



Plan Commission

Regular Meeting

335 South Broadway
De Pere, WI 54115
<http://www.de-pere.org>

Agenda

Monday, August 26, 2013

7:00 PM

De Pere City Hall Council Chambers

Pursuant to Wisconsin Statutes 19.84, Notice is hereby given to the public that a Regular Meeting of the **Plan Commission** of the City of De Pere will be held on **August 26, 2013 at 7:00 PM** in the **De Pere City Hall Council Chambers, 335 S. Broadway Street, De Pere, WI 54115.**

I. Roll Call.

II. Action Items.

1. Approve the minutes of the regular meeting of the Plan Commission on July 22, 2013.
2. Presentation and review of corridor alternatives for WIS HWY 32 (Main St) by WisDOT.
3. Review Site Plan application for a 5,400 sq ft new building on Millennium Court. Applicant Bayland Buildings.
4. Review the Site Plan application for a new 3,200 sq ft office building at 785 Scheuring Road. Applicant: PEDS.
5. Review the General Development Plan Application for a 14,688 square foot 2-story condominium / apartment complex at the corner of Cedar Street and Ninth Street. Applicant: Bay Architects, LLC.
6. Review the Precise Development Plan amendment for WD-657-1 on Grant St and WD-657-2 on College Ave. Applicant: Best Built.*
7. Review the CSM application for a 2 lot CSM on Millennium Court. Applicant: City of De Pere.*
8. Review the CSM application for a 3 lot CSM located on Tullig Place. Applicant: Mach IV.*
9. Review the Vacation application for the vacation of a portion of Galway Ln. Applicant: Mach IV.*
10. Review the Extra-territorial Plat application for the Belle Isle Meadows Plat located in the Town of Ledgeview. Applicant: Mau & Associates. *

III. Adjournment.

Notice is hereby given that a majority of the members of the Common Council of the City of De Pere may attend this meeting to gather information about a subject(s) over which they have decision-making responsibility. Any person wishing to attend this meeting who, because of disability, requires special accommodation should contact the City Administrator at 339-4044.

AGENDA SENT TO:

Alhambra Village De Pere
Allan J & Brenda A Reckelberg
Allen W & Janice R Baeten
C & C Investments of De Pere LLC
Craig A & Barbara J Johnson
Dennis M & Claudia D Larson
Gajeski Family Trust
Gene R & Patti J Fiala

Jeffrey A Doberstein
Joseph H Westcott
Judith M Burdey
Leona L Sausen
Leonard M & Mary C Tarkowski
Lori L Stang
Melina M Landess
Nancy L Jansch Blashka
Phyllis J Day
Ralph L Enderby
Timothy J & Joanne M Alberts
Wayne G Rasmussen
WI Housing & Economic Dev Authority
Best Built
C Kroll Properties
De Pere Christian Outreach Corp
De Pere Joliet Square LLC
Investors Community Bank
Kathryn F Hafeman
Masters Properties of De Pere LLC
Mrs. Mary Lindsley
NEW Developers LLC
Nicolet Highlands LLC
Randall S Van Den Elzen Van's Heating
St. Norbert College
VHC Inc.
Wisconsin Central LTD
Andrew J Nackers & Carianne L Purpura
Antoinette E Thomas
Brenton J & Jill M Becker
Christopher A & Lori L Waara
Daniel L Bassindale
Garrity Family Real Estate LLC
Garrity's Glen LLC
Gerald M & Joyce E Krull
Gregory Veith & Michelle L Bethke
Jeffrey D Armbruster
Justin R & Leah A Czachor
Lisa A Everard
Bayland Buildings
PEDS
Mach IV
Mau & Associates
Wisconsin 32 Stakeholders

City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: August 26, 2013

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Approve the minutes of the regular meeting of the Plan Commission on July 22, 2013.

ATTACHMENTS:

- minutes.July 22,2013_draft (DOCX)

DRAFT

CITY PLAN COMMISSION De Pere, Wisconsin – July 22, 2013

A meeting of the De Pere Plan Commission was held today at 7:00 p.m. in the De Pere City Hall Council Chambers.

1. Roll Call.

Mayor Walsh called the meeting to order at 7:00 p.m. Roll call was taken, and the following members were present: Larry Lueck, James Boyd, Jim Kalny, and Elizabeth Runge. Members excused: Derek Beiderwieden and Steve Taylor.

Also present: City Planning Director Kenneth Pabich, and members of the public.

2. Approve the minutes of the regular meeting on June 24, 2013.

Jim Kalny moved, seconded by Mayor Walsh, to approve the minutes. Upon vote, motion carried unanimously.

3. Review the zoning code amendment to allow for Temporary Overnight Shelter Facilities.

Ken Pabich reviewed the proposed amendments to the current code. This amendment pertains to zoning only; an applicant would still have to apply for a conditional use permit and follow Building & Fire codes to be approved. There would be a 30-45 day window for that to happen (PC, class I notice, council hearing).

Mayor Walsh moved, seconded by James Boyd, to approve the staff recommendation and forward to City Council. Upon vote, motion carried unanimously.

4. Review the Plat application for the final plat of Garrity's Glen Second Addition: Surveyor: Mach IV.

James Boyd moved, seconded by Jim Kalny, to approve the application and forward to City Council.

DRAFT

Upon vote, motion carried unanimously.

5. Review the CSM application for a two lot CSM on Red Maple Road. Surveyor: REL.

Jim Kalny moved, seconded by Elizabeth Runge, to approve the application. Upon vote, motion carried unanimously.

6. Review the extraterritorial Plat application for the final plat of Orion's Run First Addition. Surveyor: Mach IV.

Mayor Walsh moved, seconded by Jim Kalny, to approve the application and forward to City Council. Upon vote, motion carried unanimously.

7. Review the extraterritorial single lot CSM on Scray Hill Road in the Town of Glenmore. Surveyor: TNT.

James Boyd moved, seconded by Elizabeth Runge, to approve the CSM and forward to City Council. Upon vote, motion carried unanimously.

8. Adjournment.

Mayor Walsh moved, seconded by Larry Lueck, to adjourn the meeting at 7:20 p.m. Upon vote, motion carried unanimously.

Respectfully submitted,
Carey Danen, Recording Secretary

City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: August 26, 2013

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Presentation and review of corridor alternatives for WIS HWY 32 (Main St) by WisDOT.

WIS HWY 32 (Main Street) is going to be completely reconstructed from 3rd to 8th Street. Wis DOT staff will be making a presentation of the work done to date on the WIS HWY 32 project. Alternatives that have been studied will be presented and the DOT is requesting that some of the alternatives be dropped. The remaining alternatives will be studied in more detail.

ATTACHMENTS:

- WIS 32 De Pere Plan Commission (PDF)

 **WIS 32, City of De Pere** 
Corridor Study
 De Pere Plan Commission
 August 26, 2013



32 *Agenda*

- Overview and Study Purpose
- Discussion of Alternatives
- Recommendation to drop Alternatives 2, 4 and 5
- Study Schedule
- Questions

  City of De Pere

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32 *Overview*

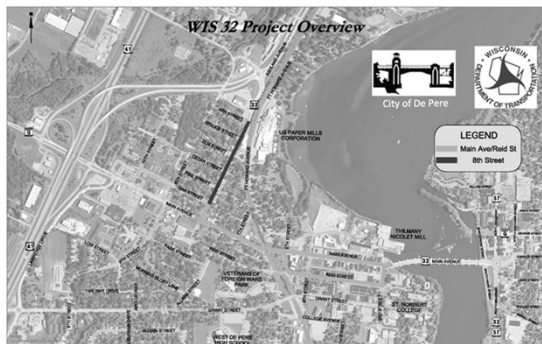
- Reasons For Study
 - Pavement Deterioration
 - Utility Condition
- WisDOT 6-Year Program
- 8th Street Project vs. WIS 32 Corridor Study

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32 *Project Updates*

WIS 32 Project Overview



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32 Study Purpose

- Develop typical cross sections
- Analyze existing and proposed traffic patterns
- Determine intersection operations
- Explore bicycle/pedestrian and transit options
- Investigate existing railroad bridge
- Identify utility replacements



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32 Pedestrian concerns on 3rd between Main and Reid



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32 Railroad Bridge Looking East

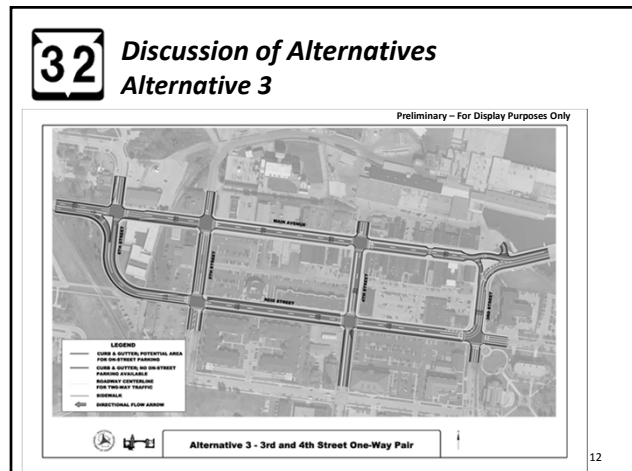
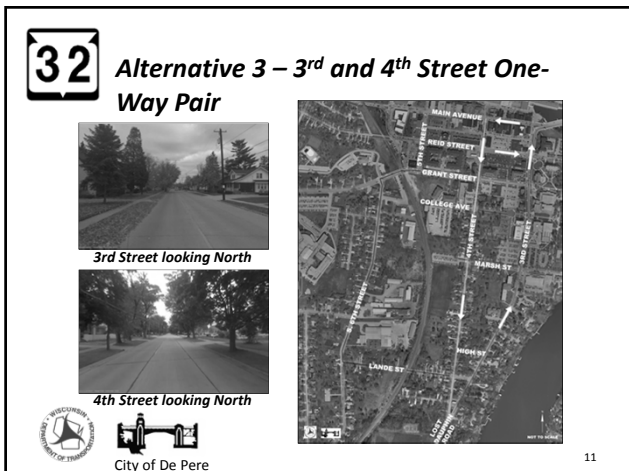
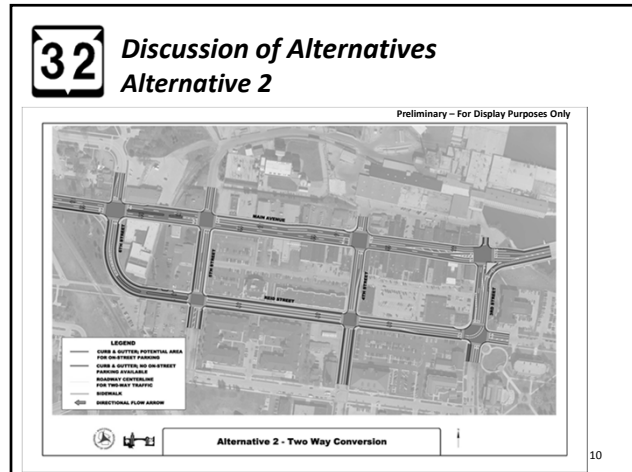
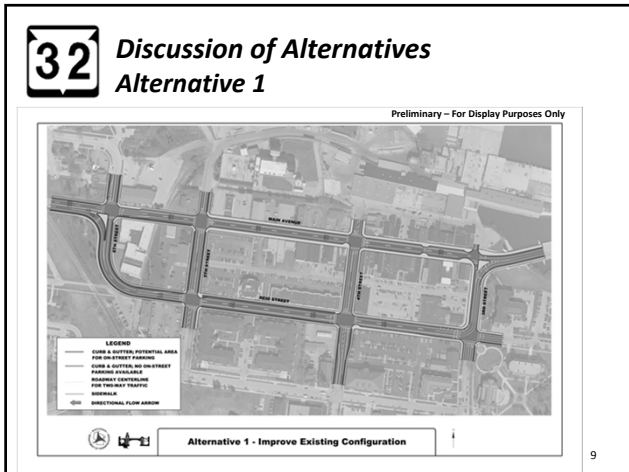


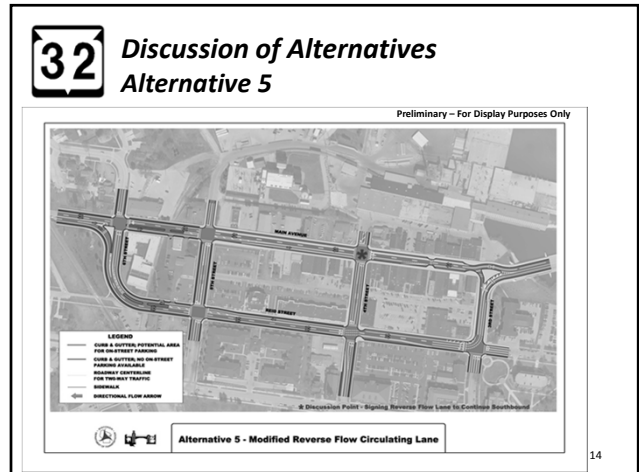
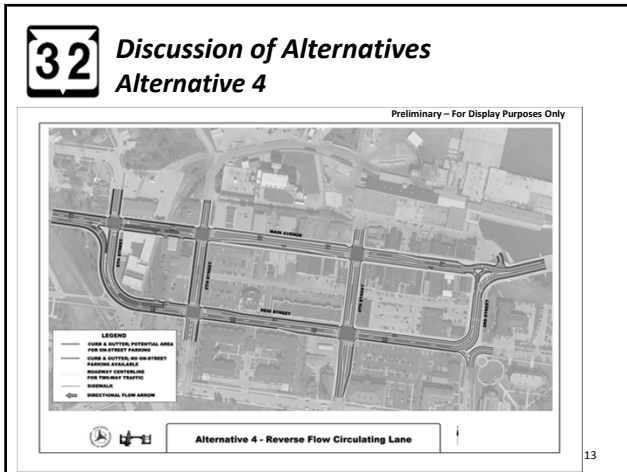
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32 Discussion of Alternatives



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32 Public Involvement

- Two stakeholder meetings
- March 21, 2013 held a public information meeting
- Met with Thilmany/Expera and St. Norbert College representatives to discuss their plans and current operations
- WIS 32 Study Website

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32 Meetings/Outreach Opportunities Already Held

- Media/Study Kickoff : September 13, 2011
- Stakeholder Meeting #1: December 13, 2011
- Stakeholder Meeting #2: January 23, 2013
- Media Presentation and Public Information Meeting #1: March 21, 2013

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Study Team Analysis

- Alternatives 2,4, and 5 were identified in the city comprehensive or downtown master plan
- A complete street approach is appropriate to support a downtown that is welcoming to residents and visitors utilizing different modes of transportation
- Based on our findings, we do not believe Alternatives 2, 4, and 5 meet the intent of a complete street



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Alternative 2 – Two Way Conversion

- Substantial impacts to the central business district buildings
 - To accommodate the traffic needs the expanded roadway’s curb and gutter is located close to the face of the buildings, leaving no room for pedestrians without impacting buildings
- On-street parking loss – 95 of 202 existing parking stalls would be removed



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Alternative 4 – Reverse Circulating Lane

- Impacts to St. Norbert traffic
- Poor intersection operations at the corner of 4th and Main
- Pedestrian safety concerns due to introduction of 2-way traffic with counter flow lane
- On street parking loss – 172 of the existing 202 parking stalls



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Alternative 5 – Modified Reverse Flow Circulating Lane

- Alternative 5 is a modified version of Alt. 4
- Has many of the same concerns as Alt. 4
- Additional safety concern at 4th Street and Main Avenue with the eastbound reverse flow lane ending at 4th Street and poor intersection operation
- On-street parking loss – 123 of the existing 202 parking stalls



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32 Study Team Recommendation

- Keep these alternatives for further analysis:
 - The Do Nothing Alternative
 - Alternative 1 – Improve the Existing Configuration
 - Alternative 3 – 3rd and 4th Street One-Way Pairs
 - A combination of Alternatives 1 and 3



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32 Schedule Update

- Stakeholder Meeting #3 : September, 2013
- Public Information Meeting #2: Fall 2013
- Alternative Recommendation: Late Fall 2013
- Environmental Report: January 2014
- Additional outreach – farmers market, Celebrate De Pere etc.
- 30% Plans: July 2014



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32 Contact Info

- Project Website:
 - <http://www.dot.wi.gov/projects/nregion/32/index.htm>
- Wisconsin Department of Transportation
 - Chris Culotta, Planning Project Manager
 - Email: christopher.culotta@dot.wi.gov
 - Phone: 920-492-7712
- City of De Pere
 - Eric Rakers, City Engineer
 - Email: erakers@mail.de-pere.org
 - Phone: 920-339-8304



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Thank You



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City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: August 26, 2013

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review Site Plan application for a 5,400 sq ft new building on Millennium Court. Applicant Bayland Buildings.

ATTACHMENTS:

- PC_SP_GrandrudBldg_August2013 (PDF)

**City of De Pere
Staff Comments**

**Plan Commission
August 26, 2013**

Item 3: Review Site Plan Application for a 6,844 square foot building to be built on the south side of Millennium Road. Applicant: Bayland Buildings.

