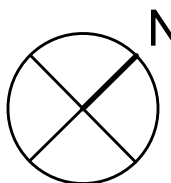
USED AT ALL LOCATIONS
WHERE PAVEMENT SLOPES
AWAY FROM PAN



USED AT ALL LOCATIONS
WHERE PAVEMENT SLOPES
TOWARD PAN



SCALE: AS NOTED PROJECT NO. 22027 DATE: 7/29/2022 SHEET NUMBER CE-7		SPECIFICATIONS & DETAILS (2) for Taco Bell 1610 Lawrence Drive City of De Pere, Brown County, Wisconsin 54313		Site Engineering Services 2920 Oakwood Road Hartland, WI 53029 262-367-4960 office marty.worden@siteengservices.com email Martin D. Worden, PE Civil Engineer/Consultant 		PROJECT TEAM PROJECT MANAGER: intals PROJECT ENGINEER: intals DESIGNER: intals CAD TECHNICIAN: LDH	ISSUE ▲	DESCRIPTION ADDED UNDERDRAIN & SIDEWALK DETAILS	DATE 3/12/2018
--	--	--	--	--	--	---	-----------------------	---	------------------------------



CONTRACT DATE:
BUILDING TYPE: ENDEAVOR
PLAN VERSION: JUNE 2022
SITE NUMBER:
STORE NUMBER:

TACO BELL

1610 LAWRENCE DRIVE
DE PERE, WI 54115



ENDEAVOR 2.0 EQUIPMENT AND SEATING PLAN

A2.0

PLOT DATE:

EQUIPMENT AND SEATING PLAN

$$1/4'' = 1'-0''$$

A

TAG	QTY	ITEM DESCRIPTION
T-105	5	RETRO CHAIR - 18
T-303be	2	BENCH BACK REST - 60"
T-303e	2	BENCH SEAT - 60"
T-405e	3	LAMINATE TABLE - 24 X 20 X 30 - 2 TOP
T-408e	3	LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP
T-411e	1	SS TABLE - 24 DIA X 30 - 2 TOP
T-415	1	SS TABLE - 24 DIA X 30 - 2 TOP
T-416	2	LAMINATE TABLE ADA - 24 X 48 X 30 - 4 TOP
T-505e	1	COUNTER TOP - 48" X 20" X 30"
T-506e	1	COUNTER TOP - 60" X 20" X 30"
T-613e	1	POS COUNTER 121 - 3 POS

FURNITURE PACKAGE - BY FURNITURE VENDOR U.O.N.

TAG	QTY	ITEM DESCRIPTION
T-620e	1	CONDIMENT COUNTER - RECTANGLE
T-706e	1	WASTE ENCLOSURE - SINGLE
T-708e	1	WASTE ENCLOSURE - 3 STREAM
T-759e	1	WASTE ENCLOSURE - SINGLE - EXTERIOR
T-801e	1	KIOSK 1/2 TOWER
T-901e	20	CHAIR - LAMINATE SEAT
T-903	4	BENCH SEAT - 48"

[illegible]

ARTWORK SCHEDULE

DECOR

1. REFER TO SC SHEETS FOR SCOPE OF WORK RESPONSIBILITY.
2. (HC) SYMBOL DENOTES A HANDICAP ACCESSIBLE TABLE.

GENERAL NOTES		C1
STORAGE TYPE		LINEAR FT.
DRY STORAGE		53
COLD STORAGE		26
FROZEN STORAGE		12

SHELVING QUANTITIES

229 ELECTRICAL PANELS.
251 HOOD FIRE SUPPRESSION SYSTEM (ANSUL R-102 OR EQUAL).
253 MAINTAIN 36" MIN. CLEAR ACCESSIBLE AISLE EGRESS PATHS TO EXIT
DOORS, 32" AT DOORWAYS AND CASIED OPENINGS. (42" AISLE REQUIRED
WHEN AISLE SERVES MORE THAN 50 SEATS).
255 ALERT LIGHT BOX FOR 3-COMP POWER SOAK.
256 PULL STATION @ 3'-8" A.F.F.
258 COORDINATE LOCATION OF HORIZONTAL PVC SYRUP CHASE THRU WALL TO
COUNTER.
259 6" HIGH WATER HEATER PLATFORM.
261 ROOF LADDER WITH BILCO LADDER UP SAFETY POST.
264 SPLASH GUARD.
265 AUTOMATIC HAND SOAP AND SANITIZER DISPENSERS PROVIDED BY
ECOLAB.
266 GAS METER.
267 FOR DUAL-FLEX LINE AND I-FLEX LINE SUB-EQUIPMENT SEE SHEET A8.3.
268 SANIMAX RECOVERY SYSTEM.
269 OUTDOOR SEATING UMBRELLA.

KEY NOTES

XXX

B

E

NOTE: NO EXTERIOR SIGNS ARE WITHIN THE SCOPE OF WORK COVERED BY THE BUILDING PERMIT APPLICATION. THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING THE INSTALLATION OF ALL EXTERIOR SIGNS AND INSTALLATION OF REQUIRED BLOCKING AND ELECTRICAL CONNECTIONS FOR FINAL APPROVED SIGNS.

PAINING
 APPLICATOR MUST DO THEIR DUE DILIGENCE WITH PREPARATION.
 PRIMER: 1 COAT SW A24W8300
 FINISH: 2 COATS SW A82-100 SERIES, MATCH COLORS FROM MATERIAL SCHEDULE.
 A-100 EXTERIOR LATEX SATIN.

A

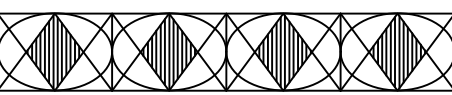
PLOT DATE:

□

2

MRV

ARCHITECTS, INC.