Overview	
The project is for a 6,844 square foot building for Gandrud in the East De Pere Business Park. The building will be used to store vehicles that are on display at various times at the dealership.	
Public Works	
Does the project meet the City's Stormwater regulations?	■ Yes †No †NA
Sewer properly connected?	■ Yes †No †NA
Water properly connected?	■ Yes †No †NA
Access properly designed (driveway and sidewalks)?	■ Yes †No †NA
Are there any issues with easements or right-of-ways?	Yes ■ No †NA
Are there other items that need to be addressed?	Yes ■ No †NA
Required Actions: Sanitary Sewer: 1. Sanitary sewer is on the south side of the curb. Connection to the main is required. Water Main: 1. Water main is on the south side of the curb. Connection to the main is required. Storm Water: 1. Dry detention may be required for peak flow. 2. Regional storm water treatment is available for water quality. 3. Connection to the storm sewer main can be made to the inlet.	
Forestry & Parks	
Does the project meet City Landscaping Regulations?	■ Yes †No †NA
Required Actions: No additional Comments.	
Fire	
Does the project meet City Fire Codes?	■ Yes †No †NA
Required Actions: 1. No smoking signage is required. Ignition sources must be appropriate for application area. 2. Provide exit/emergency lighting throughout the means of egress. Exits must be kept clear at all times. 3. Provide fire extinguishers at maximum 75' travel distances from any point. Locate extinguishers towards the exits. 4. Provide details on any use of flammable liquids and quantities to be stored on site, containment details for any supply of product. 5. Separation of hazards/uses may be required. Separations as provided do not detail opening protectives. Any penetrations of rated assemblies must be properly fire stopped 6. Signage will be clearly posted stating that no motor repairs may be conducted and absolutely no painting operations will be performed within the structure.	
Planning & Building Inspection	
Does the project meet design regulations (exterior building elevations/materials)?	■ Yes †No †NA
Does the project meet City setback requirements?	■ Yes †No †NA
Does the project meet City parking requirements?	■ Yes †No †NA
Does the project meet City lighting requirements?	■ Yes †No †NA
Is the refuse properly sited, and screened?	Yes †No †■ NA
Will the signage meet City code?	Yes †No †■ NA
Are there other items that need to be addressed?	Yes ■ No †NA
Required Actions: 1. There is no signage currently. If the company decides to put up signage, a permit from the city is required. 2. The Plan Commission will want to discuss if an entry should be placed on the front of building. 3. To conform to other buildings in the area, the parking lot setback should be at least 12ft from the property line. 4. Refuse will be located inside the building.	

Recommendation:

Staff recommends approval of the project with the items above being addressed.

Attachment: PC_SP_GrandrudBldg_August2013 (1289 : Bayland Site Plan Review)



CITY OF DE PERE

APPLICATION FOR
SITE PLAN REVIEW

Fee: \$ 250.00

Receipt #: 85437

Date: Aug 8, 2013

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: City of De Pere, WI
 Mailing Address: 335 S. Broadway De Pere, WI 54115
 Phone: 920-339-4043
 Email: KPabich@mail.de-pere.org

I hereby appoint the following as my agent for purposes of this application:

Agent: Name: Dave O'Brien
 Mailing Address: PO Box 13571 Green Bay, WI 54307-3571
 Phone: 920-498-9300
 Email: dobrien@baylandbuildings.com

B. Property Information

Address/Location of Property: Millennium Ct. Parcel #: ED-2313
 Parcel Dimension: 328.66' x 280.00' Parcel Area: 88,586 ft²
 Legal Description: 2.033 AC M/L East Side Industrial Park 2nd Addn
Lot 26 & part of lot 25 DESC in 2356281

A Site Plan Review is requested as authorized by the De Pere Zoning Code, Section(s): Article XIII, Section 14.60.

Owner Signature

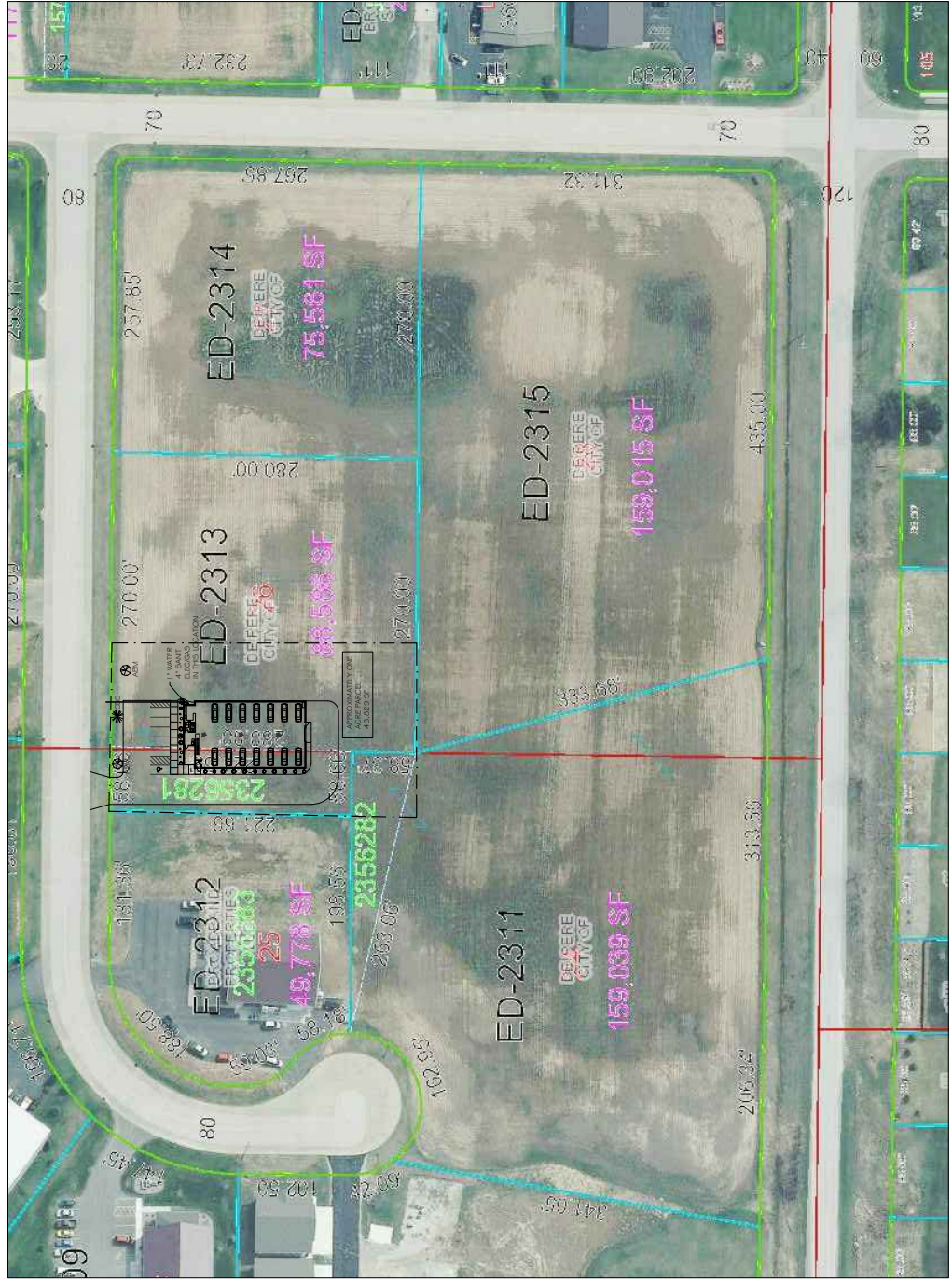
Agent Signature

Date

Date

8-6-13

A plan consisting of all applicable information listed on the attached shall be submitted with this application. An AutoCAD drawing matching the state approved plans must be submitted in Brown County Coordinates before permits can be issued.



PLANT MATERIAL SCHEDULE									
COUNT	MARK	LATIN NAME	COMMON NAME	SIZE	ROOT	1" CAL	2" CAL	3" CAL	4" CAL
1	ADN	Asar. x. Perennial	Asar. Blue Maids	6-8"	POT				
2	ADN	Asar. x. Perennial	Asar. Blue Maids	6-8"	POT				
3	ADN	Asar. x. Perennial	Asar. Blue Maids	6-8"	POT				
4	ADN	Asar. x. Perennial	Asar. Blue Maids	6-8"	POT				
5	ADN	Asar. x. Perennial	Asar. Blue Maids	6-8"	POT				
6	ADN	Asar. x. Perennial	Asar. Blue Maids	6-8"	POT				
7	ADN	Asar. x. Perennial	Asar. Blue Maids	6-8"	POT				
8	ADN	Asar. x. Perennial	Asar. Blue Maids	6-8"	POT				
9	ADN	Asar. x. Perennial	Asar. Blue Maids	6-8"	POT				

GENERAL NOTES

1. CONTACT DIGGERS HOTLINE 5 WORKING DAYS PRIOR TO THE START OF EXCAVATION / CONSTRUCTION.
2. ALL PLANTINGS SHALL MEET THE NURSERYMAN'S ASSOCIATION STANDARDS.
3. ALL PLANTINGS SHALL BE PLANTED TO MEET THE NURSERYMAN'S ASSOCIATION STANDARDS.
4. ALL TREES TO BE PLANTED WITH A MINIMUM OF 3 INCHES.
5. COORDINATE LANDSCAPE WORK WITH ALL TRADES (ELECTRIC, PLUMBING, GAS, ETC.).
6. PLANTING BEDS SHALL BE MALCHED WITH SHREDDED HARDWOOD MULCH WITH 2 INCHES OF 1/4" SCREENED COMPOST TO BE USED.

CONCEPTUAL SITE PLAN

DISCLAIMER: THE INFORMATION PROVIDED IS BASED ON SOURCES BELIEVED TO BE RELIABLE. THE INFORMATION IS NOT A GUARANTEE OF ACCURACY AND IS NOT A CONTRACT. THE INFORMATION IS PROVIDED FOR INFORMATIONAL PURPOSES ONLY.

APPROVED

DATE: _____

DATE: _____

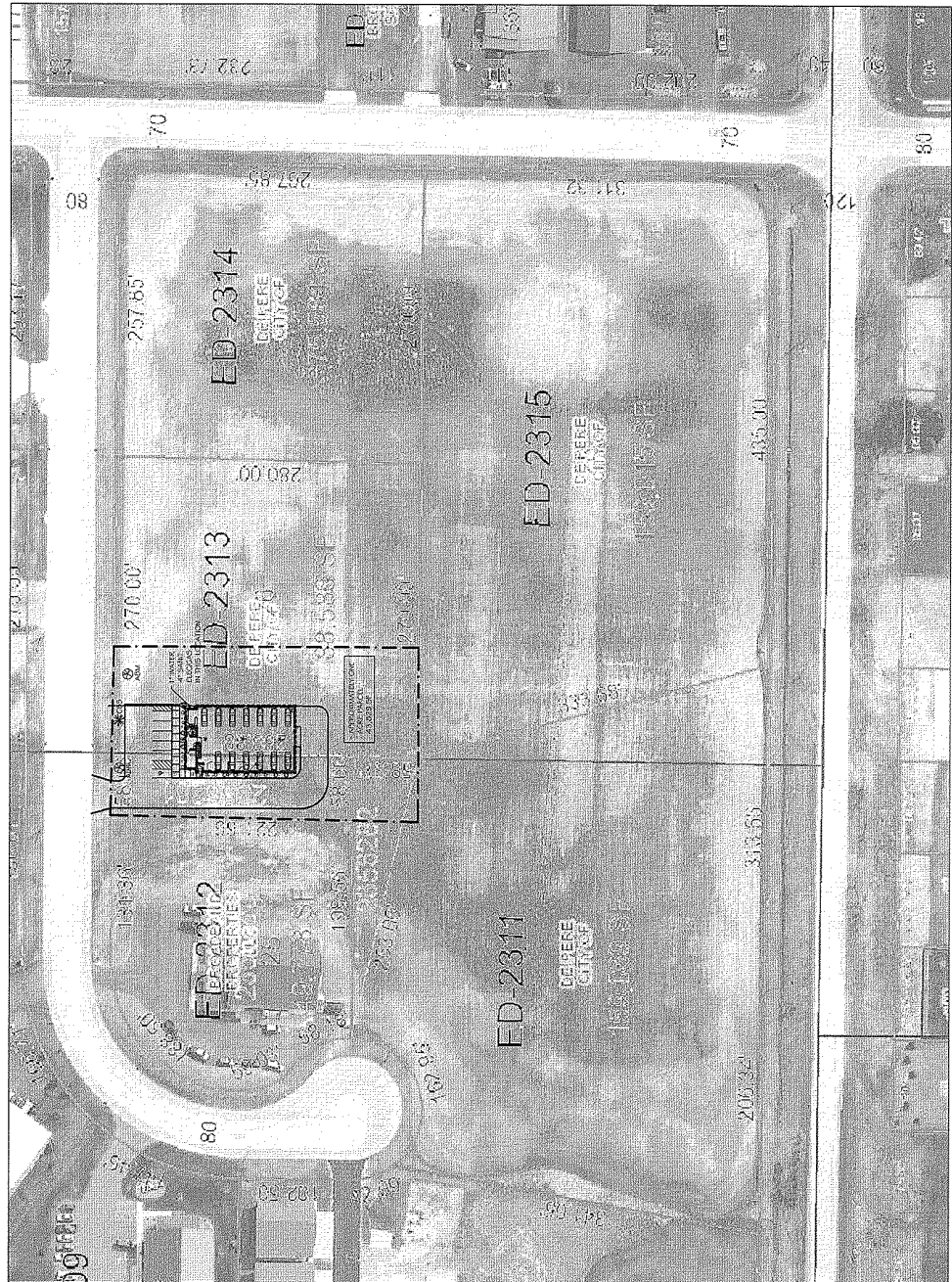
PROPOSED BUILDING FOR:
WISCONSIN, COUNTY OF:
13-7513

SCALE VERIFICATION
THIS PLAN SCALE ACCURATELY
JOB NUMBER:
SALES REP: JIM THYESS
(920) 371-3011
DRAWN BY: DPO
DATE: 8-8-13
REVISED:
A

ISSUED FOR:
☐ PRELIMINARY
☐ BID SET
☐ CONSTRUCTION
SHEET

C1.1

2.3.a

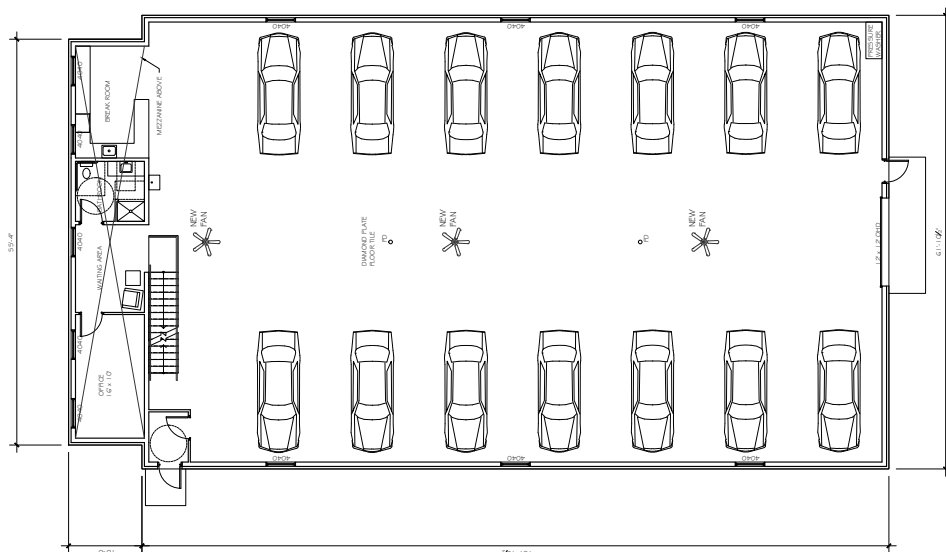
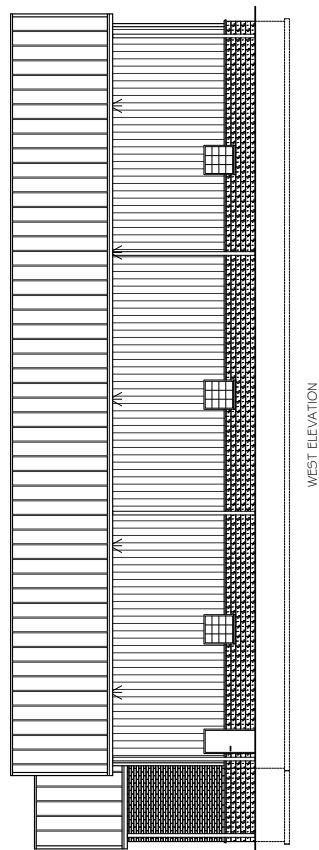
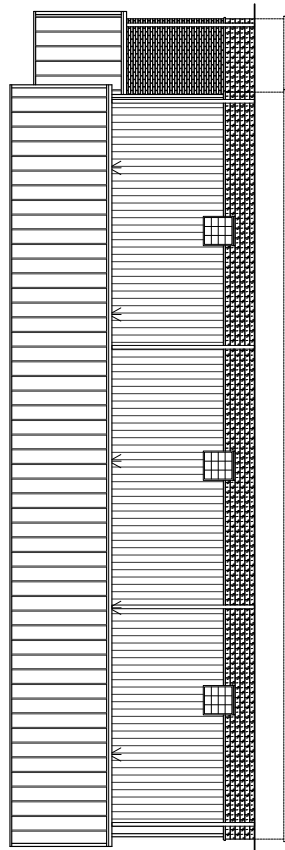
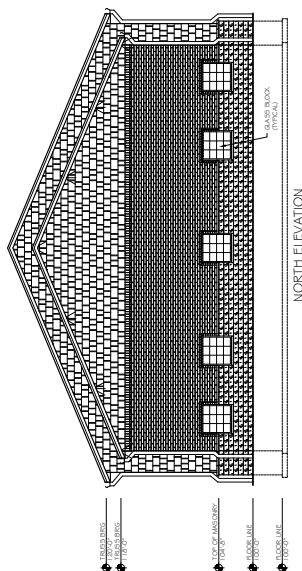
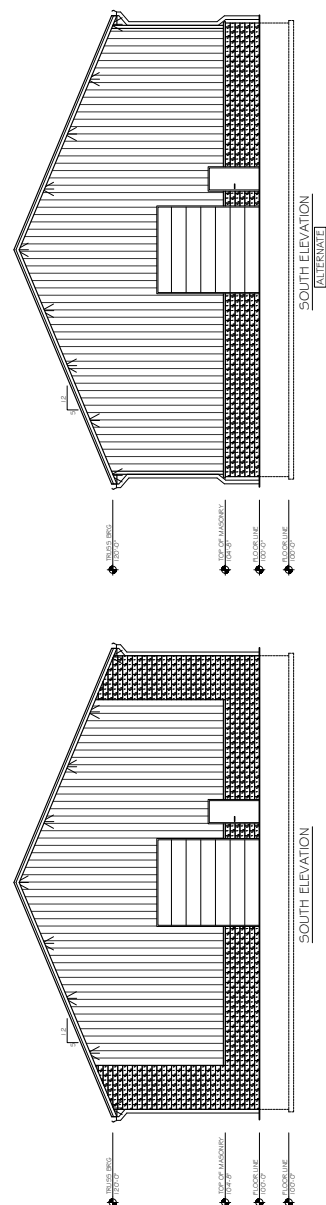