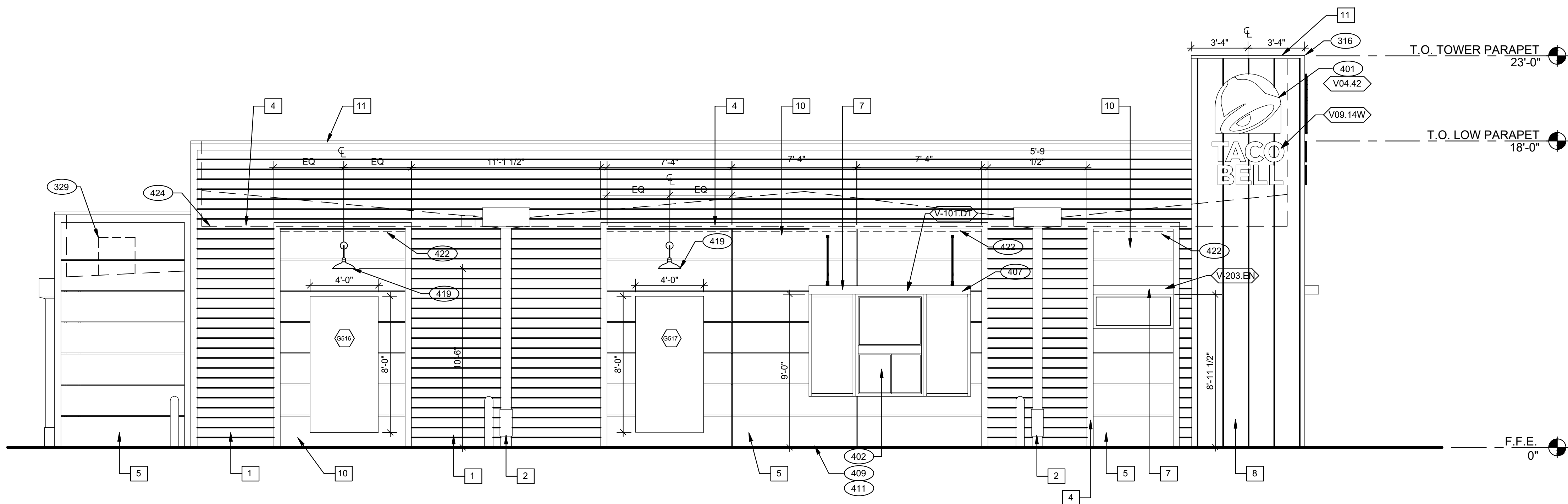
5105 TOLLVIEW DR., SUITE 201
ROLLING MEADOWS, IL 60008
TEL: 224-318-2140

MRV ARCHITECTS, INC. 2022

ALL DRAWINGS, SPECIFICATIONS, PLANS AND CONCEPTS ARE INSTRUMENTS OF SERVICE AND THEREFORE ARE PROPERTY OF MRV ARCHITECTS, INC. THEY MAY NOT BE REUSED, COPIED OR REPRODUCED WITHOUT PERMISSION AND EXPRESS WRITTEN CONSENT FROM MRV ARCHITECTS, INC.

SEE SHEET A4.0 FOR FINISH SCHEDULE

- 316 METAL PARAPET CAP.
- 329 MECHANICAL UNIT. SEE ROOF PLAN.
- 401 BUILDING SIGN BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 402 DRIVE THRU WINDOW. SEE SHEET A1.0 AND A1.1.
- 407 METAL CANOPIES BY VENDOR. REQUIRES ELECTRICAL, SEE ELECTRICAL PLANS.
- 409 ASSUME D/T LANE SURFACE IS 6" BELOW THE FINISH FLOOR. REFER TO GRADING & SITE PLAN.
- 411 CONCRETE CURB.
- 419 EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL DRAWINGS.
- 422 PURPLE LIGHT WALL WASHER, PROVIDED BY SIGNAGE VENDOR.
- 424 LINE OF ROOF BEYOND.