PLANT MATERIAL SCHEDULE				
COUNT	MARK	PLANT NAME	SIZE	NOTES
1	ED-2311	Aspen Tree	2" CAL	1" CAL
1	ED-2312	Pinus strobus	6" CAL	1" CAL
1	ED-2313	Pinus strobus	6" CAL	1" CAL
1	ED-2314	Pinus strobus	6" CAL	1" CAL
1	ED-2315	Pinus strobus	6" CAL	1" CAL
1	ED-2316	Pinus strobus	6" CAL	1" CAL
1	ED-2317	Pinus strobus	6" CAL	1" CAL
1	ED-2318	Pinus strobus	6" CAL	1" CAL
1	ED-2319	Pinus strobus	6" CAL	1" CAL
1	ED-2320	Pinus strobus	6" CAL	1" CAL
1	ED-2321	Pinus strobus	6" CAL	1" CAL
1	ED-2322	Pinus strobus	6" CAL	1" CAL
1	ED-2323	Pinus strobus	6" CAL	1" CAL
1	ED-2324	Pinus strobus	6" CAL	1" CAL
1	ED-2325	Pinus strobus	6" CAL	1" CAL
1	ED-2326	Pinus strobus	6" CAL	1" CAL
1	ED-2327	Pinus strobus	6" CAL	1" CAL
1	ED-2328	Pinus strobus	6" CAL	1" CAL
1	ED-2329	Pinus strobus	6" CAL	1" CAL
1	ED-2330	Pinus strobus	6" CAL	1" CAL
1	ED-2331	Pinus strobus	6" CAL	1" CAL
1	ED-2332	Pinus strobus	6" CAL	1" CAL
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1	ED-2342	Pinus strobus	6" CAL	1" CAL
1	ED-2343	Pinus strobus	6" CAL	1" CAL
1	ED-2344	Pinus strobus	6" CAL	1" CAL
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1	ED-2368	Pinus strobus	6" CAL	1" CAL
1	ED-2369	Pinus strobus	6" CAL	1" CAL
1	ED-2370	Pinus strobus	6" CAL	1" CAL
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1	ED-2396	Pinus strobus	6" CAL	1" CAL
1	ED-2397	Pinus strobus	6" CAL	1" CAL
1	ED-2398	Pinus strobus	6" CAL	1" CAL
1	ED-2399	Pinus strobus	6" CAL	1" CAL
1	ED-2400	Pinus strobus	6" CAL	1" CAL

- GENERAL NOTES**
1. CONTACT DESIGNER PRIOR TO THE START OF DEMOLITION / CONSTRUCTION.
 2. ALL PLANTINGS SHALL MEET THE NURSERYMAN'S ASSOCIATION STANDARDS.
 3. ALL PLANTINGS SHALL BE PLANTED TO A DEPTH OF 6 INCHES AND SHALL BE WATERED DAILY FOR THE FIRST 30 DAYS.
 4. ALL TREES TO BE PLANTED WITH A MINIMUM OF 3 STAKES.
 5. COORDINATE LANDSCAPE WORK WITH ALL TRADES (ELECTRIC, PLUMBING, MECHANICAL, ETC.).
 6. PLANTING BEDS SHALL BE MULCHED WITH SHIPPED HARDWOOD MULCH WITH 2 INCHES SPACING AND 4 INCHES DEPTH.

CONCEPTUAL SITE PLAN
REQUIREMENT: THE SITE INFORMATION PROVIDED IS BASED ON THE INFORMATION PROVIDED BY THE CLIENT AND IS NOT TO BE USED FOR ANY OTHER PURPOSE. BAYLAND BUILDINGS INC. IS NOT RESPONSIBLE FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT.

APPROVED
DATE: _____
BY: _____
DESIGNER SIGNATURE: _____
DATE: _____



FLOOR PLAN

[illegible]

APPROVED _____ DATE _____
 CHANDIS SIGNATURE _____
 SALES REPRESENTATIVE _____ DATE _____
SALES REPRESENTATIVE MUST BE EMPLOYED BY THE COMPANY

City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: August 26, 2013

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the Site Plan application for a new 3,200 sq ft office building at 785 Scheuring Road. Applicant: PEDS.

ATTACHMENTS:

- PC_SP_OfficeBldg_August2013 (PDF)

**City of De Pere
Staff Comments**

**Plan Commission
August 26, 2013**

Item #4: Review the Site Plan Application for a 3,200 square foot structure to be located at 785 Scheuring Road in West De Pere. Applicant: PEDS, LLC.

Overview	
The site plan application is for a 3,200 square foot structure to be located at 785 Scheuring Road. This parcel is zoned I-2 limited industrial zone and it is intended to be used for office related functions.	
Public Works	
Does the project meet the City's Stormwater regulations?	■ Yes No □ NA
Sewer properly connected?	■ Yes No □ NA
Water properly connected?	■ Yes No □ NA
Access properly designed (driveway and sidewalks)?	Yes ■ No □ NA
Are there any issues with easements or right-of-ways?	■ Yes No □ NA
Are there other items that need to be addressed?	Yes ■ No □ NA
Required Actions: Sanitary Sewer: No comments. Water Main: 1. Provide a horizontal bend in the water service after the corporation. See the City of De Pere 2013 Standard Specifications for details. Storm Water Management: No comments. Traffic/Vehicle Access: 1. The two drives on Scheuring are existing. However, a portion of the improvements to the western drive are located on private property owned by DJH Investments. Provide documentation that there is an easement in place on the private property for the driveway. 2. The new driveway apron on Patriot Way is labeled as concrete, but shaded as asphalt. Update the shading to reflect concrete, which is the material required. Other: 1. Verify the location of the gas. 2. The southernmost parking stall will be very difficult to exit if there are vehicles parked in the adjacent stall. Provide verification with a turning movement template on how someone will exit this stall or remove as a parking stall 3. The walking path/sidewalk on Scheuring between the two driveways is shown as new asphalt. In the future, when modifications are required to the asphalt path/sidewalk along all of Scheuring Road, it is to be replaced with concrete. This section should be replaced with concrete if removed. 4. The driveway entrances off of Scheuring are lower than flow line of the curb. The aprons and sidewalk should be higher than the curb flow line so that water does not flow from the street onto private property. 5. Adjust the numbers under "Planned Erosion Control Practices" on page C5.0. The numbers do not match the application.	
Forestry & Parks	
Does the project meet City Landscaping Regulations?	■ Yes No □ NA
Required Actions: No additional comments.	
Fire	
Does the project meet City Fire Codes?	■ Yes No □ NA
Required Actions: 1. Provide complete detailed plans for construction review; provide details of use for all areas of structure. Provide detailed plans prior to start of construction. 2. Separation of hazards/use may be required. Provide floor arrangement for inside structure. Detail any hazardous substances/operations anticipated within the structure. 3. Provide details for the means of egress throughout the structure. Provide exit/emergency lighting throughout the means of egress. 4. No smoking and floor loading signage may be required. 5. Provide fire extinguishers at maximum 75' travel distances, locate extinguishers towards the exits. 6. Provide fire alarm system drawings for approval prior to installation of any system. 7. Provide fire sprinkler system drawings for approval prior to installation of any system. 8. Recommend installation of key box for fire department access.	
Planning & Building Inspection	
Does the project meet design regulations (exterior building elevations/materials)?	■ Yes No □ NA
Does the project meet City setback requirements?	■ Yes No □ NA
Does the project meet City parking requirements?	■ Yes No □ NA
Does the project meet City lighting requirements?	Yes ■ No □ NA

Attachment: PC_SP_OfficeBldg_August2013 (1300 : Soderlund Site Plan)

City of De Pere
Staff Comments

Plan Commission
August 26, 2013

Is the refuse properly sited, and screened?	Yes ☒ No ☐ NA ☐
Will the signage meet City code?	Yes ☒ No ☐ NA ☐
Are there other items that need to be addressed?	Yes ☒ No ☐ NA ☐

Required Actions:

1. Provide a lighting plan on how external lighting will be minimized from shining into the adjacent residential area.
2. The refuse needs to be enclosed with a matching material and have a non-metal gate.
3. When signage is installed, it will need to be reviewed and approved by the City.

Recommendation:

Staff recommends approval of the project with the items above being addressed.

	CITY OF DE PERE APPLICATION FOR SITE PLAN REVIEW	Fee: \$ 245.00 Receipt #: <u>85790</u> Date: <u>8/20/13</u>
---	--	---

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: PEDS LLC

Mailing Address: PO 5512 DE PERE WI 54115

Phone: 920-655-8457

Email: SODIE5141@GMAIL.COM

I hereby appoint the following as my agent for purposes of this application:

Agent: Name: _____

Mailing Address: _____

Phone: _____

Email: _____

B. Property Information

Address/Location of Property: 785 SCHEURING ROAD Parcel #: WD-207-1

Parcel Dimension: Irregular (198' x 145') Parcel Area: .473 AC/ML

Legal Description: ASSESSOR'S PLAT OF W DEPERE NYL 181 FT OF
W 198 FT OF LOT 188 LYING E OF W.P.S. R/W
5' S OF C/L SCHEURING ST & EX PARROT WAY

A Site Plan Review is requested as authorized by the De Pere Zoning Code, Section(s): Article XIII, Section 14.60.


 Owner Signature

8-19-13
 Date

 Agent Signature

 Date

A plan consisting of all applicable information listed on the attached shall be submitted with this application. An AutoCAD drawing matching the state approved plans must be submitted in Brown County Coordinates before permits can be issued.

PEDS, LLC.
P.O. Box 5512
De Pere, WI 54115
August 18, 2013

Ken Pabich, Director of Planning and Economic Development
City Plan Commission
335 S. Broadway
De Pere, WI 54115

RE: Site Plan approval

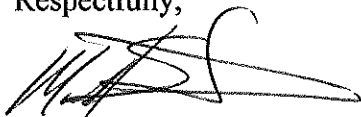
Dear Ken,

The City of De Pere recently rezoned land that I own at 785 Scheuring Road from I-2, Limited Industrial District to CE-O-2, Corporate Executive Office District. The building on this property was used as a creamery years ago and has been vacant and fallen into a state of disrepair. It is located west of Syble Hopp School and next to the railroad tracks. I will be demolishing it and plan on constructing a new office building.

Attached is a copy of the site plan that shows the new building, parking areas, utilities and a colored architectural rendering. Last month the Zoning Board of Appeals granted a 15' rear yard setback variance due to the property being an existing lot of record. All building elevations will be a combination of split face concrete block and brick and will be complemented by a green metal roof. The gable ends will have cedar shake like siding. The inside will consist of 1-3 office spaces. The building elevation shows one main door but may have 3 doors depending of the leasing needs of future tenants. Sufficient parking is provided along with an additional driveway off of Patriot Way.

I request that the Plan Commission review and approve this site plan at their meeting on August 26th. I am confident that this development with a "touch of a railroad theme" will be a welcome addition to the City of De Pere. Please contact me at 336-0440 or 655-8457 if you have any questions. I will also be in attendance at the meeting. Thank you in advance for your cooperation.

Respectfully,



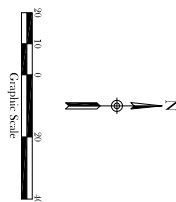
Mark Soderlund

GENERAL CONTRACTOR
PEDS, LLC
PO BOX 5512
DEPERE, WI 54115

[illegible]

- C0.0 COVER SHEET
- C1.0 DEMOLITION PLAN
- C2.0 SITE PLAN
- C3.0 GRADING PLAN
- C4.0 UTILITY PLAN
- C5.0 EROSION CONTROL PLAN
- C5.1 EROSION CONTROL DETAILS
- C6.0 SITE DETAILS

1. FOR LEGEND AND ABBREVIATIONS SEE SHEET C1.0.
2. FOR EROSION CONTROL, PLAN AND NOTES SEE CS.0 AND CS.1.
3. FOR NOTES SHOWN THIS 2, SEE SHEET A/V NOTES. THIS SHEET,
4. CARE SHALL BE TAKEN TO PROTECT EXISTING IMPROVEMENTS TO REMAIN.
5. LAND DISTURBING ACTIVITIES SHALL NOT TAKE PLACE PRIOR TO INSTALLATION OF EROSION CONTROL MEASURES.



LEGEND

Existing	Proposed
	Building line
	Overhead Wires
	Fence
	Asphalt
	Curbside
	Concrete
	Curb
	Gravel
	Parking Stripe
	Sanitary Sewer
	Storm Sewer
	Watermain
	Minor Culvert
	Power Pole
	Electricity Paving
	Sanitary Section
	Sanitary Manhole
	Catch Basin
	Downspout
	Storm drain
	Storm Manhole
	Yard Drain
	Decision Tree
	Fire Hydrant
	Wear Strip Off
	Water Valve
	Asphalt
	Building
	Concrete
	Gravel
	Erosion Mat
	Demo Area

DIGGERS HOTLINE
CALL DIGGERS HOTLINE
1-800-242-8511
TOLL FREE

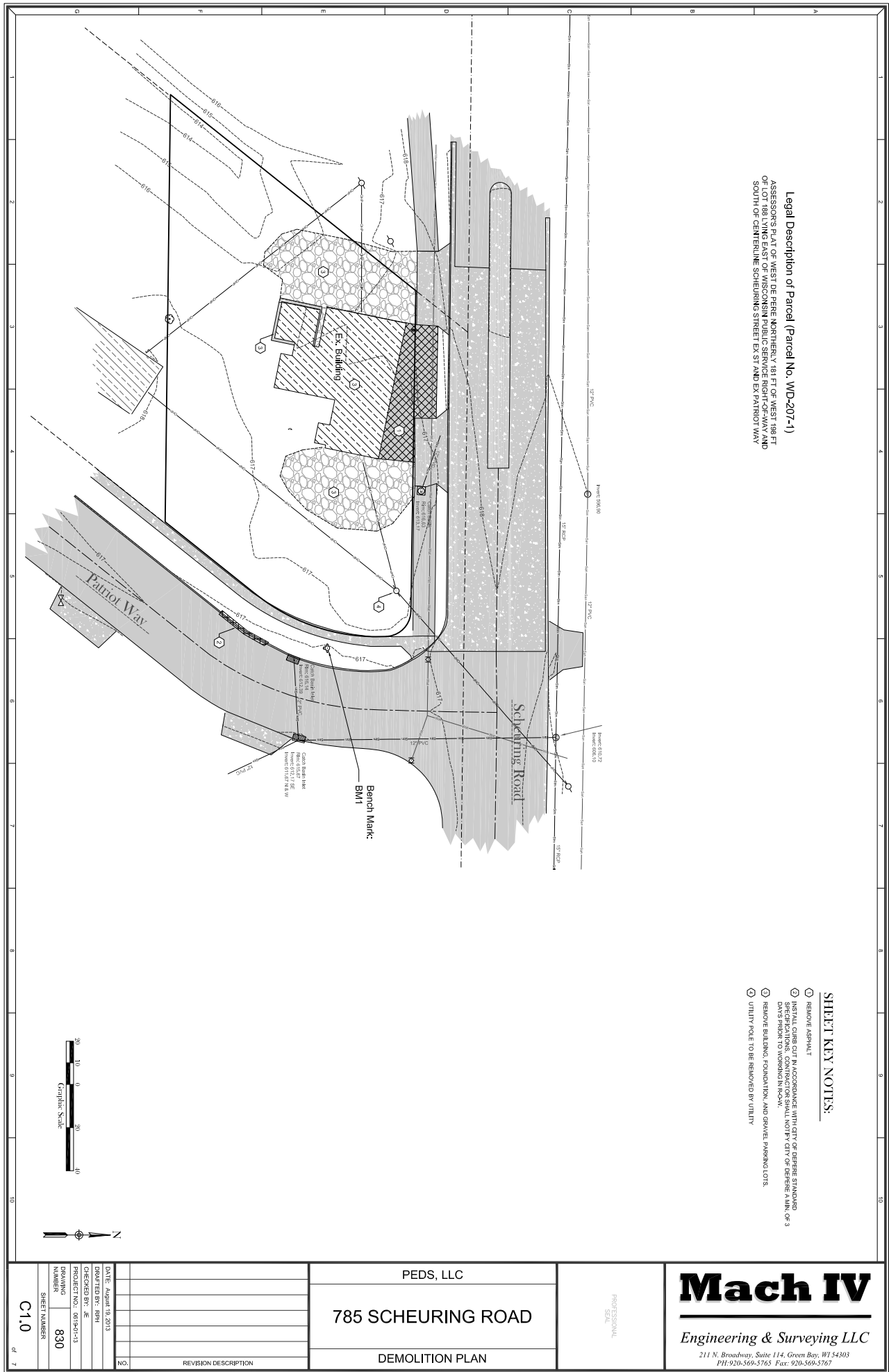
WISCONSIN STATUTE 90.20(7)(1) & (2) REQUIRES THAT A
WORKER NOT WORK BEFORE YOU EXCAVATE