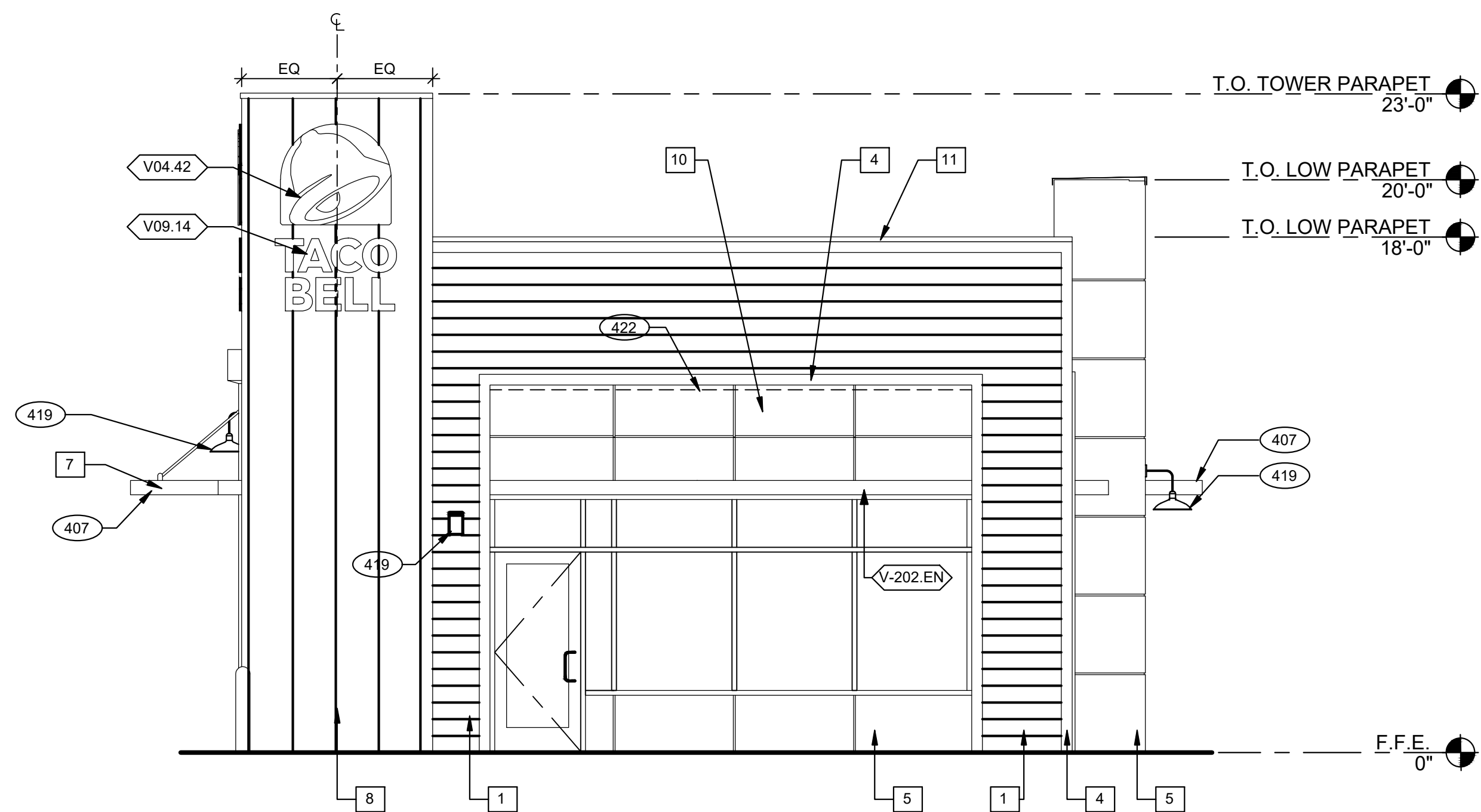


REAR ELEVATION 1/4" = 1'-0"

1

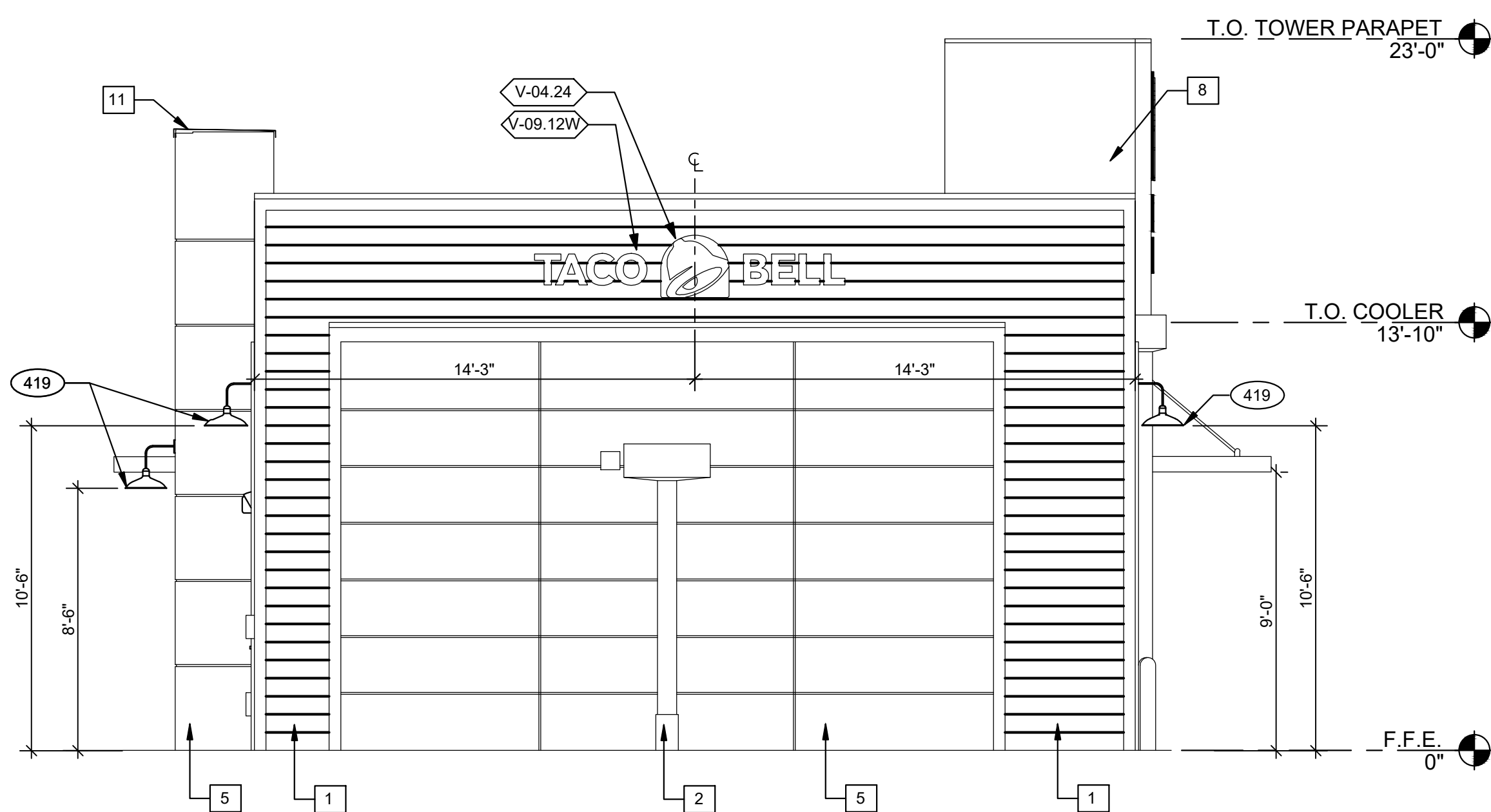
KEY NOTES

A



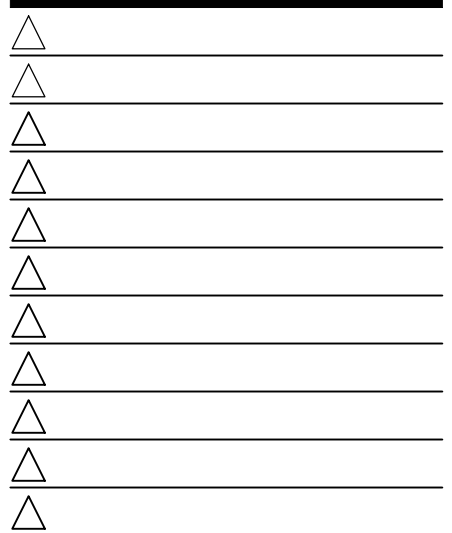
FRONT ELEVATION 1/4" = 1'-0"

2



REAR ELEVATION 1/4" = 1'-0"

3



CONTRACT DATE:

BUILDING TYPE: ENDEAVOR

PLAN VERSION: JUNE 2022

SITE NUMBER:

STORE NUMBER:

TACO BELL

1610 LAWRENCE DRIVE
DE PERE, WI 54115



EXTERIOR
ELEVATIONS

A4.1

PLOT DATE:



SW VIEW 1/4" = 1'-0"

3



NW VIEW 1/4" = 1'-0"

1



SE VIEW 1/4" = 1'-0"

4

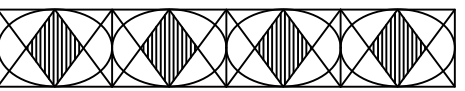


NE VIEW 1/4" = 1'-0"

2

MRV

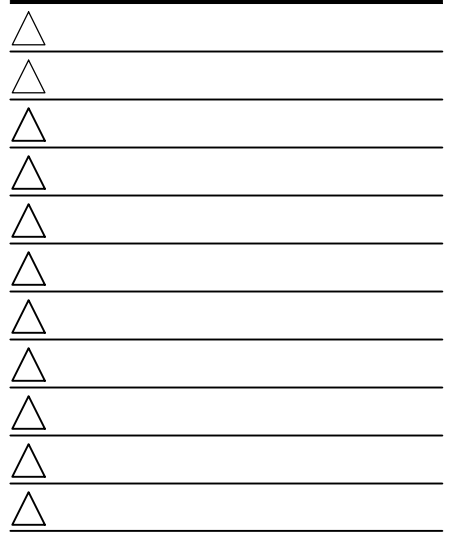
ARCHITECTS, INC.