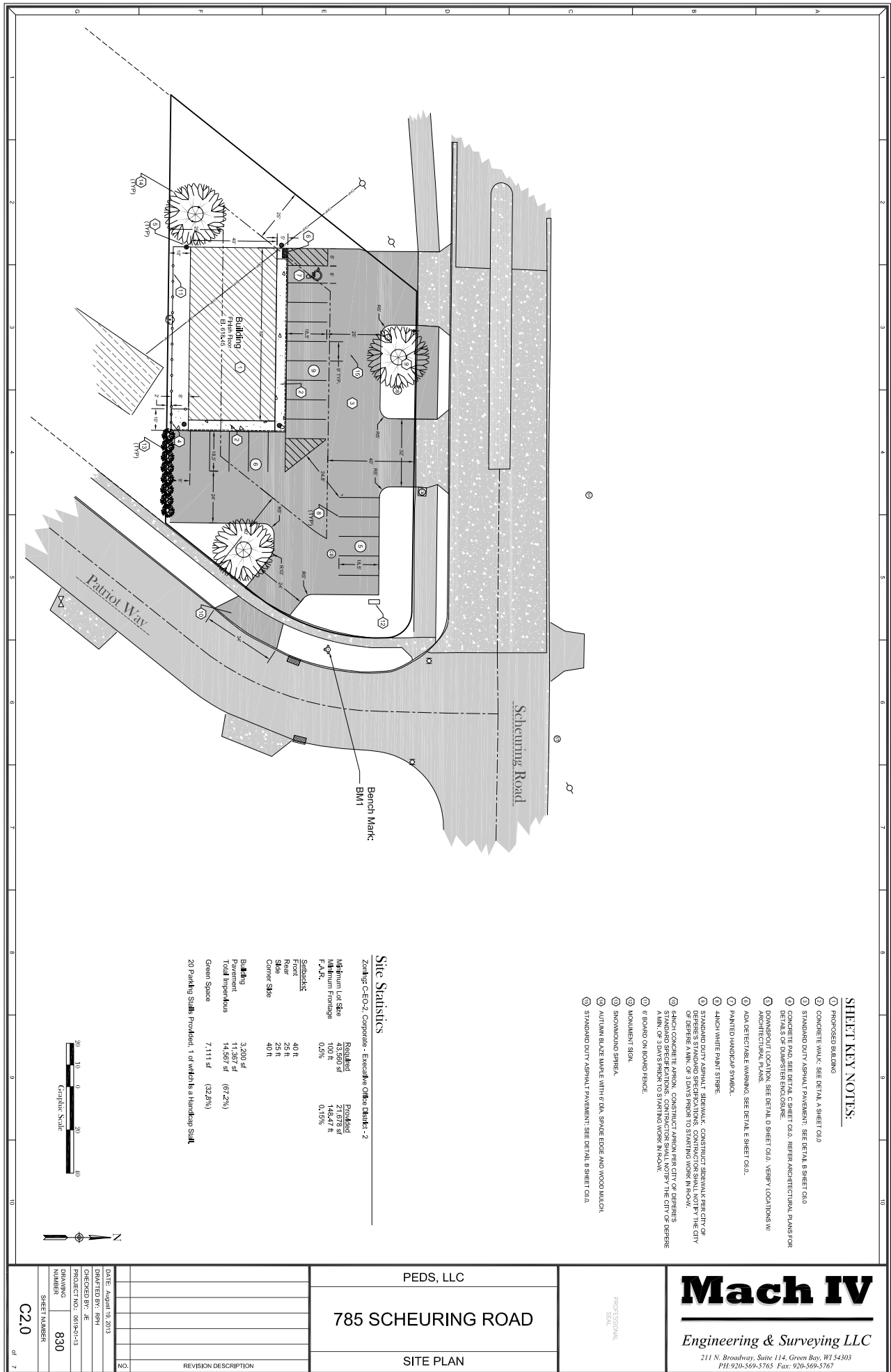
THE LOCATION OF THE EXISTING UTILITY INSTALLATIONS
MAY BE CHANGED WITHOUT NOTICE. IT IS THE RESPONSIBILITY
OF THE CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES
WITHIN THE PROJECT AREA THAT ARE NOT SHOWN

[illegible]

Mach IV

Engineering & Surveying LLC
 211 N. Broadway, Suite 114, Green Bay, WI 54303
 PH: 920-569-5765 Fax: 920-569-5767





DATE: August 18, 2013

DRAWN BY: RPH

CHECKED BY: JE

PROJECT NO.: 0619-01-13

DRAWING NUMBER: 830

SHEET NUMBER: C2.0

NO.

REVISION DESCRIPTION

PEDS, LLC

785 SCHEURING ROAD

SITE PLAN

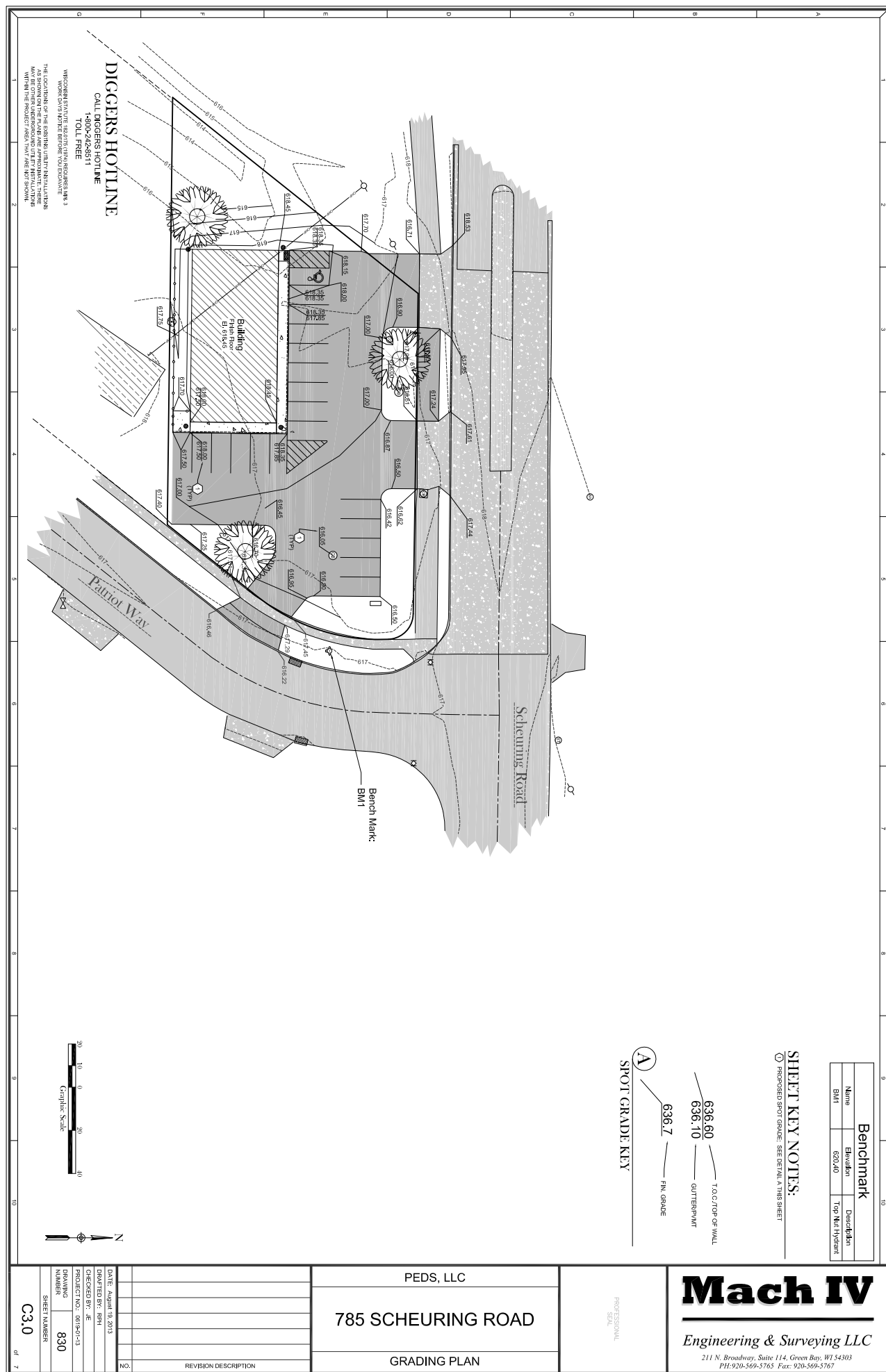
PROFESSIONAL SEAL

Mach IV

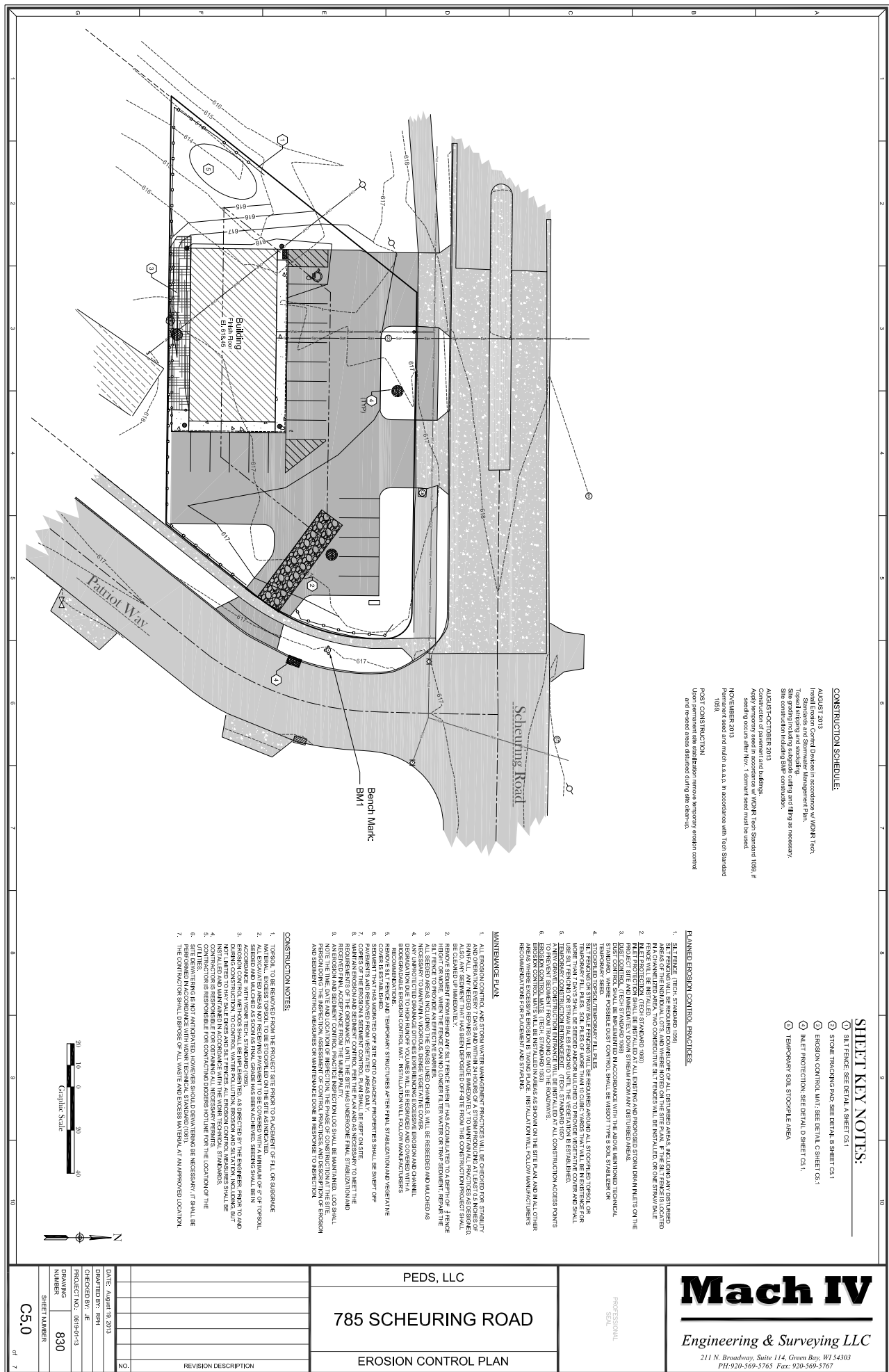
Engineering & Surveying LLC

211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-5765 Fax: 920-569-5767

Packet P







PEDS, LLC

785 SCHEURING ROAD

EROSION CONTROL PLAN

Mach IV

Engineering & Surveying LLC

211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-5765 Fax: 920-569-5767

NO.	REVISION DESCRIPTION	DATE

DATE: August 18, 2013

DRAWN BY: RPH

CHECKED BY: JE

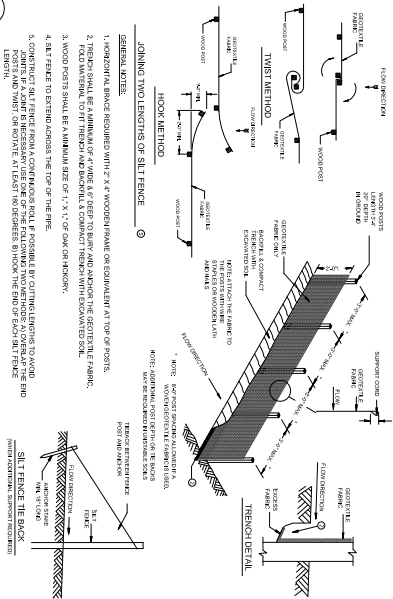
PROJECT NO.: 0619-01-13

DRAWING NUMBER: 830

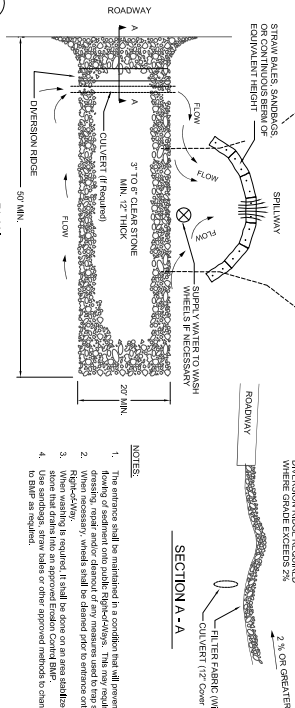
SHEET NUMBER: C5.0

PROFESSIONAL SEAL

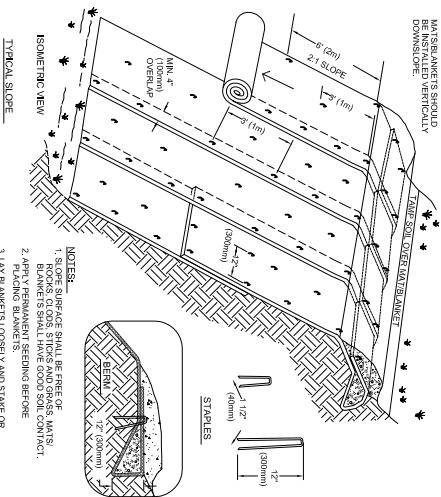
A SILT FENCE



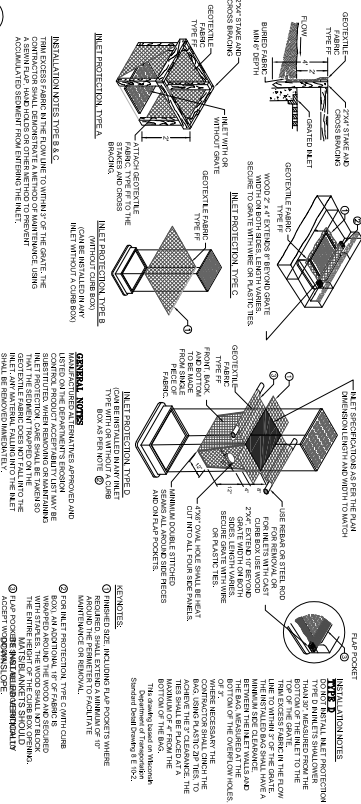
B STONE TRACKING PAD



C TYPICAL SLOPE SOIL STABILIZATION EROSION CONTROL MAT FOR SLOPE INSTALLATION



D INLET PROTECTION



DATE: August 18, 2013
DRAWN BY: JH
CHECKED BY: JE
PROJECT NO.: 0619-01-13
SHEET NUMBER: 830

PEDS, LLC

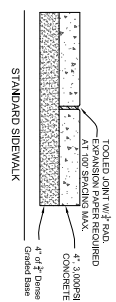
785 SCHEURING ROAD

EROSION CONTROL DETAILS

Mach IV

Engineering & Surveying LLC

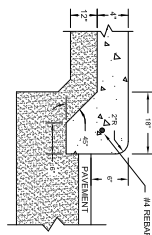
211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-5765 Fax: 920-569-5767



NOTES:

1. CONCRETE SHALL RECEIVE A BROOMED FINISH.
2. JOINT SPACING SHALL BE 5' OR WIDTH OF SIDEWALK, WHICHEVER IS GREATER, (10' MAX).
3. SIDEWALK WIDTH VARIES.