5105 TOLLVIEW DR., SUITE 201
ROLLING MEADOWS, IL 60008
TEL: 224-318-2140

MRV ARCHITECTS, INC. 2022

ALL DRAWINGS, SPECIFICATIONS, PLANS AND
CONCEPTS ARE INSTRUMENTS OF SERVICE
AND THEREFORE ARE PROPERTY OF MRV
ARCHITECTS, INC. THEY MAY NOT BE REUSED,
COPIED OR REPRODUCED WITHOUT
PERMISSION AND EXPRESS WRITTEN CONSENT
FROM MRV ARCHITECTS, INC.



CONTRACT DATE:
BUILDING TYPE: ENDEAVOR
PLAN VERSION: JUNE 2022
SITE NUMBER:
STORE NUMBER:

TACO BELL

1610 LAWRENCE DRIVE
DE PERE, WI 54115



EXTERIOR
RENDERINGS

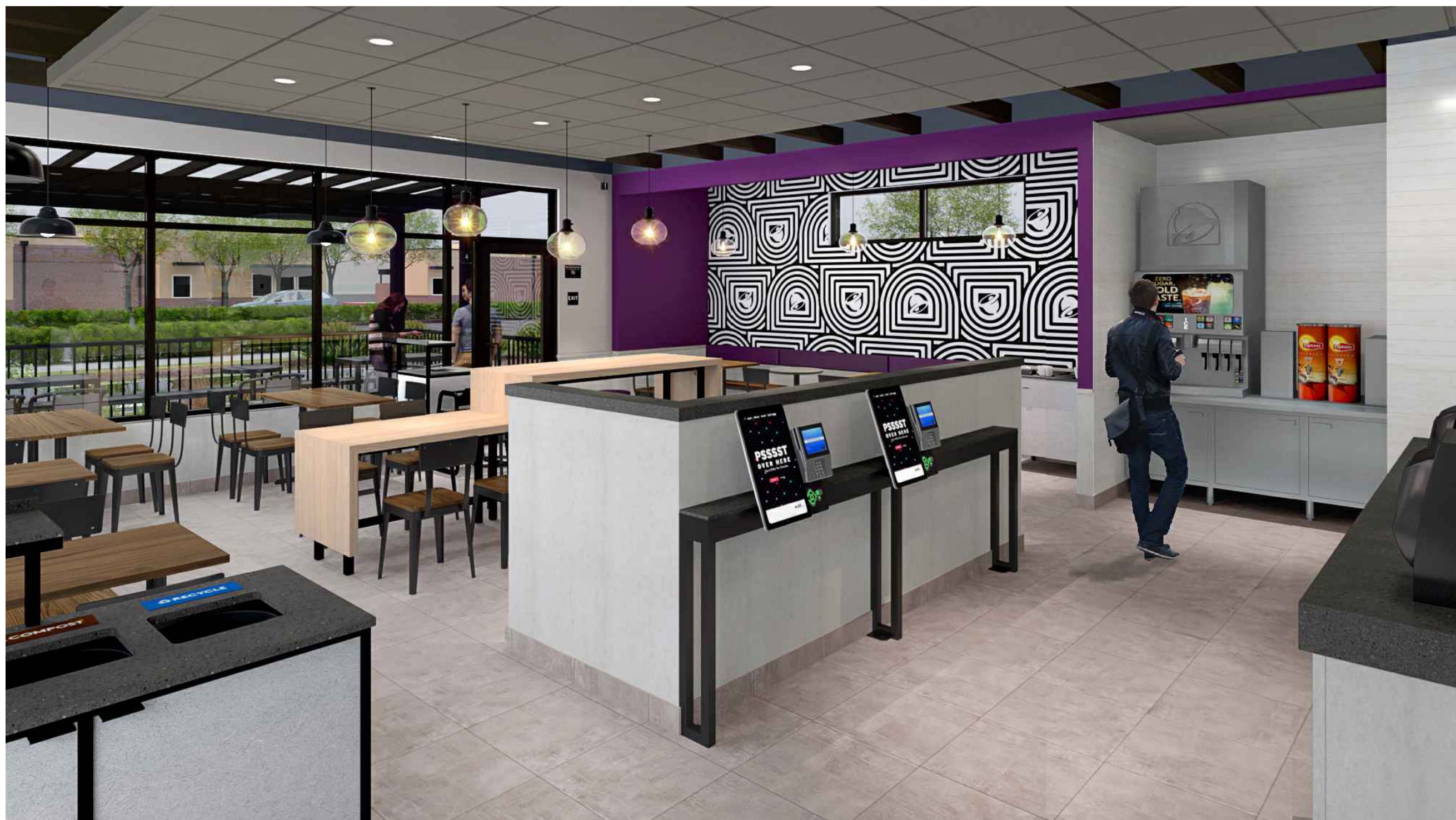
A4.2

PLOT DATE:

3



1



4



2

-

CONTRACT DATE:
BUILDING TYPE: ENDEAVOR
PLAN VERSION: JUNE 2022
SITE NUMBER:
STORE NUMBER:

TACO BELL
610 LAWRENCE DRIVE
DE PERE, WI 54115



INTERIOR RENDERINGS

A4.3

PLOT DATE:



City of De Pere, Wisconsin

Request For Plan Commission Action

MEETING DATE: August 22, 2022

DEPARTMENT: Plan Commission

FROM: Peter Schleinz

SUBJECT: Discussion about the City's proposed DRAFT Zoning Map.

ATTACHMENTS:

- Zoning Code Memo 5 - 22 Aug 2022 (DOCX)
- UpdatedProposedZoning2021 (PDF)

CITY OF DE PERE MEMO



To: James Boyd, Mayor
Plan Commission Members

From: Peter Schleinz, Senior Planner | Zoning Administrator

Date: August 22, 2022

RE: **Discussion about the City's proposed DRAFT Zoning Map.**

Summary:

The City of De Pere staff and Plan Commission have been reviewing a DRAFT zoning code that is targeted for final approval by the end of 2022. A new DRAFT zoning map is part of the project. The Plan Commission may recall seeing early samples of the DRAFT zoning map within the Power Point presentations that were created for reviewing the DRAFT Zoning code document.