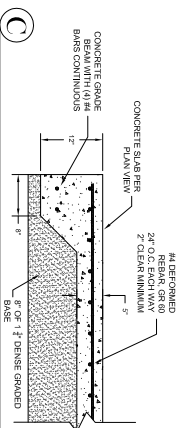
3. SIDEWALK WIDTH VARIES.
CONCRETE SIDEWALK



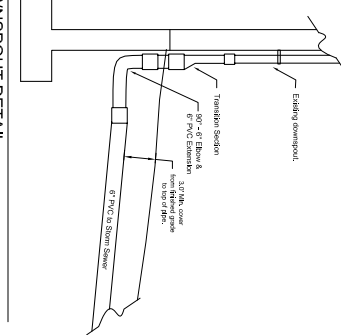
CN

1. CONSTRUCTION SHALL BE IN ACCORDANCE WITH WISCONSIN DOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION

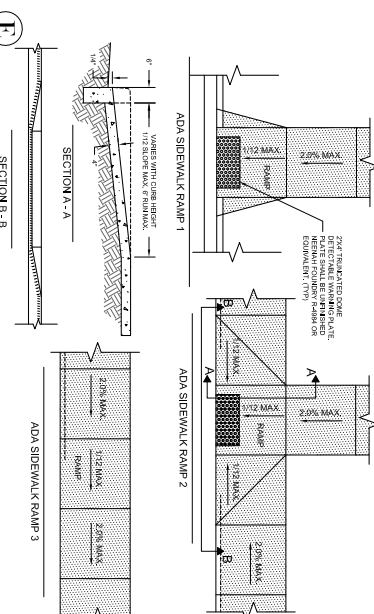
D
STANDARD ASPHALT PAVEMENT SECTION



DUMPSTER ENCLOSURE PAD



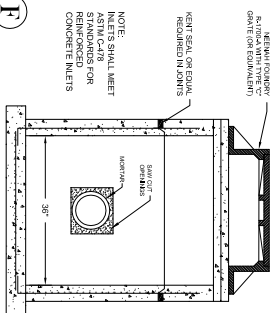
DOWNSPOUT DETAIL



NOTES

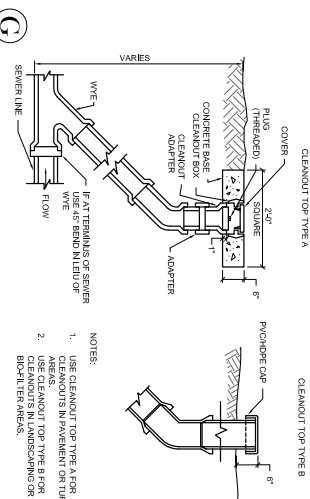
1. RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH ADA ACCESSIBILITY GUIDELINES, 2010 INTERNATIONAL BUILDING CODE (IBC) AND 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN.
2. THERE IS NO PEDESTRIAN TRAFFIC FROM THE SIDE OF THE RAMP TO THE RAMP.
3. THE RAMP 2 NUMBER ADA ROUTE MEETS CURB AND THERE IS PEDESTRIAN TRAFFIC FROM THE SIDE OF THE RAMP.
4. THE RAMP 3 NUMBER ADA ROUTE MEETS CURB AND THERE IS NO PEDESTRIAN TRAFFIC FROM THE SIDE OF THE RAMP.
5. THE RAMP 4 NUMBER ADA ROUTE MEETS CURB AND THERE IS NO PEDESTRIAN TRAFFIC FROM THE SIDE OF THE RAMP.
6. MAXIMUM RAMP RISE IS AT 1/12 SLOPE FOR A MAXIMUM RISE OF .75. RAMPS WITH A RISE OF .75 REQUIRE AN ADA COMPLIANT HANDRAIL.

SECTION B - E
ADA SIDEWALK RAMPS



NOTE:
INLETS SHALL MEET
ASTM C-478
STANDARDS FOR
REINFORCED
CONCRETE INLETS

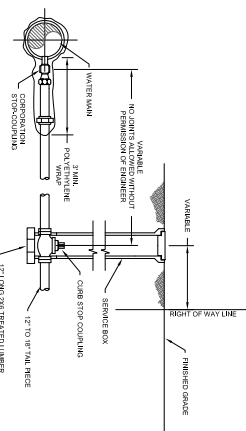
PRECAST CONCRETE CATCH BASIN



NOTES:

1. USE CLEANOUT TOP TYPE A FOR CLEANOUTS IN PAVEMENT OR TULLE AREAS.
2. USE CLEANOUT TOP TYPE B FOR CLEANOUTS IN LANDSCAPING OR BIO-FILTER AREAS.

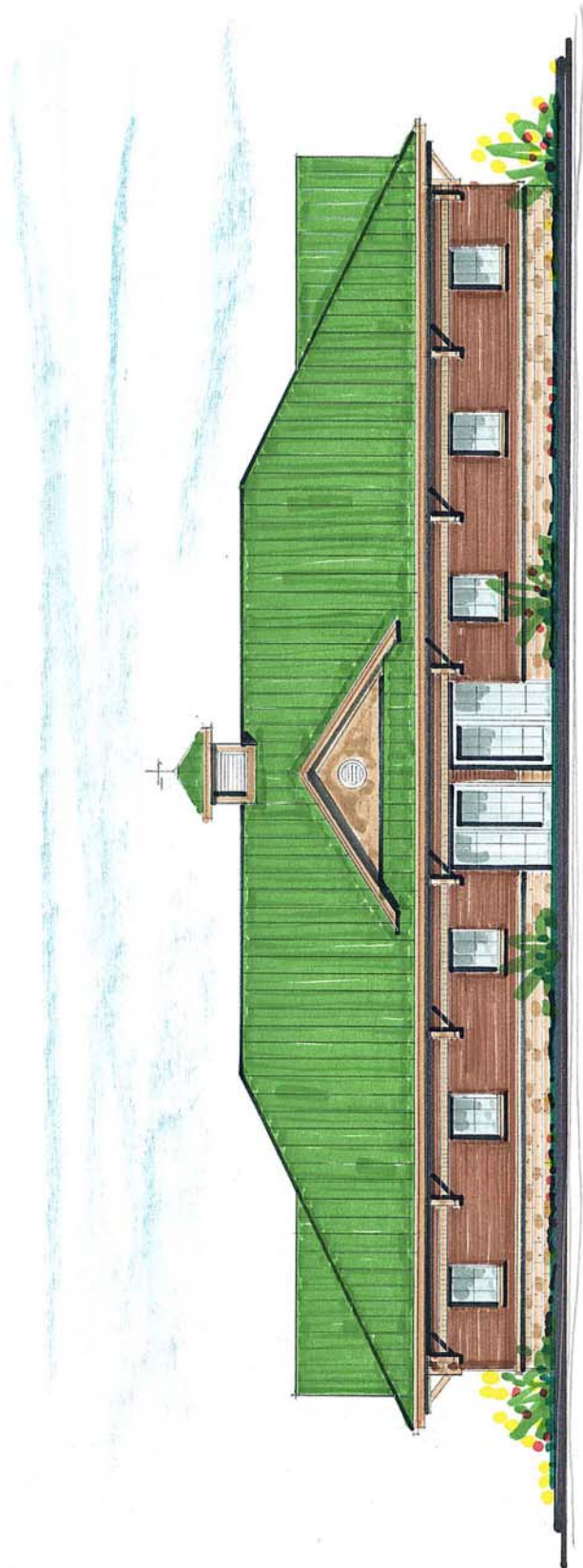
G
CLEANOUT



NOTES:

1. WATER SERVICE CONNECTION SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARD SPECIFICATION FOR SEWER AND CONSTRUCTION IN DISCONS.
2. DISTANCE FROM CURB STOP TO RIGID OF WAY LINE (VARIES BY MUNICIPALITY)
3. PROVIDE FIRST PROTECTION ON SERVICE BOX IN ACCORDANCE WITH STATE STANDARDS.
4. PIPE VARIETY SHALL BE IN ACCORDANCE WITH LOCAL MUNICIPAL STANDARD. IF NO STANDARD IS PRESENT, PIPE SHALL BE EITHER TYPE K COPPER, OR SDR 9 PE.

WATER SERVICE CONNECTION



LLOYD CARPENTER
ARCHITECT, LLC
2663 Maple Hills Dr.
Green Bay, WI 54313

City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: August 26, 2013

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the General Development Plan Application for a 14,688 square foot 2-story condominium / apartment complex at the corner of Cedar Street and Ninth Street. Applicant: Bay Architects, LLC.

ATTACHMENTS:

- PC_SP_GDPHousing_August2013 (PDF)

**City of De Pere
Staff Comments**

**Plan Commission
August 26, 2013**

Item #5: Review the General Development Plan Application for a 10,944 square foot 2-story condominium complex at the corner of Cedar Street and Ninth Street. Applicant: Bay Architects, LLC.

Overview	
The Cedar Creek Crossing Condominiums project is for a 10,944 square foot 2-story condominium complex that will contain 6-units. The project would be a multi-family development which would match the development on North Ninth and Cedar (pictures attached). The project originally had 5 units proposed; however with the vacation of Elm, there is room for 6 units. Please note that at the June meeting, the Plan Commission recommended 5 units. This was based on drawings that were not properly to scale. The six units proposed fits with the same area as presented for 5 units at the last meeting.	
Public Works	
Does the project meet the City's Stormwater regulations?	Yes ☐ No ☒ NA
Sewer properly connected?	Yes ☐ No ☒ NA
Water properly connected?	Yes ☐ No ☒ NA
Access properly designed (driveway and sidewalks)?	☒ Yes ☐ No ☐ NA
Are there any issues with easements or right-of-ways?	Yes ☒ No ☐ NA
Are there other items that need to be addressed?	Yes ☒ No ☐ NA
Required Actions:	
Sanitary Sewer:	
1. Sanitary sewer is located in the center of the street. The location of connection will be based on the size required and location of existing laterals.	
Water Main:	
1. Water main is located in the street near the west side curb on the south side of the property and on the east half of the street on the north. There is one water service to the parcel. A new water service is likely required due to the water demands.	
Storm Water:	
1. Storm sewer discharge will likely be to the City owned parcel to the west. Any discharges to the City parcel will require stabilization to the ditch to prevent erosion and minimize standing water.	
Driveway:	
1. The existing driveway to parcel will need to be removed. This will include removing mountable curb and gutter and replacing with the City standard for concrete curb and gutter.	
Forestry & Parks	
Does the project meet City Landscaping Regulations?	☒ Yes ☐ No ☐ NA
Required Actions:	
Forestry and Parks did not have any issues with the General Development Plan	
Fire	
Does the project meet City Fire Codes?	☒ Yes ☐ No ☐ NA
Required Actions:	
1. Provide complete detail plan for construction review. Provide details and definitions of use for all areas of structure.	
Planning & Building Inspection	
Does the project meet design regulations (exterior building elevations/materials)?	☒ Yes ☐ No ☐ NA
Does the project meet City setback requirements?	☒ Yes ☐ No ☐ NA
Does the project meet City parking requirements?	☒ Yes ☐ No ☐ NA
Does the project meet City lighting requirements?	Yes ☐ No ☒ NA
Is the refuse properly sited, and screened?	☒ Yes ☐ No ☐ NA
Will the signage meet City code?	☒ Yes ☐ No ☐ NA
Are there other items that need to be addressed?	Yes ☐ No ☒ NA
Required Actions:	
1. The parcels will need to be combined or an easement will be required for the entrance and drive path.	

Recommendation:

Staff recommends approval of the General Development Plan and that the General Development Plan and rezoning request be forwarded to the City Council for a public hearing.

Attachment: PC_SP_GDPHousing_August2013 (1308 : Cedar General Dev Plan)

Item #5: Review the Rezoning Application for 416 N Ninth St (Parcel WD-714) from Single & Two Family Residence (R-2) to General Residence with a Planned Development Overlay (R-3 PDD). Applicant: C&C Investments LLC.*

Description: The current parcel is vacant. The proposed project is to match the development that was approved for the corner of 9th and Cedar. The project is proposing 5 or 6 units which will depend on the final setback requirements to be reviewed by the Plan Commission.

Location: 416 N Ninth.

Zoning

Existing Zoning: The R-2 Single and Two-Family Residence District is designed to accommodate single family homes and duplexes along with compatible uses that are characteristic of low to medium density neighborhoods.

Proposed Zoning: The purpose of the Planned Development District is to promote the maximum benefit from coordinated area site planning, diversified location of structures, mixed compatible uses, provide for a safe and efficient system of pedestrian and vehicular traffic, attractive recreation and landscaped open spaces, economic design and location of public and private utilities and ensure adequate planning.

Adjacent Zoning: R-2 north, R-3PDD south, R-2 west, R-3 to the east.

Land Use

Current use: Vacant.

Use of Adjacent Property: Uses are consistent with the zoning.

Suitability to Existing Zoning: The existing zoning was discussed when the original project for 9th and Cedar were approved. It was discuss that this parcel would match the development.

Suitability to Proposed Zoning: The requested use would be compatible with the area.

Effects of Proposed Rezoning

Densities:	Change	Utilities:	Change	Police and Fire:	Change
Traffic:	Increase	Pedestrian:	Increase	Parking:	Provided on site
Highway Access:	NA	Garbage:	Increase	Property Value:	Increase
Pollution:	No change	Schools:	Increase		

Recommendation:

Based on staff review, we would recommend the following:

1. That the rezoning be approved, and forwarded to Council for the required public hearing.



CITY OF DE PERE
APPLICATION FOR
REZONING

Fee: \$ 250.00

Receipt #: 83760

Date:

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Monica Olles / C+C Investments of De Pere, LLC	Authorized Representative	Title	
Mailing Address 2667 Foxwood Ct	City De Pere	State WI	ZIP Code 54115
Email Address JOLLES@new.rr.com	Phone Number (incl. area code) 920-330-0189	Fax Number (incl. area code)	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity)	Contact Person	Title	
Mailing Address 416 N Ninth St	City De Pere	State WI	ZIP Code 54115
Email Address	Phone Number (incl. area code)	Fax Number (incl. area code)	

SECTION 3: Project or Site Location

Project Address/Description LAWTON FARMS E 125 FT OF N 125 FT OF LOT 46 & S1/2 VACATED ELM ST ADJ NLY	Parcel Number(s): WD-714
--	-----------------------------

SECTION 4: Proposed Conditional Use

Existing Zoning:	R-2 Single & Two Family Residence		
Proposed Zoning:	R-3 PDD General Residence with a Planned Development Overlay		
Adjacent Zoning: North R-2	Adjacent Zoning: South R-3 PDD	Adjacent Zoning: West R-2	Adjacent Zoning: East R-2
Present Use of Parcel	Vacant Land		
Proposed Use of Parcel	Multi-Family Development which matches the development at 900 Cedar St.		

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Monica L. Olles	Title Owner	Phone Number 920-330-0189
Signature of Applicant Monica L. Olles		Date Signed 6/10/2013

Attached additional sheets if necessary.

Attachment: PC_SP_GDPHousing_August2013 (1308 : Cedar General Dev Plan)

C&C Investments of DePere, LLC

2667 Foxwood Court
DePere, WI 54115
(920) 330-0189
jolles@new.rr.com

2.5.a

June 10, 2013

Ken Pabich
Director of Planning and Economic Development
City of DePere
335 S. Broadway
DePere, WI 54115

Dear Mr. Pabich:

Summary Letter for Rezoning Application

We are applying for the rezoning of parcel WD-714 from R-2 to R-3. We wish to construct condominiums in the same likeness as currently exists on 900-932 Cedar Street.

The number of units (5-6) would be contingent upon setback requirements to the existing parking lot of the current condominiums and to the city trail of the vacated Elm Street. The units would consist of two bedrooms and would be the same size of the existing Cedar Street units (see attached General Development Plan).

The planned building material would be primarily brick, with a small siding area over the garages. Again, it would be the same as the existing structure on Cedar Street.

Parking would be in the back of the unit where the garages are. The Cedar Street structure and the proposed structure for Ninth Street would share the existing driveway.

The proposed landscape would mirror that of the existing structure (see attached photo).

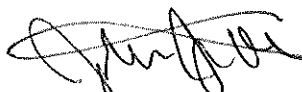
The proposed project timeline would be to begin the construction process upon rezoning approval.

Thank you for your consideration.

Sincerely,

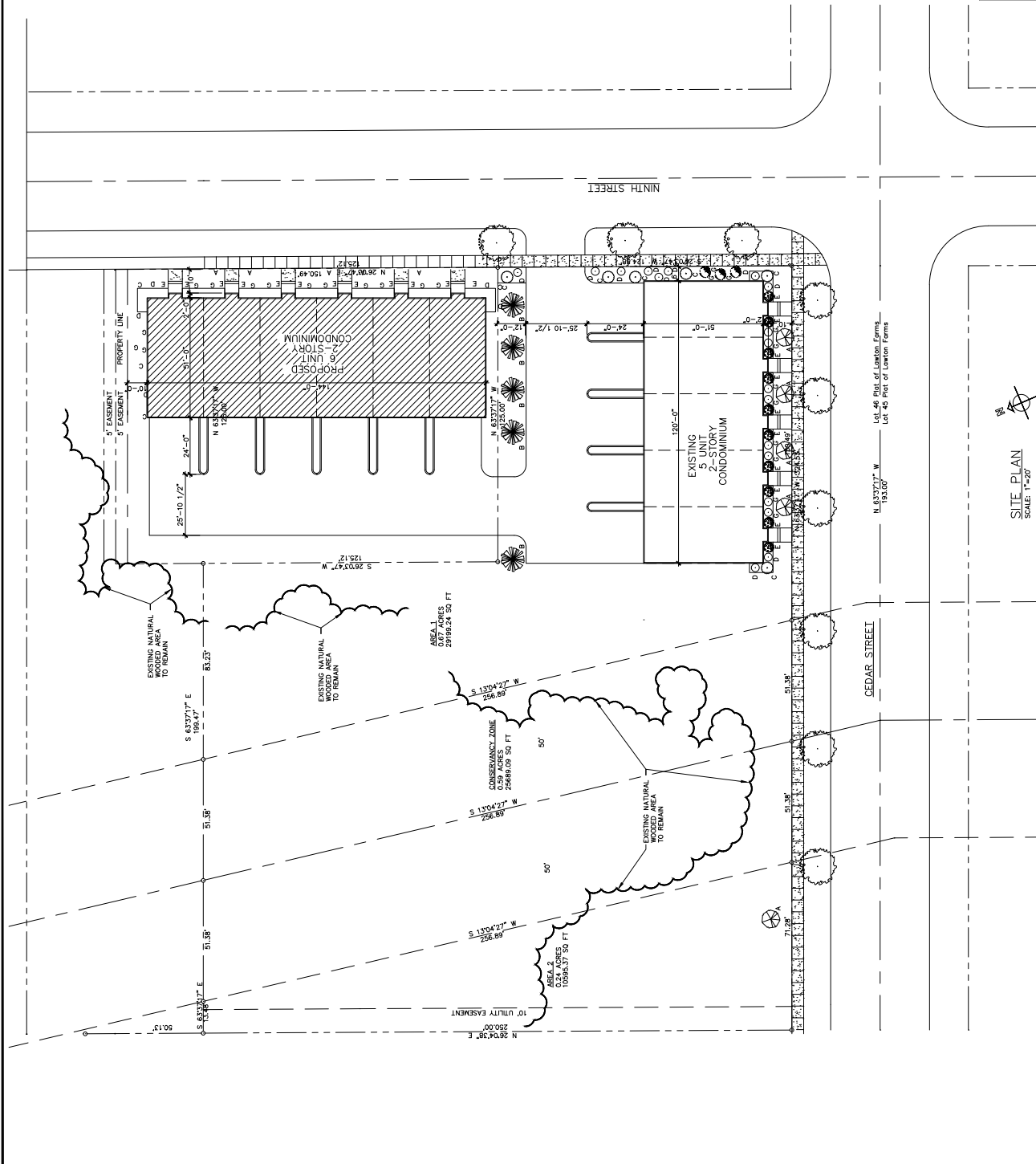


Monica L. Olles
Owner

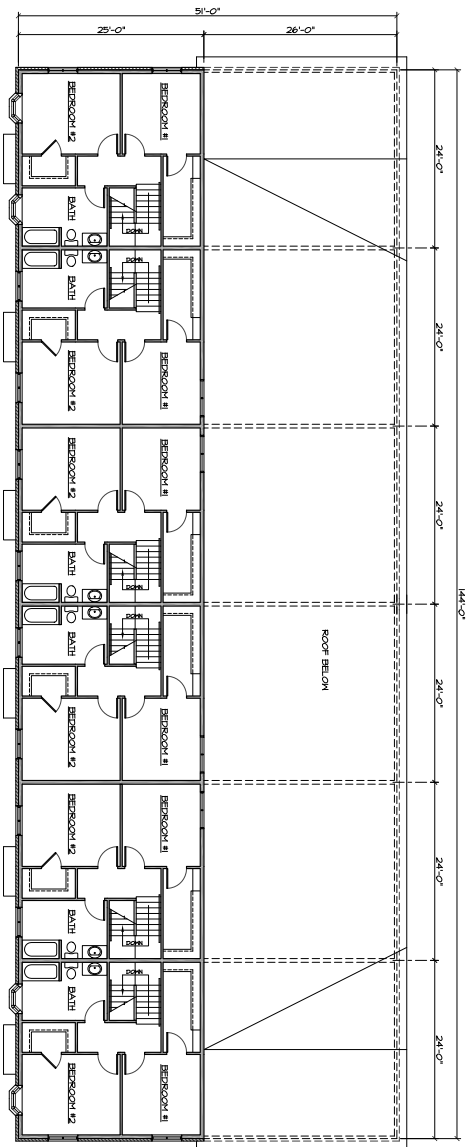


John J. Olles
Owner

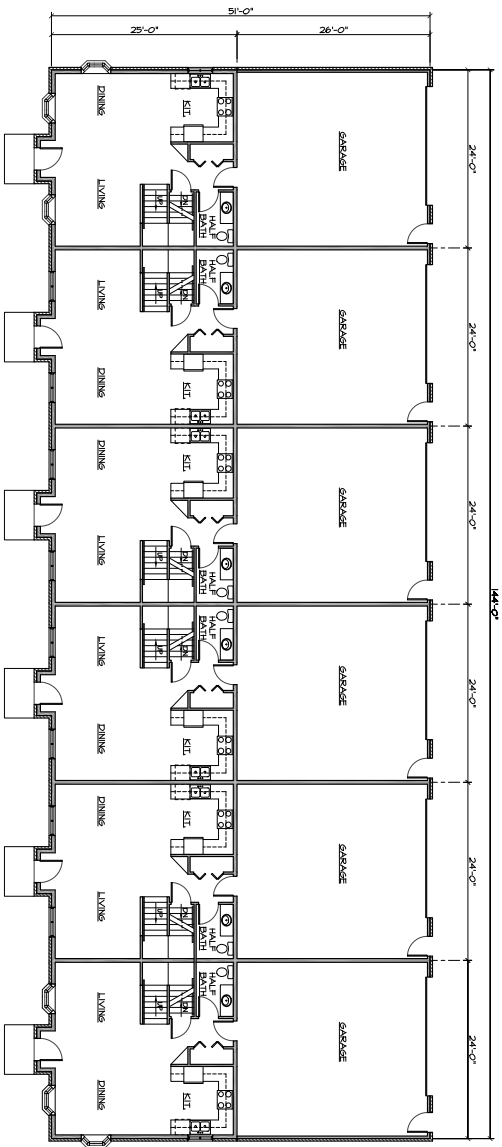
Attachment: PC_SP_GDPHousing_August2013 (1308 : Cedar General Dev Plan)



NOTE: ALTHOUGH EVERY EFFORT HAS BEEN MADE TO PREPARE ACCURATE PLANS AND CHECKING THE CONTRACTOR MUST VERIFY ALL DIMENSIONS AND BE RESPONSIBLE FOR THE CONSTRUCTION.	PROPOSED CONDOMINIUM COMPLEX CEDAR CROSSING DE PERE, WISCONSIN BAY ARCHITECTS, L.L.C. 3099 HELMERS HWY DE PERE, WI 54244 PHONE: 920-337-9400 FAX: 920-337-9401	DATE 5-18-04 FILE - JOB NO. - DRAWING NO. 1
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SECOND FLOOR PLAN
SCALE 1/8"=1'-0"



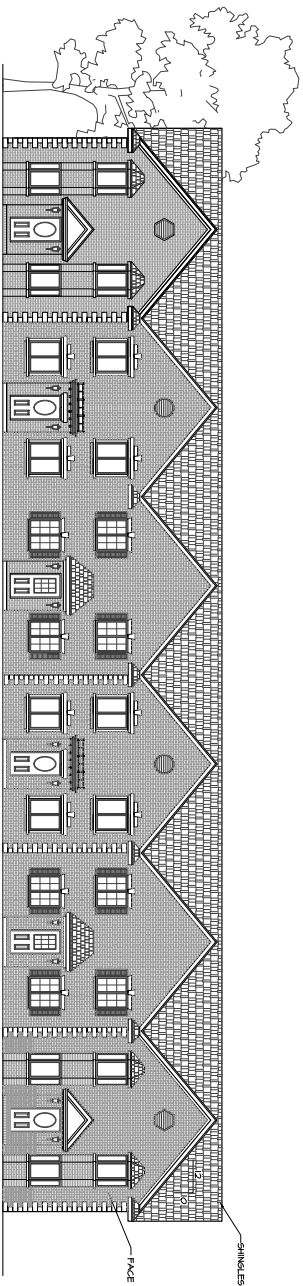
FIRST FLOOR PLAN
SCALE 1/8"=1'-0"

NOTE: ALL DIMENSIONS
SHOWN ARE BASED ON THE
LATEST REVISIONS TO THE
CONTRACT DOCUMENTS.
THESE DIMENSIONS ARE
FOR INFORMATION ONLY.
THEY DO NOT REPRESENT
THE FINAL CONSTRUCTION
DIMENSIONS AND SHOULD
NOT BE USED FOR CONSTRUCTION.

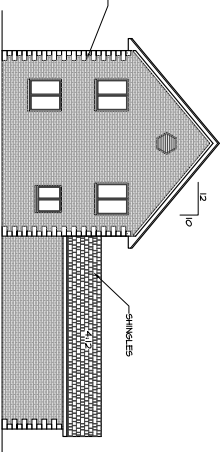
PROPOSED CONDOMINIUM COMPLEX
CEDAR CROSSING
DE PERE, WISCONSIN
BAY ARCHITECTS, L.L.C.
305 N. TOWN WAY
GREEN BAY, WI 54304

PHONE: 920.331.3400
FAX: 920.331.3406

DATE: -
FILE: -
JOB NO.: -
2



EAST ELEVATION
SCALE 1/8"=1'-0"
(SIX UNIT)



NORTH ELEVATION
SCALE 1/8"=1'-0"
(SIX UNIT)

NOTE: 1. ALL DIMENSIONS ARE IN FEET AND INCHES. 2. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. 3. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. 4. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. 5. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. 6. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. 7. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. 8. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. 9. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. 10. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE.	PROPOSED CONDOMINIUM COMPLEX CEDAR CROSSING DE PERE, WISCONSIN BAY ARCHITECTS, L.L.C. 305 N. TOWN WAY GREEN BAY, WI 54604	DATE: 05-19-04 FILE: - JOB NO.: - DRAWN BY: DYC/ADP/DBN PHONE: 920-331-3400 FAX: 920-331-3406
--	--	--

City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: August 26, 2013

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the Precise Development Plan amendment for WD-657-1 on Grant St and WD-657-2 on College Ave. Applicant: Best Built.*

ATTACHMENTS:

- PC_SP_AmendPDD_Grant_August2013 (PDF)

City of De Pere
Staff Comments

Plan Commission
August 26, 2013

Item #6: Review the Site Plan Application for two 9,052 square foot 6-unit Grant Street Row Houses to be located at the south end of 5th Street on Grant Street in West De Pere. Applicant: Best Built.

Overview	
The existing site has an approved PDD overlay zoning for the properties and is broken down into two phases. Phase I is the multifamily development on Grant Street. Phase II is the apartment complex on College Ave. Since the project is a change from the original Precise Implementation Plan it requires approval by the Plan Commission and the City Council. The review is focusing on the Phase I amendment to the Precise Development Plan. The same steps will be required for Phase II. Phase I is for two 9,052 sq. ft. 6-unit Grant Street row houses.	
Public Works	
Does the project meet the City's Stormwater regulations?	Yes ☐ No ☒ NA
Sewer properly connected?	☒ Yes ☐ No ☐ NA
Water properly connected?	☒ Yes ☐ No ☐ NA
Access properly designed (driveway and sidewalks)?	☒ Yes ☐ No ☐ NA
Are there any issues with easements or right-of-ways?	☒ Yes ☐ No ☐ NA
Are there other items that need to be addressed?	☒ Yes ☐ No ☐ NA
Required Actions: Sanitary Sewer: 1. We need to determine ownership of the downstream sanitary sewer. If it is not a City sewer, we should not allow connection. Connection would then be from the sanitary sewer off of College Avenue. 2. Provide anticipated wastewater flows. Water Main: 1. Provide the peak water flow requirements. 2. A 30 foot easement is required over the City water main. Storm Water Management: 1. Storm water treatment is required to 40% TSS for the re-development. Provide calculations. 2. Water flowing to the catch basin on the southwest corner of the site is not being treated. 3. The existing pond is on private property. Provide an agreement with the property owner for use. Maintenance to the pond will be required. 4. Provide storm sewer sizes on the internal piping. Traffic/Vehicle Access: 1. The proposed use of the driveway will create issues with the Grant and Fifth street intersection as currently signed. This should be addressed internally at the City. 2. The new driveway apron on College Avenue is shown as asphalt. The apron needs to be concrete. The depth is recommended to be 8". 3. The curb head is to be profile cut and removed per the City in detail in the curb cut permit. Other: 1. Verify the location of the gas. 2. The southernmost parking stall in the parking lot in the center of the site will be very difficult to exit if there are vehicles parked in the adjacent stall. Provide verification with a turning movement template on how someone will exit this stall or remove as a parking stall. 3. Is there an agreement to utilize the driveway on the adjacent parcel for the eastern most parking stall on this site? 4. Remove the northern most parking stall on the east side to provide separation between the parking area and sidewalk. 5. There are several comments on the parking and drive area on the west side: 1. Provide spot elevations at all changes in direction on the parking area to verify the direction of flow. 2. With the contours, water is being directed toward the railroad. Curb and gutter will be required to capture this water on-site. 3. Similarly, water is being directed toward the building. Curb and gutter should be considered on this side. 6. Where is the water from the buildings along Grant Street flowing? Discharging this water toward via surface flow Grant Street will create an icing problem. 7. Adjust the numbers under "Planned Erosion Control Practices" on page C5.0. The numbers do not match the application on the plan to the left on the page. 8. Provide documentation on how external lighting will be minimized from shining into the adjacent residential area. 9. Central Brown County Water Authority approval should be obtained for construction with their water main. 10. Provide a lighting plan. 11. Include the project name and street address on all sheets. 12. Provide the name and address of the developer. 13. Label Fifth Street on the top portion of the site plan. Fifth Street extends north across from the driveway on Grant.	
Forestry & Parks	
Does the project meet City Landscaping Regulations?	☒ Yes ☐ No ☐ NA
Required Actions: No additional comments.	

Attachment: PC_SP_AmendPDD_Grant_August2013 (1290 : Grant St PDD)

City of De Pere
Staff Comments

Plan Commission
August 26, 2013

Fire	
Does the project meet City Fire Codes?	☒ Yes ☐ No ☐ NA
Required Actions: 1. Provide detailed plans for construction review. Detail means of egress in all areas including travel distances. 2. Separation of hazards/use is required. 3. Provide exit/emergency lighting throughout the means of egress. 4. Provide fire extinguishers at maximum 75' travel distance in hazard areas. 5. Verify Fire Department access is adequate. 6. Provide detailed plans for alarm system with cut sheets and battery calcs prior to installation. 7. Provide sprinkler system plans prior to beginning of installation. 8. Install key box for fire department access.	
Planning & Building Inspection	
Does the project meet design regulations (exterior building elevations/materials)?	☒ Yes ☐ No ☐ NA
Does the project meet City setback requirements?	☒ Yes ☐ No ☐ NA
Does the project meet City parking requirements?	Yes ☐ No ☐ ☒ NA
Does the project meet City lighting requirements?	☒ Yes ☐ No ☐ NA
Is the refuse properly sited, and screened?	☒ Yes ☐ No ☐ NA
Will the signage meet City code?	Yes ☐ No ☒ NA
Are there other items that need to be addressed?	Yes ☐ No ☒ NA
Required Actions: 1. The back driveway width should be widened as much as possible. 2. An easement will be required for access to the east. 3. Easements will need to be completed between Phase I and Phase II. 4. Signage will need to be submitted to the City for approval if installed.	

Recommendation:

Staff recommends approval of the amended Precise Implementation Plan (PIP) and that the PIP be forwarded to the City Council for a public hearing.



3100 Holmgren Way
Green Bay, WI 54304

City of De Pere
Redevelopment Authority
Attn: Ken Pabich and Chairman Penn
335 S. Broadway
De Pere, WI 54115

Phone: 920/337-6488

Fax: 920/337-6970

Email: Build@BestBuiltInc.com

Re: Project Plan Submission

Dear Ken:

Enclosed please find the following information being submitted on behalf of Best Built, Inc. as the construction representative for VHC, Inc. as a part of the right to purchase WD-657-1 Grant St and WD-657-2 College Avenue.

1. Site plans detailing:
 - a. Utilities servicing the proposed buildings or currently crossing/servicing the property.
 - b. Green space and general landscape detailing.
 - c. Existing site contours as well as proposed building, pavement, and new grade elevations.
 - d. General building arrangements and paved areas.
2. Phase I building elevations for the Grant St. row house condos.
3. Phase I building floor plans for the Grant St. row houses condos.
4. Phase II building elevations and floor plans are currently not finalized. It is anticipated that the proposed 3 story apartment building will match the 2 existing apartment buildings on the neighboring property.

I am confident that we have created a design that will capture the expressed intentions of the City's desire to create an urbanized residential feeling. We also believe the look of the building will be in tune with the neighboring properties and college facilities. Lastly, the density and the on site and enclosed parking are in line with the cities expressed expectations.

In closing, please feel free to contact me with any additional needs you may have prior to the next meeting Monday August 26, 2013.

Respectfully,
Best Built Inc.

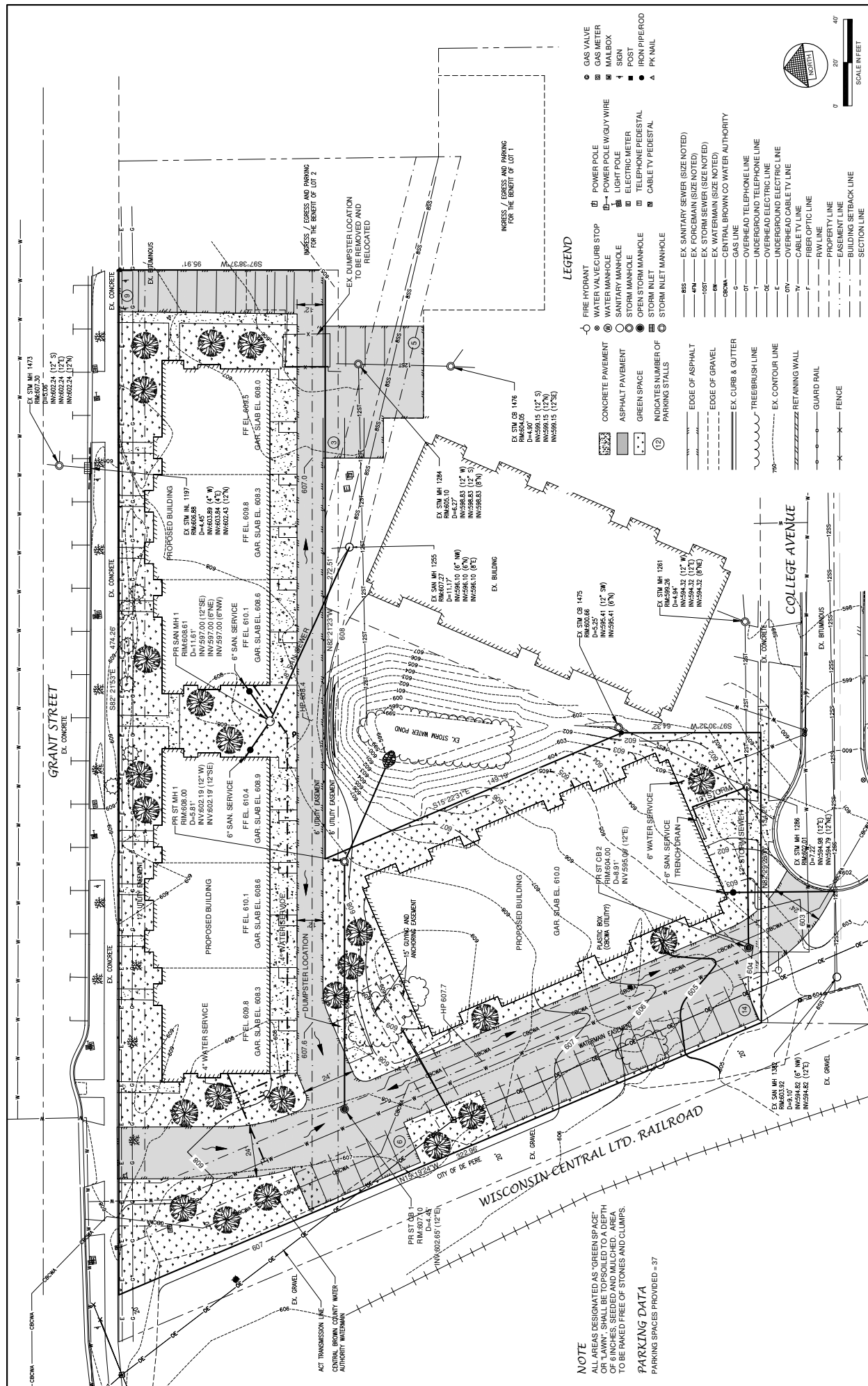
Craig Kassner
President

Enclosures

☐ Construction

☐ Development

www.BestBuiltInc.com



City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: August 26, 2013

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the CSM application for a 2 lot CSM on Millennium Court.
Applicant: City of De Pere.*

ATTACHMENTS:

- PC_CSM_Gandrud_August2013 (PDF)

Item #7: Review the CSM application for a 2 lot CSM on Millennium Court. Applicant: City of De Pere.