The Plan Commission should discuss the latest version of the DRAFT zoning map to become familiar with the map. Discussion may include including the following:

- The change from 19 to 21 zoning district names and colors.
 - *The total number of different zoning districts increases slightly but the name for most districts changes significantly.*
- The red outlined areas of the zoning map without any zoning district color.
 - *Some are lands in need of a simple correction; some are being revised simultaneously with the Comprehensive Plan update and a final description may be unknown.*
- The random polygons of color that are within other colors.
 - *For example, a Conservancy District (CON) near the East River has a small polygon of residential (R1-80) within it.*
- The zoning districts that are changing from what is shown on the most recent DRAFT zoning map.
 - *For example, a former church in the Public & Institutional 1 (PI-1) District at the northwest corner of Tenth ST and Cedar ST is likely changing to Mixed Use 2 (MX2).*
- Plan commission suggested changes for staff to consider.

Proposed changes to the DRAFT zoning map are done with the review of the Comprehensive Plan rewrite so that the Zoning Code, Zoning Map, and Comprehensive Plan will have minimal, if any, conflicts.

Staff Request:

Discuss the proposed DRAFT zoning map to be familiar with the document prior to the final review and approval step expected to take place by the end of this year.

CITY OF DE PERE
PROPOSED ZONING MAP
DRAFT DRAFT DRAFT