A Proposed two lot certified survey map (CSM) located north of Rockland Road on the south side of Millennium Court has been submitted by surveyor Steven M. Bieda on behalf of the City of De Pere. The proposed two lot CSM would contain one lot measuring 43, 680 square feet (156' x 280' or 1 acre) and a second lot measuring 48,337 square feet (172' x 280' or 1.11 acres).

The property is zoned I-3 which is General Industrial District. I-3 is designed to accommodate those heavy industrial activities which, by their character, should be relatively remote from residential and business development and found not to be noxious, unhealthful, or offensive by reason of the potential emission or transmission of noise, vibration, smoke, dust, odors, toxic or noxious matter, or glare or heat. The proposed lot meets these requirements.

Recommendation

The proposed CSM has been reviewed by staffs of the Planning and Public Works Departments. Based upon these reviews, planning staff would recommend the approval of the CSM subject to the following conditions:

1. Meeting all other state and local regulations.



CITY OF DE PERE

APPLICATION FOR CSM REVIEW

Fee: \$ 300.00

Receipt #: _____

Date: _____

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: City of De Pere

Mailing Address: 335 S Broadway, De Pere WI 54115

Phone: 920-339-4043 Fax #: _____

Email: _____

I hereby appoint the following as my agent for purposes of this application:

Agent:

Name: _____

Mailing Address: _____

Phone: _____ Fax #: _____

Email: _____

B. Property Information

Address/Location of Property: Millennium Court

Parcel #: ED-2313

NOTE: Please submit 1 hard copy and 1 PDF copy of the CSM if the property is located within the City or if the property is located within the extraterritorial jurisdiction.

A CSM Review is requested as authorized by the De Pere Municipal Code, Chapter 46.

Owner Signature

Date

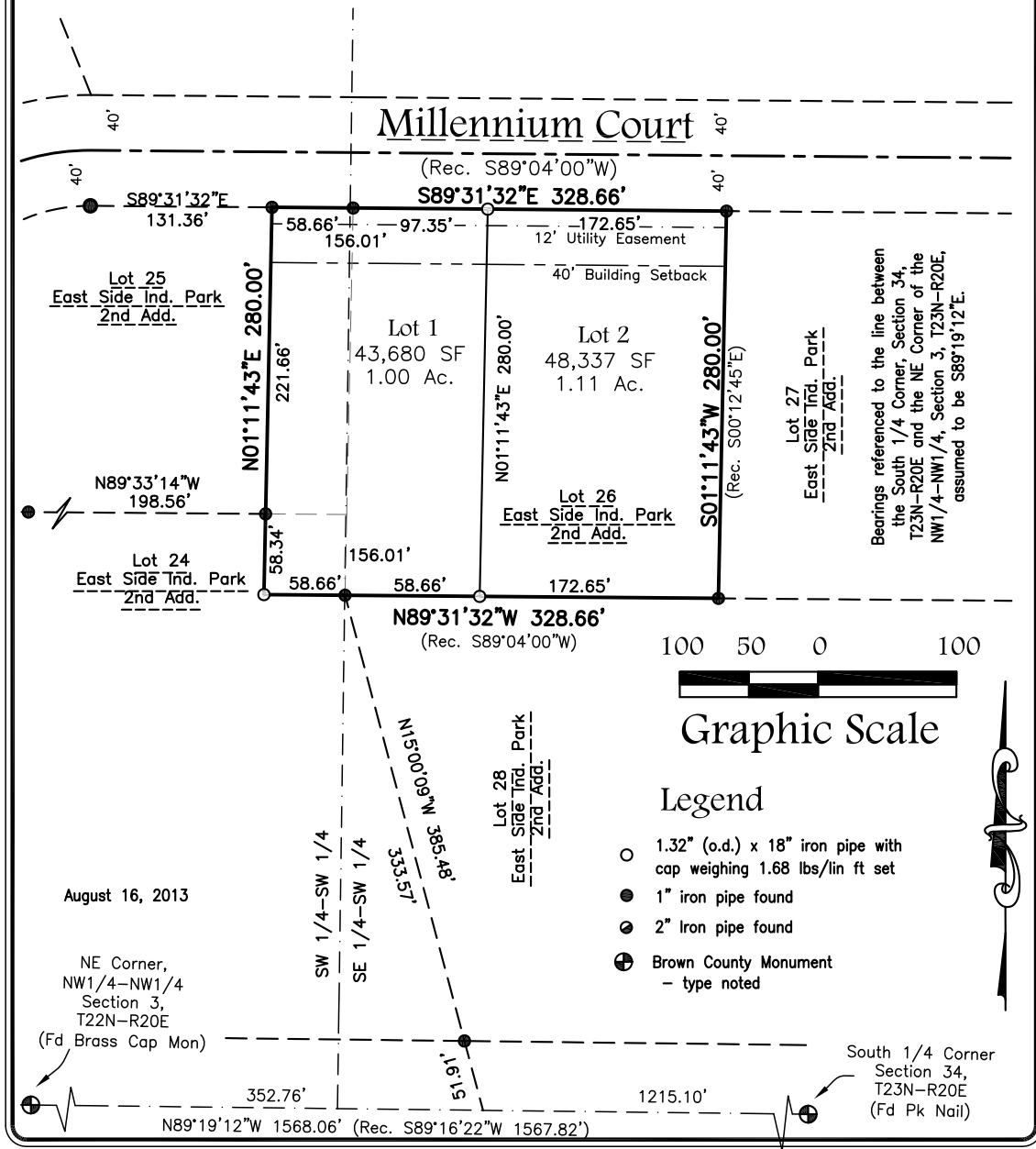
Ken Pabich

Agent Signature

Date

Certified Survey Map

All of Lot 26 and part of Lots 24 & 25 of the recorded plat, "East Side Industrial Park Second Addition", (Volume 21, Plats, page 57, Doc. No. 1701384, Brown County Records), located in part of the Southeast 1/4 of the Southwest 1/4 and part of the Southwest 1/4 of the Southwest 1/4, Section 34, T23N-R20E, City of DePere, Brown County, Wisconsin



Client: City of De Pere
Drafted By: JMP
File: C-1108 CSM 081613.dwg

Scale: 1"=100'
Tax Parcel Number
ED-2313, ED-2311

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

Sheet One of Three
Project No.: C-1108
Drawing No.: L-8624

SURVEYOR'S CERTIFICATE

I, Steven M. Bieda, Registered Land Surveyor, S-2275, do hereby certify that I have surveyed, divided and mapped all of Lot 26 and part of Lots 24 & 25 of the recorded plat, "East Side Industrial Park Second Addition", (Volume 21, Plats, page 57, Doc. No. 1701384, Brown County Records), located in part of the Southeast 1/4 of the Southwest 1/4 and part of the Southwest 1/4 of the Southwest 1/4, Section 34, T23N-R20E, City of DePere, Brown County, Wisconsin, more fully described as follows:

Commencing at the South 1/4 Corner, Section 34, R23N-R20E; thence N89°19'12"W, 1215.30 feet along the South line of the Southwest 1/4, said Section; thence N15°00'09"W, 385.48 feet to the Southwest Corner of Lot 26 of the recorded plat, "East Side Industrial Park Second Addition", (Volume 21, Plats, page 57, Document No. 1701384, Brown County Records) and the point of beginning; thence N89°31'32"W, 58.66 feet; thence N01°11'43"E, 280.00 feet along the West line and its extension of Lot 25, said Plat to the South right of way of Millennium Court; thence S89°31'32"E, 328.66 feet along said South right of way; thence S01°11'43"W, 280.00 feet along the East line of said Lot 26; thence N89°31'32"W, 270.00 feet along the South line of said Lot 26 to the point of beginning.

Parcel contains 92,017 square feet / 2.11 acres more or less.

Parcel subject to any easements and restrictions of record.

That such plat is a correct representation of all the exterior boundaries of the land survey and the division thereof. That I have made such a survey, land division and plat by the direction of the owners listed hereon. That I have fully complied with the provisions of Chapter 236, section 236.34 of the Wisconsin Statutes, the City of De Pere, in surveying, dividing and mapping the same.

Steven M. Bieda S-2275
August 16, 2013

TREASURER'S CERTIFICATE

As duly elected City Treasurer and Brown County Treasurer, We hereby certify that the records in our office show no unredeemed tax sales and no unpaid taxes or special assessments affecting any of the lands included in this Certified Survey Map as of the dates listed below.

Shana Defner Date
City Treasurer

Kerry M. Blaney Date
Brown County Treasurer

Sheet Two of Three
Project No.: C-1108
Drawing No.: L-8624

As Owners, We hereby certify that we caused the land described and easements granted on this Certified Survey Map to be surveyed, divided, mapped and dedicated as represented hereon. We understand that the City will discontinue any public improvements upon discovery or notice of any other condition requiring abnormal public improvement costs. We further acknowledge that the City's action or inaction in this regard shall not be construed as an admission of liability for hazardous waste clean-up or burial site preservation costs.

Personally came before me this ____ day of _____, 20____, the above named Owners, to me known to the persons who executed the foregoing instrument and acknowledged the same.

STATE OF WISCONSIN]
COUNTY OF BROWN] SS

- 1) The land on all side and rear lot lines of all lots shall be graded by the property owner and maintained by the abutting property owners to provide for adequate drainage of surface water.
- 2) Each lot owner shall grade the property to conform to the adopted sidewalk grade elevation and maintain said elevation for future sidewalks.
- 3) No poles, pedestals or buried cable are to be placed so as to disturb any survey stake or obstruct vision along any lot lines or street line, a disturbance of a survey stake by anyone is a violation of section 236.32 of the Wisconsin Statutes.

Sheet Three of Three
Project No.: C-1108
Drawing No.: L-8624

City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: August 26, 2013

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the CSM application for a 3 lot CSM located on Tullig Place.
Applicant: Mach IV.*

ATTACHMENTS:

- PC_CSM_Kaster_August2013(PDF)

Item #8: Review the CSM application for a 3 lot and single outlot CSM on Tullig Place.
Applicant: Garrity's Glen.

A proposed 3 lot and 1 outlot certified survey map (CSM) has been submitted by Land Surveyor Benjamin J. LaCount, for its owner Garrity's Glen LLC. The CSM is located in Garrity's Glen First Addition, east of Lawrence drive east end of Tullig Place in lots 102 and 103 of the Williams Grant Subdivision. The proposed 3 lot CSM would contain lots ranging in size from Lot 1 of 12,911 square feet (.30 acres) to Lot 2 of 14,906 square feet (.34 acres) and lot 3 of 14,599 square feet (.34 acres) to Outlot 1 of 3,446 square feet (.08 acres).

The property is zoned PDD-R-1 which is single family residential with a Planned Development District overlay. Lot requirements in an R-1 district are 11,000 square foot minimum with 90 feet of frontage. The proposed lots meet these minimum requirements under the approval of the PDD.

Recommendation

The proposed CSM has been reviewed by staffs of the Planning and Public Works Departments. Based upon these reviews, planning staff would recommend the approval of the CSM subject to the following conditions:

1. Meeting all other state and local regulations.



CITY OF DE PERE

APPLICATION FOR
CSM REVIEW

Fee: \$ 300.00

Receipt #: 85670

Date: _____

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: Garrity's Glen LLCMailing Address: 1317 Lombardi Access Road, Green Bay, WI 54304Phone: 920-497-5090

Fax #: _____

Email: patkaster@rivercityrealtors.com

I hereby appoint the following as my agent for purposes of this application:

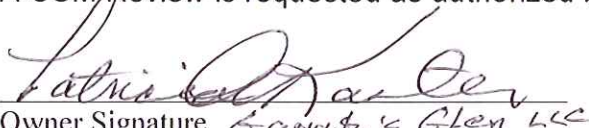
Agent:Name: Benjamin LaCountMailing Address: 211 N. Broadway, Suite 114 Green Bay, WI 54303Phone: 920-569-5765

Fax #: _____

Email: blacount@mach-iv.com**B. Property Information**Address/Location of Property: 2431, 2437, 2441, 2447 Tullig Place and part of future vacated Galloway LaneParcel #: WD-1874, WD-1875, WD-1876, WD-1877

NOTE: Please submit 1 hard copy and 1 PDF copy of the CSM if the property is located within the City or if the property is located within the extraterritorial jurisdiction.

A CSM Review is requested as authorized by the De Pere Municipal Code, Chapter 46.


 Owner Signature Garrity's Glen LLC

Date

8-12-13

 Agent Signature

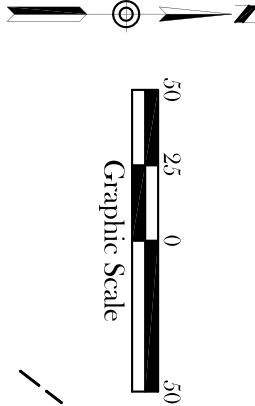
Date

8-12-2013

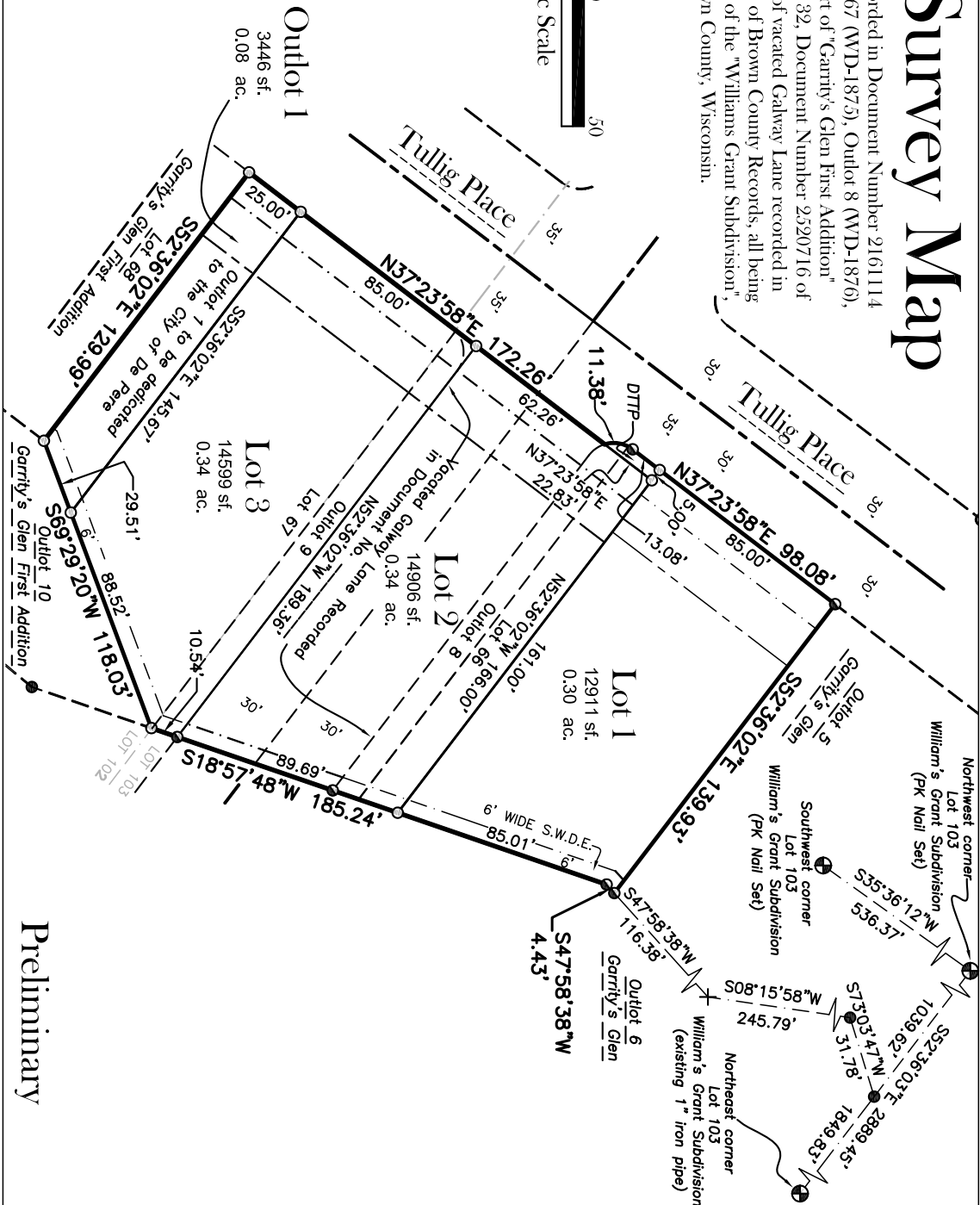
Certified Survey Map

A Combination of part of lands recorded in Document Number 2161114 being all of Lot 66 (WD-1874), Lot 67 (WD-1875), Outlet 8 (WD-1876), Outlet 9 (WD-1877) all being part of "Garity's Glen First Addition" recorded in Volume 23, Plats, Page 32, Document Number 2520716 of Brown County Records, and part of vacated Galway Lane recorded in Document Number _____ of Brown County Records, all being located in part of Lots 102 and 103 of the "Williams Grant Subdivision", City of DePere, Brown County, Wisconsin.

Bearings referenced to the North line of Lot 103, Williams Grant Subdivision, assumed to bear S52°36'03"E.



- Legend**
- 1.32" (o.d.) x 18" iron pipe weighing 1.68 lbs/lin. foot set
 - 1" iron pipe found
 - 2" iron pipe found
 - ⊕ Brown County Monument
 - type noted



Mach IV
Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-3765 Fax: 920-569-3767

Client: Pat Kaster
Drafted By: NGR
Tax Parcel No.: #####

Scale:
1" = 50'

Sheet 1 of 3
Project No. 0336-03-13
Drawing No. #####

I, Benjamin J. LaCount, Registered Land Surveyor, do hereby certify that this Certified Survey Map is not a division of property but solely a Combination of part of lands recorded in Document Number 2161114 being all of Lot 66 (WD-1874), Lot 67 (WD-1875), Outlot 8 (WD-1876), Outlot 9 (WD-1877) all being part of "Garrity's Glen First Addition" recorded in Volume 23, Plats, Page 32, Document Number 2520716 of Brown County Records, and part of vacated Galway Lane recorded in Document Number _____ of Brown County Records, all being located in part of Lots 102 and 103 of the "Williams Grant Subdivision", City of DePere, Brown County, Wisconsin, more fully described as follows:

Commencing at the Northwest Corner of Lot 103 of "William's Grant Subdivision"; thence S52°36'03"E, 1039.62 feet along the North line of said Lot 103 to the Northeast corner of Outlot 5 of "Garrity's Glen" recorded in Volume 22, Plats, Page 241, Document Number 2193288, Brown County Records; thence S73°03'47"W, 31.78 feet along an East line of said Outlot 5; thence S08°15'58"W, 245.79 feet along said East line; thence S47°58'38"W, 116.38 feet to the Northeast corner of said Lot 66 and the point of beginning; thence continue S47°58'38"W, 4.43 feet along the East line of said Lot 66; thence S18°57'48"W, 185.24 feet to a Northeast corner of said Lot 67; thence continuing S69°29'20"W, 118.03 feet to the Southeast corner of said Lot 67; thence N52°36'02"W, 129.99 feet to the Southwest corner of said Lot 67; thence N37°23'58"E, 172.26 feet along the West line of said Lot 67 and its extension to the Northerly right-of-way line of Galway Lane; thence 11.38 feet along the arc of a 12.00 foot radius curve to the right whose long chord bears N10°14'03"E, 10.96 feet to the Southeasterly right-of-way of Tullig Place; thence N37°23'58"E, 98.08 feet to the Northwest corner of said Lot 66; thence S52°36'02"E, 139.93 feet to the point of beginning.

Said Parcel contains 45,960 sq. ft. / 1.06 Acres more or less.

Road dedication contains 100 sq. ft.

Parcel subject to easements and restrictions of record.

That such plat is a correct representation of all the exterior boundaries of the land survey. That I have made such a survey, and plat by the direction of the owners listed hereon. That I have fully complied with the provisions of Chapter 236, section 236.34 of the Wisconsin Statutes and the City of DePere in surveying, combining, and mapping the same.

Benjamin J. LaCount S-3031
August 12, 2013

Certificate for the City of DePere

Approved for the City of DePere this ____ day of _____, 20__.

Ken Pabich
Director of Planning

Preliminary

Mach IV
Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-5765 Fax: 920-569-5767

Client: Pat Kaster
Drafted By: NGR
Tax Parcel No.: #####

Scale:
1"= 50'

Sheet 2 of 3
Project No. 0336-03-13
Drawing No. #####

Packe

Garrry's Glen LLC, a limited liability company duly organized and existing under and by virtue of the laws of the State of Wisconsin, does hereby certify that said limited liability company caused the easements to be granted and the land on this Certified Survey Map to be surveyed and mapped as represented hereon. Garrry's Glen LLC does further certify that this Certified Survey Map is required to be submitted to the City of De Pere for approval or objection in accordance with current Land Subdivision Ordinances.

Patricia A. Kaster
Manager - Garrity's Glen LLC

Personally came before me this ____ day of _____, 20__, the above named Member of said Limited Liability Company and acknowledged that he executed the foregoing instrument as such Member as the deed of said Limited Liability Company, by its authority.

STATE OF _____]
COUNTY OF _____] SS

Office of the Register of Deeds
Brown County, Wisconsin

Cathy Williquette Lindsay, Register of Deeds

Mach IV
Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-5765 Fax: 920-569-5767

Drafted By: NGR
Tax Parcel No.: #####

Scale:
1"= 50

Sheet 3 of 3
Project No. 0336-03-13
Drawing No. #####

Packe

City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: August 26, 2013

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the Vacation application for the vacation of a portion of Galway Ln. Applicant: Mach IV.*

ATTACHMENTS:

- PC_SV_Tullig_August2013 (PDF)

Item #9: Review the Vacation application for portion of Galway Way. Applicant: Garrity's Glen.

A proposed road vacation has been submitted by Land surveyor Benjamin J. LaCount, for its owner Garrity's Glen LLC. The road vacation is located in Garrity's Glen First Addition between Lot 66 and Lot 67, east of Lawrence drive on the east end of Tullig Place in lot 103 of the Williams Grant Subdivision. The proposed road vacated Galway Lane measures .35 acres. The road right of way is no longer needed to access property that was planned for future development to the east.

Recommendation

Staff would recommend approval of the vacation and that the request be forwarded to the City Council.



CITY OF DE PERE

APPLICATION FOR
ROW VACATION

Fee: \$250.00

Receipt #: _____

Date: _____

Please print or type using black ink for duplicating purposes.

A. Property Owner: Name: Garrity's Glen LLCMailing Address: 1317 Lombardi Access Rd, Green Bay, WI 54304Phone: 920-497-5090Email: patrickster@rivercityrealtors.com

I hereby appoint the following as my agent for purposes of this application:

Agent:

Name: Benjamin LaCountMailing Address: 211 N. Broadway, Suite 114 Green Bay, WI 54303Phone: 920-569-5765Email: blacount@wack-iv.com

B. ROW Vacation

Name of ROW: Galway Ln.

Legal Description of Vacation Area (attach separate sheet if necessary):

Attached

C. Reason for Requesting Vacation

Combine into Lots attached CSM

Patricia Koster
Owner Signature GARRITY'S GLEN, LLC

8-12-2013
Date

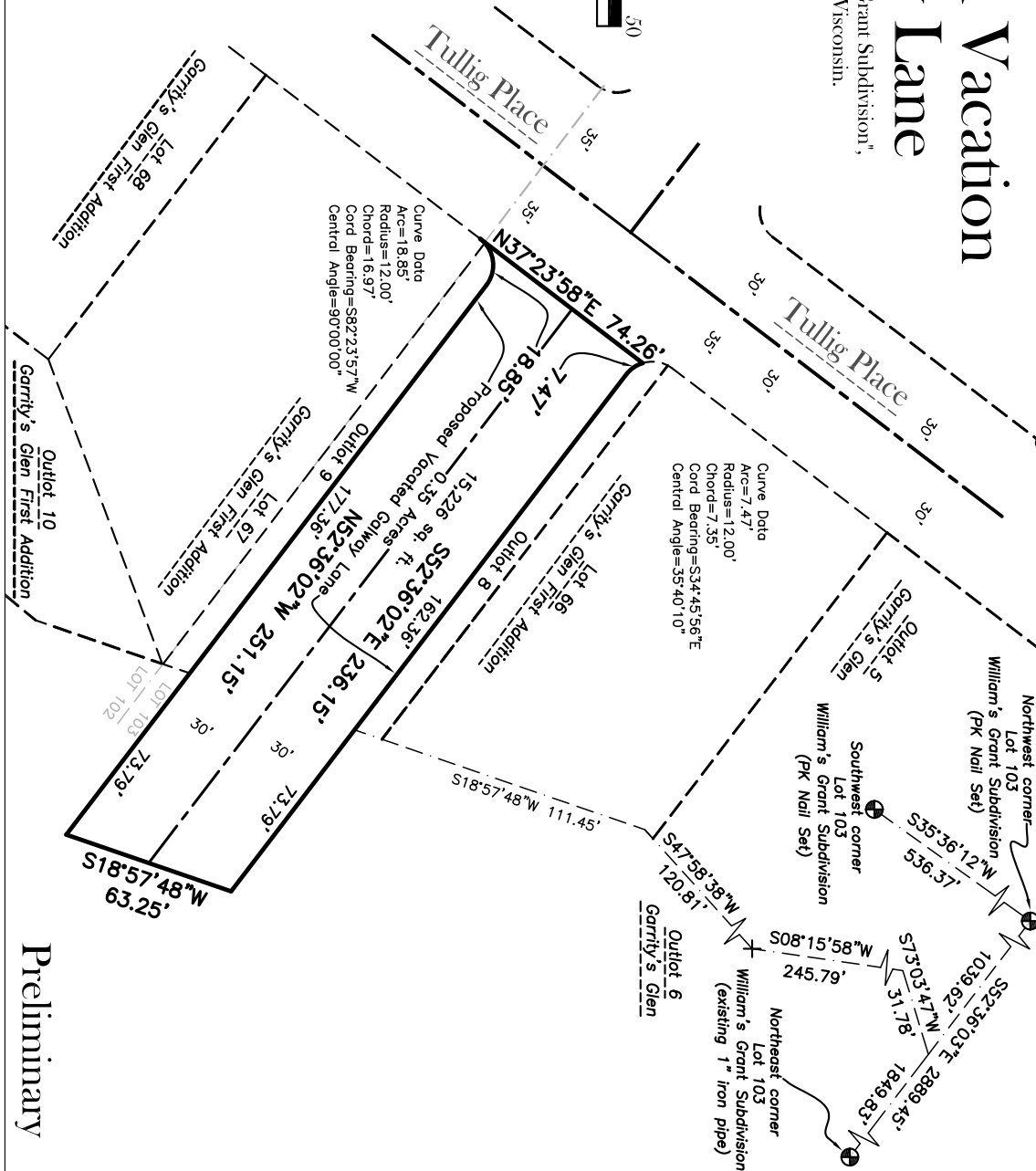
Benjamin LaCount
Agent Signature

8-12-2013
Date

Proposed Road Vacation For Galway Lane

Located in part of 103 of the "Williams Grant Subdivision",
City of DePere, Brown County, Wisconsin.

Bearings referenced to the
North line of Lot 103,
Williams Grant Subdivision,
assumed to bear
S52°36'03"E.



Preliminary

Mach IV

Engineering & Surveying LLC
211 N. Broadway, Suite 114, Green Bay, WI 54303
PH: 920-569-3765 Fax: 920-569-3767

Client: Pat Kaster

Drafted By: BJL

Tax Parcel No.:

Scale:

1" = 50'

Sheet 1 of 1

Project No. 0336-03-13

Drawing No. 852

Pack

Description of proposed Vacated Galway Lane

Located in part of Lot 103 of William's Grant Subdivision, City of De Pere, Brown County Wisconsin.

Commencing at the Northwest Corner of Lot 103 of "William's Grant Subdivision"; thence S52°36'03"E, 1039.62 feet along the North line of said Lot 103 to the Northeast corner of Outlot 5 of "Garrity's Glen" recorded in Volume 22, Plats, Page 241, Document Number 2193288, Brown County Records; thence S73°03'47"W, 31.78 feet along an East line of said Outlot 5; thence S08°15'58"W, 245.79 feet along said East line; thence S47°58'38"W, 120.81 feet along said East line and the East line of Lot 66 of "Garrity's Glen First Addition" recorded in Volume 23, Plats, Page 32, Document Number 2520716 of Brown County Records; thence S18°57'48"W, 111.45 feet along said East line to the Southeast corner of Outlot 8 of said "Garrity's Glen First Addition", the North right-of-way line of Galway Lane and the point of beginning; thence S52°36'02"E, 73.79 feet to the East right-of-way line of Galway Lane; thence S18°57'48"W, 63.25 feet along said East right-of-way line to the South right-of-way line of Galway Lane; thence N52°36'02"W, 251.15 feet along said South right-of-way line; thence 18.85 feet along the arc of a 12.00 foot radius curve to the left whose long chord bears S82°23'57"W, 16.97 feet to the Southeasterly right-of-way of Tullig Place; thence N37°23'58"E, 74.26 feet to the Northeast right-of-way of Galway Lane; thence 7.47 feet along said Northeasterly right-of-way being the arc of a 12.00 foot radius curve to the left, whose long chord bears S34°45'56"E, 7.35 feet; thence S52°36'02"E, 162.36 feet to the point of beginning.

Said Parcel contains 15,226 sq. ft. / 0.35 Acres more or less

Parcel subject to easements and restrictions of record.

City of De Pere, Wisconsin

**Request For Plan Commission Action**

MEETING DATE: August 26, 2013

DEPARTMENT: Planning

FROM: Ken Pabich

SUBJECT: Review the Extra-territorial Plat application for the Belle Isle Meadows Plat located in the Town of Ledgeview. Applicant: Mau & Associates. *

ATTACHMENTS:

- PC_PLAT_LAWRENCE_August2013(PDF)

Item #10: Review the Plat application for a preliminary extra-territorial Bell Isles Meadows Plat in the Town of Ledgeview.

A proposed 48 lot and 1 outlot certified survey map (CSM) located in the extraterritorial jurisdiction of Ledgeview, Brown County has been submitted by Land Surveyor Mau & Associates, for its owner Bell Isles Meadows, LLC. The proposed CSM is located east of Monroe Road (GV) and north of Dickinson Road, on the northern side of the lots located on Bingham Drive. The proposed CSM would contain lots ranging from 12,128 square feet (.28 acre, or 90' x 134.8') to 26,340 square feet (.60 acres, or 195' x 135') and Outlot 1 of 220,594 square feet (5.06 acres).

Recommendation

Staff would recommend the approval of the Plat subject to the following conditions:

1. Meeting all other state and local regulations.
2. The Plat needs approval of the City Council.



CITY OF DE PERE
APPLICATION FOR
PLAT REVIEW

Fee: \$ **2250.00**
Receipt #: **84535**
Date: **7-18-13**

Read all instructions provided before completing. If additional space is needed, attach additional pages. Type or use black ink.

SECTION 1: Applicant / Permittee Information

Applicant Name (Ind., Org. or Entity) Mau & Associates, LLP	Authorized Representative Steve Bieda	Title Managing Partner	
Mailing Address 400 Security Blvd	City Green Bay	State WI	ZIP Code 54313
Email Address sbieda@mau-associates.com	Phone Number (incl. area code) 920-434-9670	Fax Number (incl. area code) 920-434-9672	

SECTION 2: Landowner Information (complete these fields when project site owner is different than applicant)

Name (Ind. Org. or Entity) Belle Isle Meadows, LLC	Contact Person Pat Kaster	Title	
Mailing Address 1317 Lombardi Access Rd	City Green Bay	State WI	ZIP Code 54304
Email Address patkaster@rivercityrealtors.com	Phone Number (incl. area code) 920-497-5090	Fax Number (incl. area code) 920-497-4881	

SECTION 3: Project or Site Location

Project Address/Description Bower Creek Road, Town of Ledgeview	Parcel No. D-427-3, D-427-4, D-427-2
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SECTION 4: Plat Review

Review Type:	☒ Preliminary Plat ☐ Final Plat		
Fee:	Preliminary Plat Fee: \$250 + (50 # of lots * \$40) Final Plat Fee: \$160	\$2,250.00	
Present Use of Parcel:	Undeveloped		
Proposed Use of Lots:	Residential		

Please submit 1 hard copy and 1 PDF copy of the Plat if the property is located within the City
or if the property is located within the extraterritorial jurisdiction.

SECTION 5: Certification and Permission

Certification: I hereby certify that I am the owner or authorized representative of the owner of the property which is the subject of this Permit Application. I certify that the information contained in this form and attachments is true and accurate. I certify that the project will be in compliance with all permit conditions. I understand that failure to comply with any or all of the provisions of the permit may result in permit revocation and a fine and/or forfeiture under the provisions of applicable laws.

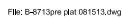
Permission: I hereby give the City permission to enter and inspect the property at reasonable times, to evaluate this notice and application, and to determine compliance with any resulting permit coverage.

Name of Owner/Authorized Representative (please print) Steven M. Bieda	Title Managing Partner	Phone Number 920-434-9670
Signature of Applicant 		Date Signed 08/15/2013

TO BE COMPLETED BY CITY STAFF

Plat Review authorized by the De Pere Municipal Code, Chapter 46.	
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Attachment: PC_PLAT_LAWRENCE_August2013 (1294 : Belle Meadows)

DRAWN BY
BAR

Mau & Associates
LAND SURVEYING & PLANNING
CIVIL & WATER RESOURCE ENGINEERING
Phone: 920-434-9670 Fax: 920-434-9672

PROJECT NO.
B-8713
SHEET NO.

2.10.a